



AGENDA

Rogers Planning Commission

February 3, 2025 - 7:00 PM

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

2. APPROVE AGENDA

Council members may add items to the agenda for discussion purposes or staff direction only. The Council will not normally take official action on items added to the agenda.

3. CONSENT AGENDA

These items are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the Consent Agenda and placed elsewhere on the agenda.

4. PUBLIC HEARINGS

4.1 Consideration of a Variance Request at 11520 Park Drive Related to a Garage Addition

4.2 Consideration of a Site Plan and Variance Request for the Rogers Tech Center Development (Church Ave and County Rd 81)

5. NEW BUSINESS

6. OTHER BUSINESS

6.1 Planning Commission Upcoming Meetings and Consideration Items

7. ADJOURN



STAFF REPORT

ROGERS PLANNING COMMISSION

Meeting Date: February 3, 2025

Agenda Item: 4.1

Subject: Consideration of a Variance Request at 11520 Park Drive Related to a Garage Addition

Prepared By: Brett Angell, Community Development Director

Recommended Council Action

Overview / Background / Analysis

Joseph Iverson, property owner of 11520 Park Drive ("Subject Property") and the applicant, has requested a variance from City Code to allow for an additional detached garage. Per City Code 125-84(2), the maximum size of accessory structures is 1,900 square feet on parcels that are between 5.00 - 6.99 acres in size in the R1 zoning district. The applicant is seeking a variance to allow for the construction of an additional accessory building adjacent to the existing building which would be 4,760 square feet combined. The proposed accessory structures would be a total of 2,860 square feet (combined) larger than what code allows.

Subject Property

The Subject Property located at 11520 Park Drive is a total of 5.63 acres in size and is zoned as R1 - Rural Residential and is guided as as Rural Residential in the 2040 Comprehensive Plan. The property features a single family residential home and a detached garage. The property is primarily wooded with a large number of trees around the property. Adjacent uses to the Subject Property include larger lot rural residential on each side.

Criteria for Granting Variances

The Planning Commission must make findings of fact that the proposed variance is pursuant, but not limited to, the following considerations:

1. Variances shall only be permitted when they are in harmony with the general purpose and intent of the City Code and consistent with the Comprehensive Plan;
2. Variances may only be permitted when the application establishes that there are non-economic practical difficulties in complying with the zoning ordinance, meaning the property owner proposes to use the lot or parcel reasonably permitted by the zoning code;
3. The plight of the property owner must be due to circumstances that are unique to the lot or parcel and that are not created by the property owner;
4. The variances must not alter the essential character of the locality, including all

zoning district and overlay district provisions.

Rogers code also include the following variance standards (beyond state statute):

5. Under the circumstances, the public interest underlying the proposed variance outweighs the public interest underlying the particular regulation for which the variance is granted; and

6. The granting of a variance will not be injurious to other properties and will not prevent the orderly subdivision of other property in the area, in accordance with these regulations.

Each variance request is processed and evaluated on its own merits. The Planning Commission should consider if the request meets the variance criteria as listed above. The following should be considered when determine the request. State Statute specifically notes that economic conditions alone cannot create practical difficulties.

- Does the proposal put the property to use reasonably?
- Are there unique circumstances to the property not created by the landowner?
- Will the variance, if granted, alter the essential character of the area?

Applicants Reasoning

The Applicant provided a narrative related to their request with their reasonings for the need of a variance. The below points summarize the reasoning from the Applicant:

1. Adding a similar addition to the existing principal structure garage, which does not have size limitations, is not possible due to the existing location of the septic system and drain field.
2. Reduced outdoor storage - existing items which are currently being stored on the property will be moved within the enclosed structure aiding to less exterior storage. This would also enhance the security and safety for the items.
3. Minimal impact - the proposed addition would not impact the surrounding properties as the views would be primarily screened by the existing trees. Additionally, there are numerous properties within close proximity that have accessory buildings of similar or larger sizes as what is proposed.

Staff Recommendation

Staff recommends the Planning Commission hold a public hearing on the proposed variance request and then make a recommendation of approval or denial to the City Council related to the variance to accessory structure sizing at 11520 Park Drive.

Staff also seeks feedback from the Planning Commission if the Commission would like to request staff evaluate the accessory structure size requirements and if there would be updates needed to these provisions.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

- A. Narrative and Variance Worksheet
- B. Location Map
- C. Accessory Building Plans

I am writing to respectfully request permission to construct an addition to my garage at 11520 Park Drive Rogers MN, which will be used for the purpose of storing recreational equipment, such as our boat, fish house, camper, bikes, four wheelers, snowmobiles as well as my personal truck. This addition would not only help me maintain the upkeep of my property but also contribute to my family's enjoyment of outdoor activities, which are an important aspect of our lifestyle.

I understand the importance of ensuring that all construction projects in the city align with local zoning laws and regulations. The addition will be aesthetically consistent with the existing structure of our home, and I have taken care to ensure that it will not cause any obstruction or inconvenience to neighboring properties.

The storage of recreational equipment in a designated, enclosed space will provide several benefits, including:

- **Reduced clutter** in the yard and on my property, promoting a cleaner and more organized living environment.
- **Enhanced security** for my equipment, which would otherwise be stored outside and exposed to the elements or potential theft.
- **Minimal impact on the neighborhood**, as the garage addition will be discreet and will not obstruct views or alter the character of the area.

It is my understanding the city of Rogers allows up to 1900SF for detached garage buildings, with no limit to attached garages on 5-7acer parcels. If this request is approved, it would allow the septic and drain field to stay in place. Saving the significant cost of relocating for an attached structure to be built.

Additionally, I am committed to ensuring that the construction process is carried out with minimal disruption to the surrounding community. I have been in the construction industry my whole life and will be completing the project 100% hands on. I will follow all necessary safety protocols and work with licensed professionals to ensure that the project is completed efficiently and to the highest standards.

I would be grateful for your consideration of my request to build this addition. If you require any further information or documentation, please feel free to contact me at [REDACTED] or [REDACTED] with any questions or if there are any further steps I should take to move this request forward.

Thank you for your time and consideration. I look forward to your favorable response.

Sincerely,
Joe Iverson

VARIANCE WORKSHEET

1. Detail specifically the deviation(s) from code proposed (e.g. code requires X ft setback, requesting X ft setback).

2. Describe how the request is in harmony with the general purpose and intent of zoning for the property.

3. Describe how the request is consistent with the Comprehensive Plan.

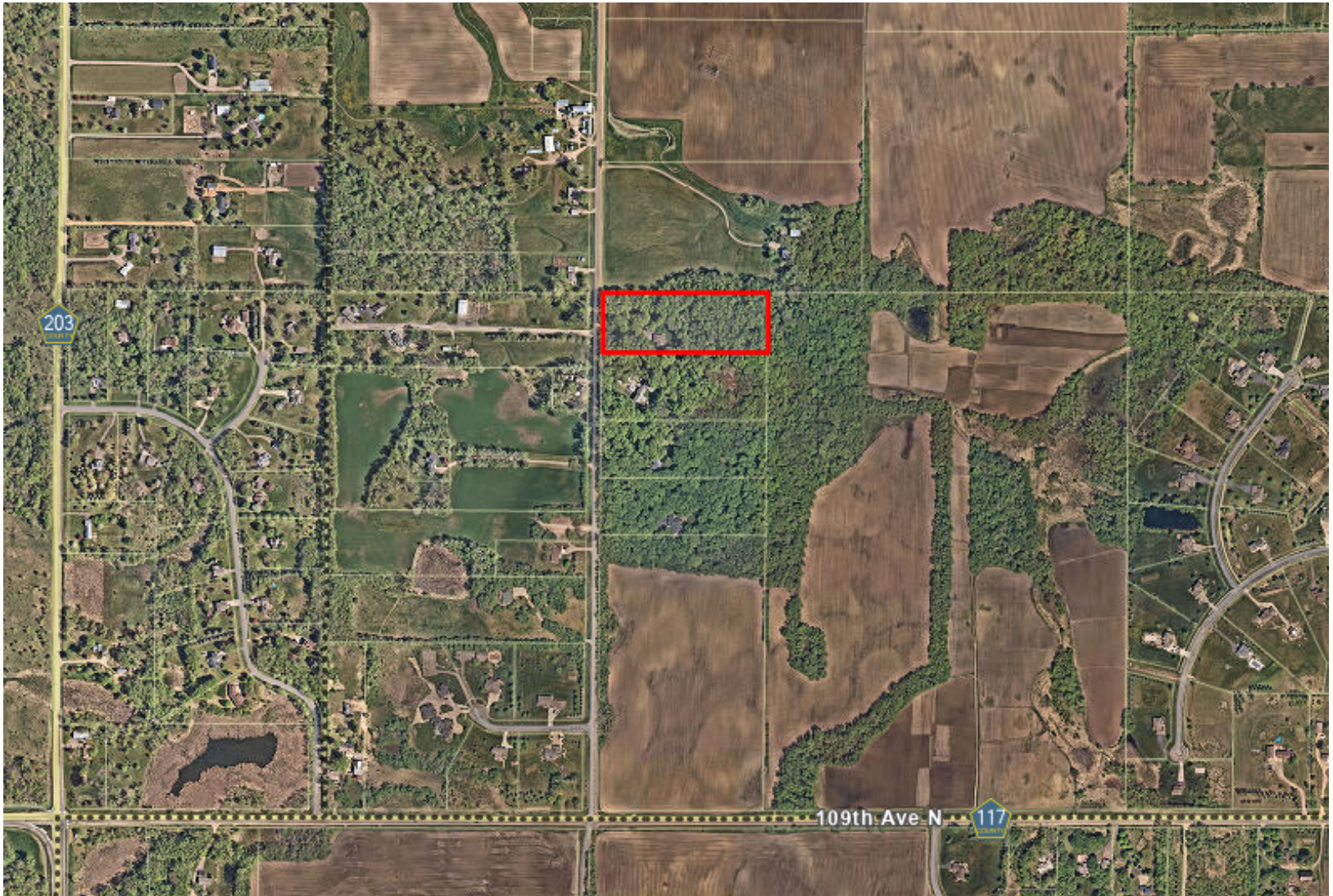
4. Describe why the proposed use is reasonable.

5. Describe the following: *circumstances unique to the property, why the need for the variance was not created by the property owner, and why the need is not solely based on economic considerations.*

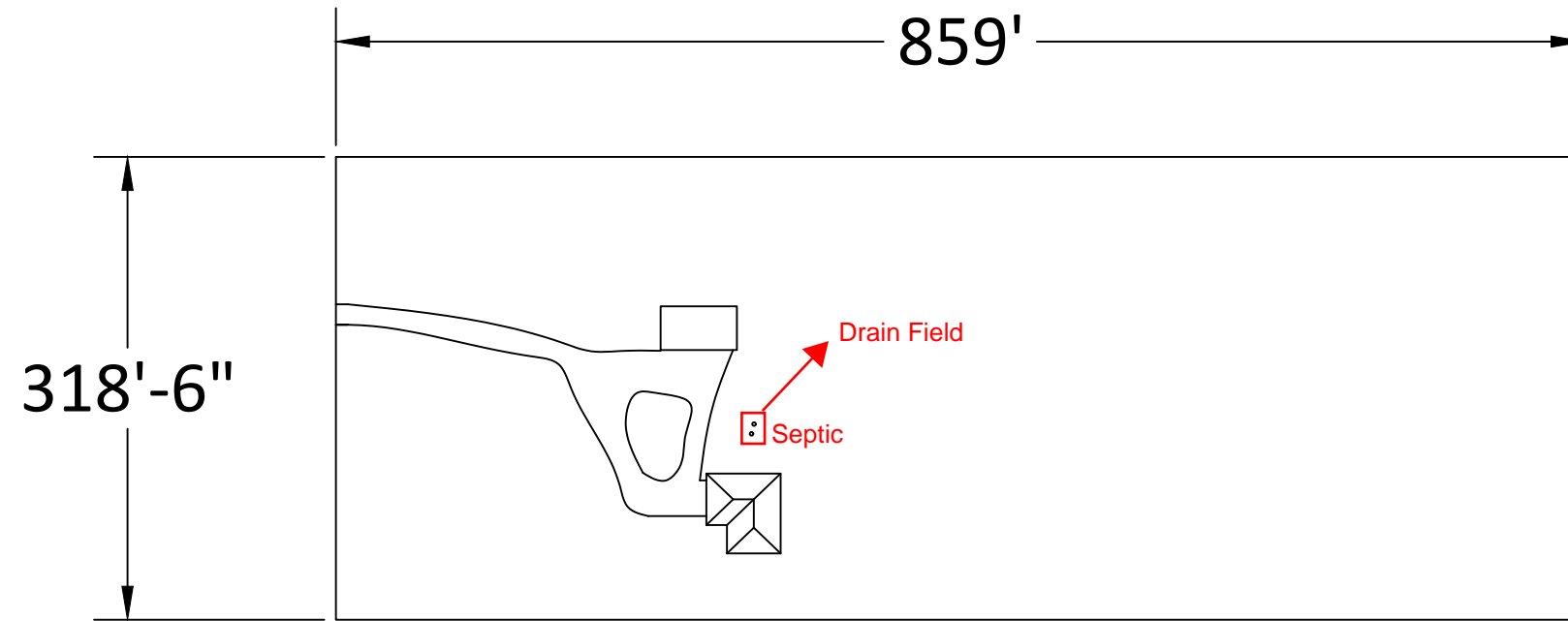
6. Describe why the variance would not alter the essential character of the neighborhood.



LOCATION MAP



Current Layout



GCM Construction & Maintenance LLC
 #BC766925
 6438 City W Pkwy
 Eden Prairie, MN 55344
 952.922.5575

NOTES:

#	REVISION/ISSUE	DATE

Project Number:
#

Project Name:
Iverson Shop

Project Address:
11520 Park Dr
Rogers, MN 55374

Drawing Description:

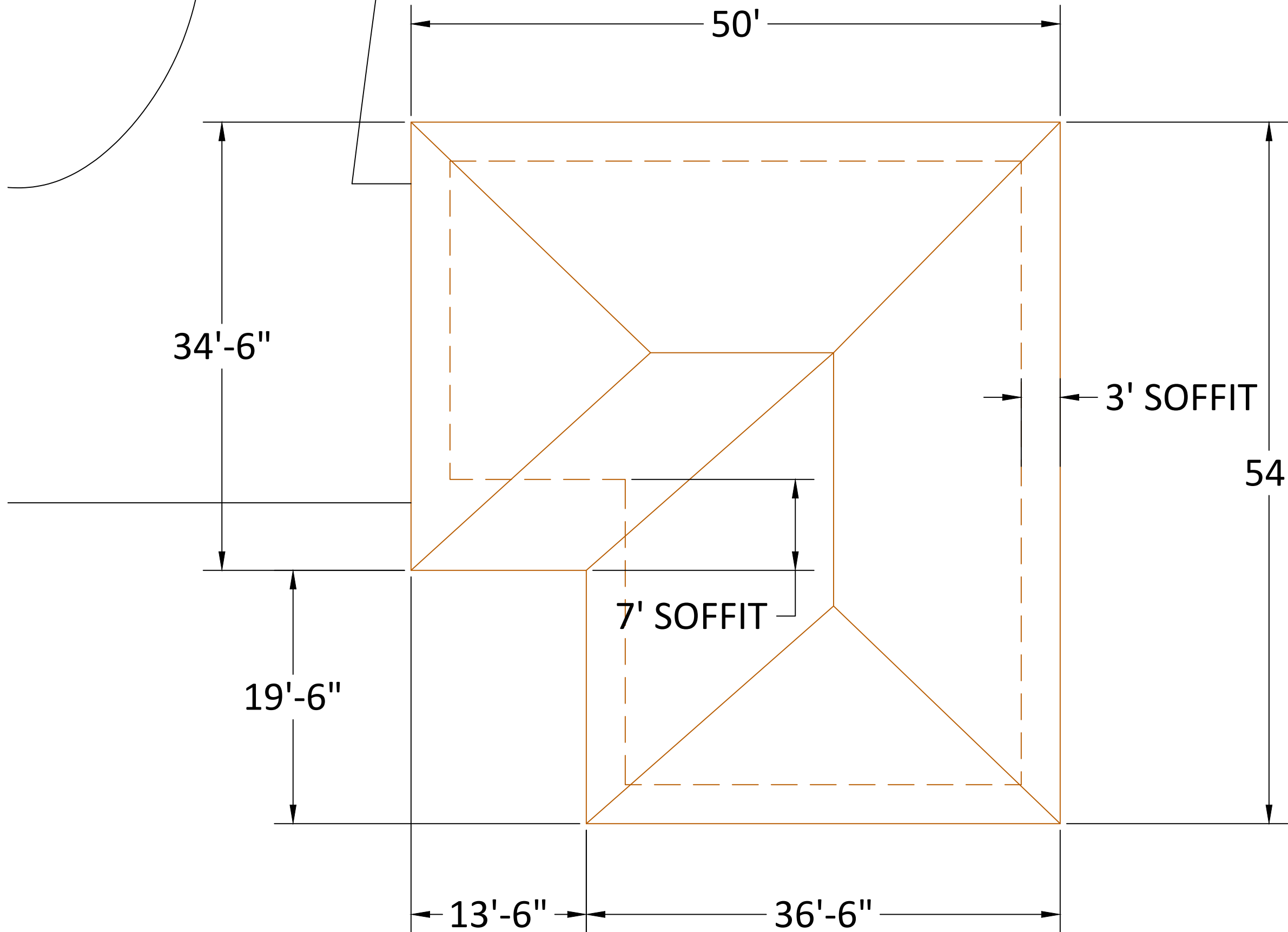
Overall Site Map

Project Manager: DAS Drawn By: DAS

Date: 12-10-24 Page #: 001

Scale: 1/128" = 1'-0"

Current Layout of house and house garage



GCM Construction & Maintenance LLC
 #BC766925
 6438 City W Pkwy
 Eden Prairie, MN 55344
 952.922.5575

NOTES:

#	REVISION/ISSUE	DATE
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Project Number:
#

Project Name:
Iverson Shop

Project Address:
11520 Park Dr
Rogers, MN 55374

Drawing Description:

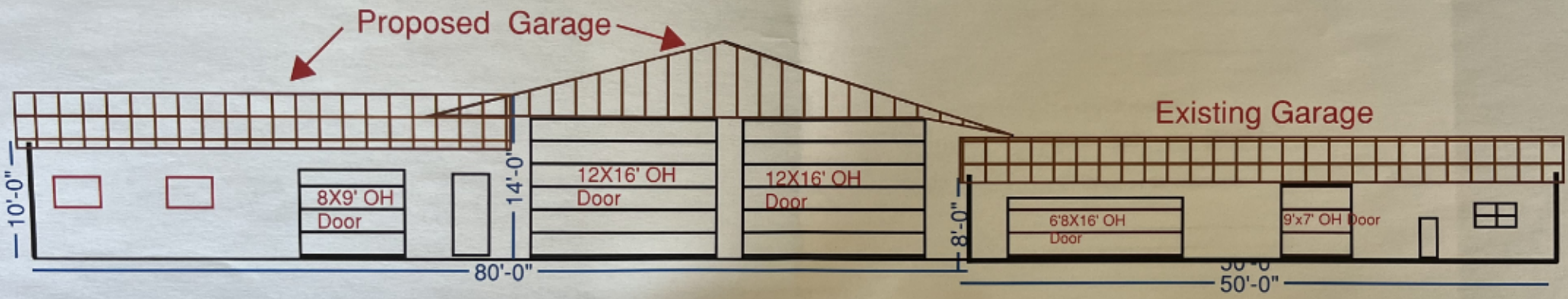
Plan View of House

Project Manager: DAS	Drawn By: DAS
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Date: 12-10-24	Page #: 003
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Scale: 1/8" = 1'-0"	
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West side of existing detached garage where addition will be attached





STAFF REPORT

Meeting Date: February 3, 2025

**ROGERS PLANNING
COMMISSION**

Agenda Item: 4.2

Subject: Consideration of a Site Plan and Variance Request for the Rogers Tech Center Development (Church Ave and County Rd 81)

Prepared By: Eric Burtness, Community Development Specialist

Recommended Council Action

Overview / Background / Analysis

Lariat Companies, Inc. has submitted a site plan application and variance request for the development of a 14,973-square-foot business incubator warehouse located at PID 23-120-23-41-0010, near the intersection of Church Avenue and County Road 81. The proposed development is intended to provide adaptable commercial space for small businesses, including contractors, distributors, and service providers. The proposed use is permitted with the City's zoning and 2040 Comprehensive Plan, which guides the property for industrial development.

In addition to the site plan approval, the applicant is requesting a variance to reduce the required 50-foot front yard setback along County Road 81. The proposal includes a 10-foot setback from the property line. Adjacent to the property is a 31-foot right-of-way easement, so the resulting setback would be effectively 41-feet from the roadway curb. The variance is necessitated by existing site constraints, including property shape, adjacent wetlands, and the need for stormwater management infrastructure, which limit the developable portion of the site.

Property Details

The subject property is currently undeveloped and zoned General Industrial (GI). The 2040 Comprehensive Plan designates the site for industrial use, and the proposed project is consistent with this vision. Surrounding uses include an automotive dealership to the north, County Road 81 to the west, industrial buildings to the south, and vacant land and wetlands to the east. The proposed site plan complies with all side and rear yard setback requirements and impervious surface limitations but requires a variance for the front yard setback along County Road 81.

The property is currently owned by the City of Rogers. In November 2023, the City entered into a purchase agreement of the Subject Property for the proposed use. Following entering into the Purchase Agreement, the property was re-platted to accommodate the impending sale.

Development Details

The development proposal includes the construction of a 14,973-square-foot building designed to accommodate multiple tenants. The site plan provides for 31 parking spaces, including one ADA-accessible stall, which satisfies the City's parking requirements for industrial uses. The site will be accessed from Church Avenue, with no direct access from County Road 81. A shared trash enclosure is planned on-site, and it will be constructed in compliance with City Code requirements.

All stormwater will be treated on-site. The project includes a bio infiltration basin and a stormwater pretreatment forebay, which will ensure compliance with Elm Creek Watershed Management Commission (ECWMC) requirements. The system is designed to capture and filter the first 1.1 inches of runoff from all impervious surfaces, meeting regulatory standards and mitigating potential stormwater impacts. The grading plan has been adjusted to account for the site's clay soils, ensuring that proper drainage is maintained.

Public safety and emergency access considerations have also been incorporated into the site plan. A new fire hydrant will be required and must be installed either on-site or at the end of Church Avenue, as determined by the Fire Department. Additionally, the parking space in front of the Fire Department Connection (FDC) must be marked as a fire lane, and a designated fire lane along the northern curb line must be included in the final plans.

Access and Parking

The development proposal includes the construction of a 14,973-square-foot building designed to accommodate multiple tenants. The site plan provides for 31 parking spaces, including one ADA-accessible stall, which satisfies the City's parking requirements for industrial uses. The site will be accessed from Church Avenue, with no direct access from County Road 81. Improvements to the access road (Church Avenue) will be at the applicants expense and an encroachment agreement, which includes maintenance responsibilities for the applicant, will be entered into. A shared trash enclosure is planned on-site, and it will be constructed in compliance with City Code requirements.

Architecture

The proposed building will feature modern industrial architecture, incorporating a combination of metal paneling and concrete masonry. Windows and entrance features are positioned to enhance natural light and improve the visual appeal of the structure. Site lighting will be incorporated on the building to ensure safety and visibility while complying with City lighting standards and minimizing light spillover to adjacent properties.

Landscaping

Landscaping improvements meet code requirements, with the addition of six overstory trees, five evergreen trees, and 97 additional shrubs and perennials. The landscaping will be concentrated along the north and east sides of the property to enhance the overall site appearance and provide screening.

Variance Request

The applicant is requesting a variance to reduce the front yard setback along County Road 81 from 50 feet to 10 feet from the property line. However, with the existing 31-foot highway easement, the effective setback from the roadway curb will be 41 feet. The requested variance is necessary due to the presence of wetland buffers, stormwater management requirements, and the highway easement, which collectively reduce the amount of developable land available on the site.

Criteria for Granting Variances

The Planning Commission must make findings of fact that the proposed variance is pursuant, but not limited to, the following considerations:

1. Variances shall only be permitted when they are in harmony with the general purpose and intent of the City Code and consistent with the Comprehensive Plan;
2. Variances may only be permitted when the application establishes that there are non-economic practical difficulties in complying with the zoning ordinance, meaning the property owner proposes to use the lot or parcel reasonably permitted by the zoning code;
3. The plight of the property owner must be due to circumstances that are unique to the lot or parcel and that are not created by the property owner;
4. The variances must not alter the essential character of the locality, including all zoning district and overlay district provisions.

Rogers code also include the following variance standards (beyond state statute):

5. Under the circumstances, the public interest underlying the proposed variance outweighs the public interest underlying the particular regulation for which the variance is granted; and
6. The granting of a variance will not be injurious to other properties and will not prevent the orderly subdivision of other property in the area, in accordance with these regulations.

Each variance request is processed and evaluated on its own merits. The Planning Commission should consider if the request meets the variance criteria as listed above. The following should be considered when determine the request. State Statute specifically notes that economic conditions alone cannot create practical difficulties.

- Does the proposal put the property to use reasonably?
- Are there unique circumstances to the property not created by the landowner?
- Will the variance, if granted, alter the essential character of the area?

Applicant Reasoning

Variance request is needed due to the challenging property shape, wetland shape and existing highway easement. Attached to this memorandum is a worksheet filled out by

the applicant further detailed the proposed reasonings for why the variance is needed.

Staff Recommendation

Motion to open the public hearing and receive public comments regarding the variance request.

Motion to recommend approval of Resolution 2025-14, granting approval of a site plan and variance request for the Rogers Tech Center at PID 23-120-23-41-0010, subject to the conditions as listed in the resolution.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

- A. Resolution No. 2025-14
- B. Applicant Narrative
- C. Variance Worksheet
- D. Civil Plans

RESOLUTION NO. 2025-14

A RESOLUTION APPROVING A SITE PLAN AND VARIANCE REQUEST FOR THE ROGERS TECH CENTER DEVELOPMENT AT PID 23-120-23-41-0010

WHEREAS, Lariat Companies, Inc. ("Applicant") has submitted a request for a site plan and variance approval for the construction of a 14,973 square-foot business incubator warehouse located at PID 23-120-23-41-0010, at the intersection of Church Avenue and County Road 81 in the City of Rogers; and

WHEREAS, the subject property is zoned General Industrial (GI) and guided for industrial development in the 2040 Comprehensive Plan; and

WHEREAS, the Applicant has requested a variance from the required 50-foot front yard setback along County Road 81, proposing a 10-foot setback from the property line; and

WHEREAS, the requested variance is necessary due to the presence of wetland constraints, stormwater management requirements, and site configuration limitations that restrict the developable area of the property; and

WHEREAS, the Planning Commission held a public hearing on February 3, 2025, to review the site plan and variance request, at which time all persons wishing to be heard were given the opportunity to comment; and

WHEREAS, the Planning Commission has reviewed the variance request based on the criteria for granting variances, including:

1. The variance is in harmony with the general purpose and intent of the City Code and 2040 Comprehensive Plan.
2. There are non-economic practical difficulties in complying with the zoning ordinance due to site constraints.
3. The plight of the landowner is due to unique circumstances not created by the landowner.
4. The variance does not alter the essential character of the locality.
5. The public interest underlying the variance outweighs the regulation.
6. Approval of the variance will not negatively impact adjacent properties or future development.

WHEREAS, the site plan meets or exceeds City requirements for parking, emergency access, stormwater management, and landscaping, subject to the conditions listed below; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Rogers, Hennepin County, Minnesota, that the site plan for the Rogers Tech Center at PID 23-120-23-41-0010 is hereby approved, subject to the following conditions:

1. Final engineering review and approval must be obtained, and all outstanding comments addressed.

2. The Applicant must comply with Elm Creek Watershed Management Commission (ECWMC) requirements for stormwater treatment and obtain all necessary permits.
3. A hydrant must be added on-site or at the end of Church Avenue to meet Fire Department requirements.
4. The parking space in front of the FDC must be marked as a fire lane, and a fire lane designation along the northern curblin must be included.
5. All necessary encroachment and maintenance agreements for the development must be executed prior to permit issuance.
6. The Applicant must obtain a Hennepin County ROW permit for any work within County Road 81 right-of-way.

BE IT FURTHER RESOLVED that the variance request for a reduced setback of 10 feet from the property line is approved, subject to compliance with all other applicable City and County regulations.

Councilmember _____ moved, Councilmember _____ seconded the motion.

The following voted in favor of said resolution:

The following voted against said resolution:

The following abstained:

Whereupon said resolution was declared duly passed and adopted and was signed by the Mayor and attested by the Clerk this ____ day of February 2025.

Shannon Klick, Mayor

ATTEST:

Stacie Brown, City Clerk

ROGERS TECH CENTER

Our proposed project, Rogers Tech Center, will be a nine bay, 14,973 square foot business incubator building. There is no rent subsidy involved for tenants.

It will attract users who need small, affordable, professional space for their growing business. Users will come from home-based businesses, self-storage facilities and spaces that are being sublet from bigger tenants in larger use buildings.

Some of the need here is driven by the creation of small companies using technology to create new business that make or assemble products, businesses that are resellers on the internet, service businesses that have a need for vehicle and equipment storage that is part of their services, heavy concentration of warehousing needs for small business as well as small contractors, product distributors and specialized equipment rental and repair.

We currently have buildings in Bloomington (older buildings with bays of 2,000 square feet to 4,000 square feet) Waconia, Coon Rapids and Chaska. Waconia is brand new with 13 tenants in two buildings who have spaces of 750 square feet to 1,550 square feet. Coon Rapids is a 9 bay 13,900 SF and Chaska is 25 bays and 40,200 SF.

Parking requirements are minimal as most users don't employ a lot of people and most of the users provide their services off premise of their facility.

The market demand for this type of use is very high and most industrial spaces are built with larger users in mind.

Based on previous experiences, we will exclude any use that has heavy parking – e.g., auto service, quasi-retail, outdoor storage of vehicles/equipment, etc. We want nice, neat, clean uses!

Having been a small business startup and entrepreneur who had the good fortune of building four companies into large enterprises, I relate well to these users (I used to be one!).

Lariat Companies real estate business owns and manages 28 buildings with 80 tenants in the metro Twin Cities that are retail, industrial, office warehouse and self-storage.

We have created systems and built relationships that allow us to effectively deal with and manage the needs of small businesses.

Ed Flaherty
President
Lariat Companies, Inc.

VARIANCE WORKSHEET

1. Detail specifically the deviation(s) from code proposed (e.g. code requires X ft setback, requesting X ft setback).

1. The code requires a 50' setback and we are requesting a 10' setback.

2. Describe how the request is in harmony with the general purpose and intent of zoning for the property.

The building setback would be comparable to surrounding properties. The adjacent properties appear to have the 50'-0" from the county road width, not from the additional approx. 31'-0" Highway Easement only shown on this proposed project site.

3. Describe how the request is consistent with the Comprehensive Plan.

The building is sufficiently setback from the property line for maintenance and usability. The building setback would be comparable to surrounding properties.

4. Describe why the proposed use is reasonable.

Due to the challenging property shape, wetland shape and existing Highway Easement (doc. #7792401) along County Road 81 on the southwest property line with the approx. width of 31', an additional 50' building setback would significantly restricts the allowable building area.

5. Describe the following: *circumstances unique to the property, why the need for the variance was not created by the property owner, and why the need is not solely based on economic considerations.*

The property is currently not developed and owned by the City of Rogers.

6. Describe why the variance would not alter the essential character of the neighborhood.

The adjacent properties have the 50'-0" from the county road width, not from the additional approx. 31'-0" Highway Easement only shown on this proposed project site.

The property will function like it has a 40' setback from ROW.

The building setback would be comparable to surrounding properties.



7514 OLIVER AVE S
MINNEAPOLIS, MN 55423
BUS (612) 220-0152
EMAIL: INFO@ELLIOTTDESIGNBUILD.COM



CLIENT
AMCON CONSTRUCTION
6121 BAKER ROAD STE 101
MINNETONKA, MN 55345

PROJECT
ROGERS TECH

REVISION	N°	DATE
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
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PROJECT N°:
E575

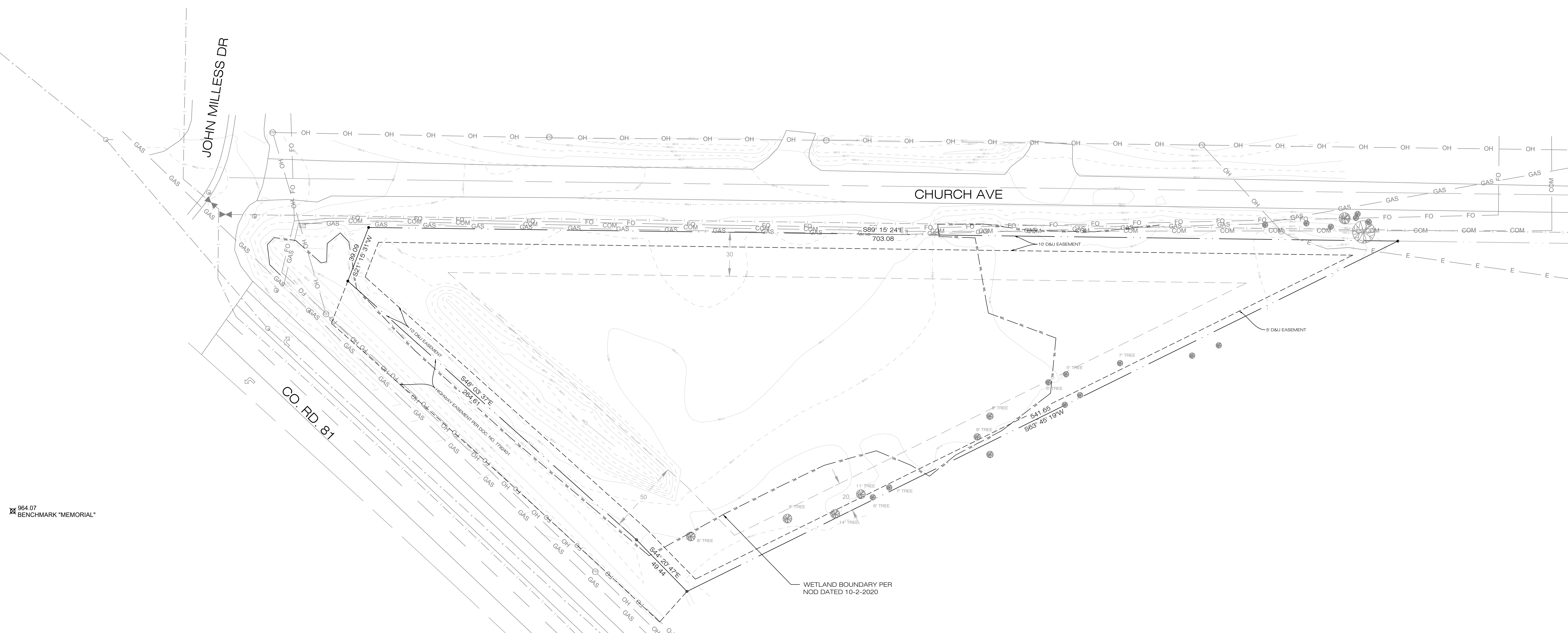
SITE
20901 CO. RD. 81,
ROGERS, MN 55374

*PRELIMINARY
NOT FOR
CONSTRUCTION*

CIVIL SHEET INDEX

SHEET	TITLE
S-1	EXISTING CONDITIONS SURVEY
C-1	REMOVAL PLAN
C-2	GRADING & EROSION PLAN
C-3	UTILITY PLAN
C-4	SITE PLAN
L-1	LANDSCAPE PLAN
D-1	DETAILS
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DRAWING TITLE EXISTING CONDITIONS SURVEY	
DRAWING N°: S-1	
DRAWN BY B. PASSOLT	
CHECKED BY L. ELLIOTT	
DATE 12/23/24	PAGE N°: 1 OF 7
SCALE 1" = 30'	REV. SIZE - 30"X42"



964.07
BENCHMARK "MEMORIAL"

DESCRIPTION:
LOT 1, BLOCK 1, ROGERS CR81 ADDITION, HENNEPIN CO., MN
PID# 23-120-23-41-0006
AREA = 91,706 SF (2.11 AC)

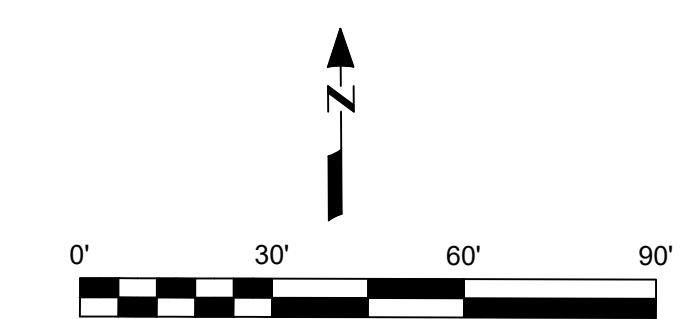
- SURVEYORS NOTES
1. SURVEY SUBJECT TO CHANGE PER TITLE OF EASEMENT INFORMATION
 2. THREE FOUND PINS ON THE SITE WITH CAP # 53642
 3. PROJECT BENCHMARK: MN/DOT GEODETIC MONUMENT "MEMORIAL" ELEV=964.07 (NAVD 88 DATUM) AT SOUTHWEST CORNER OF MEMORIAL DRIVE AND C.R. 81.
 4. UTILITY INFORMATION SHOWN IS A COMPILATION OF PROVIDED RECORD DRAWINGS, VISIBLE UTILITIES, AND MARKED UTILITIES. THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN.

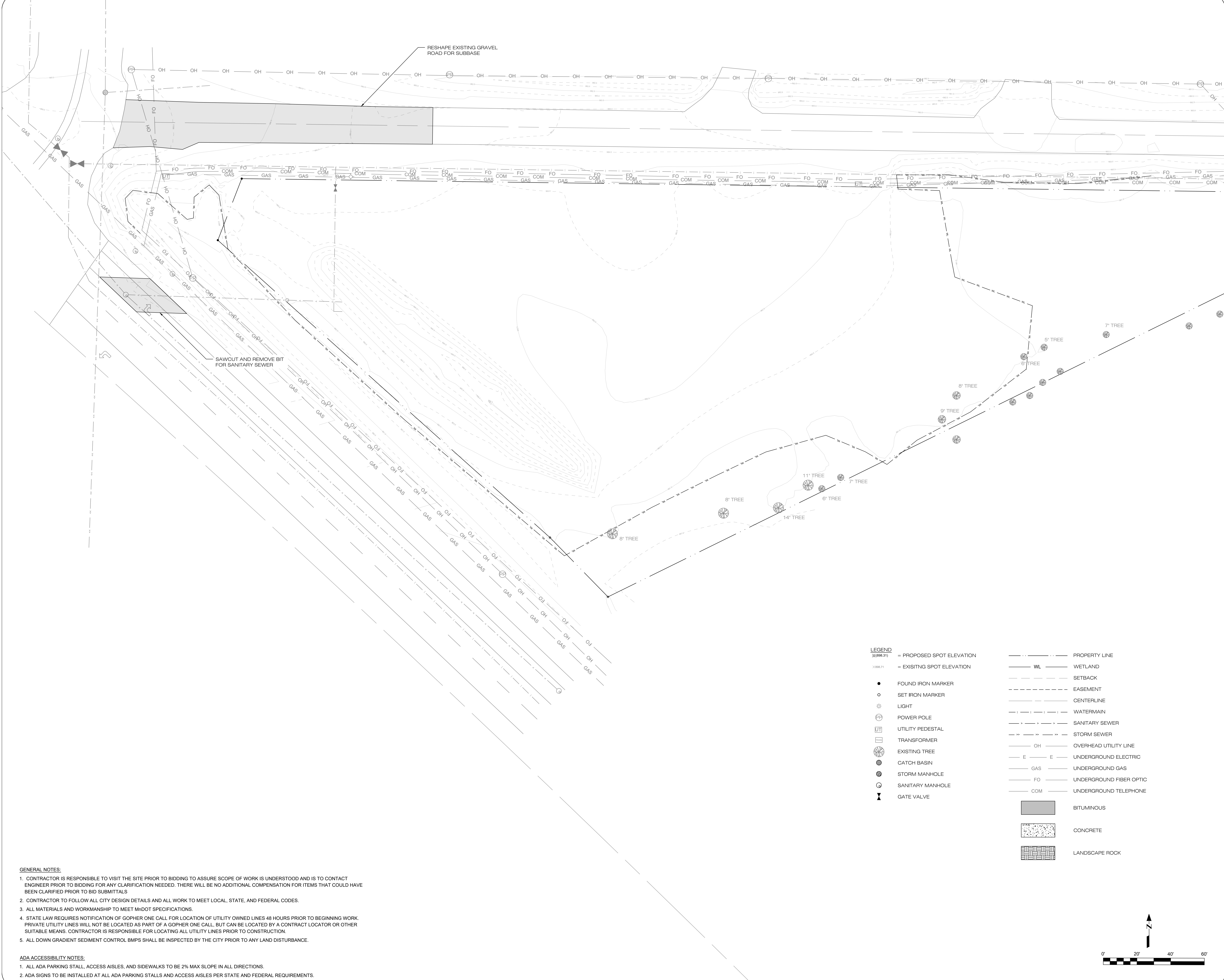
- GENERAL NOTES:
1. CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BIDDING TO ASSURE SCOPE OF WORK IS UNDERSTOOD AND IS TO CONTACT ENGINEER PRIOR TO BIDDING FOR ANY CLARIFICATION NEEDED. THERE WILL BE NO ADDITIONAL COMPENSATION FOR ITEMS THAT COULD HAVE BEEN CLARIFIED PRIOR TO BID SUBMITTALS
 2. CONTRACTOR TO FOLLOW ALL CITY DESIGN DETAILS AND ALL WORK TO MEET LOCAL, STATE, AND FEDERAL CODES.
 3. ALL MATERIALS AND WORKMANSHIP TO MEET MNDOT SPECIFICATIONS.
 4. STATE LAW REQUIRES NOTIFICATION OF GOPHER ONE CALL FOR LOCATION OF UTILITY OWNED LINES 48 HOURS PRIOR TO BEGINNING WORK. PRIVATE UTILITY LINES WILL NOT BE LOCATED AS PART OF A GOPHER ONE CALL, BUT CAN BE LOCATED BY A CONTRACT LOCATOR OR OTHER SUITABLE MEANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITY LINES PRIOR TO CONSTRUCTION.
 5. ALL DOWN GRADIENT SEDIMENT CONTROL BMPs SHALL BE INSPECTED BY THE CITY PRIOR TO ANY LAND DISTURBANCE.

ZONING INFORMATION
DISTRICT - GENERAL INDUSTRIAL (GI)
SETBACKS
FRONT - 30'
SIDE - *50' (VARIANCE REQUESTED)
REAR - 20'
MAX COVERAGE - 75%

LEGEND

(888.31)	= PROPOSED SPOT ELEVATION	---	PROPERTY LINE
(888.71)	= EXISTING SPOT ELEVATION	WL	WETLAND
●	FOUND IRON MARKER	---	SETBACK
○	SET IRON MARKER	---	EASEMENT
*	LIGHT	---	CENTERLINE
PP	POWER POLE	---	WATERMAIN
UT	UTILITY PEDESTAL	---	SANITARY SEWER
TF	TRANSFORMER	---	STORM SEWER
⊙	EXISTING TREE	OH	OVERHEAD UTILITY LINE
⊙	CATCH BASIN	E E	UNDERGROUND ELECTRIC
⊙	STORM MANHOLE	GAS	UNDERGROUND GAS
⊙	SANITARY MANHOLE	FO	UNDERGROUND FIBER OPTIC
⊙	GATE VALVE	COM	UNDERGROUND TELEPHONE
		█	BITUMINOUS
		█	CONCRETE
		█	LANDSCAPE ROCK





LEGEND

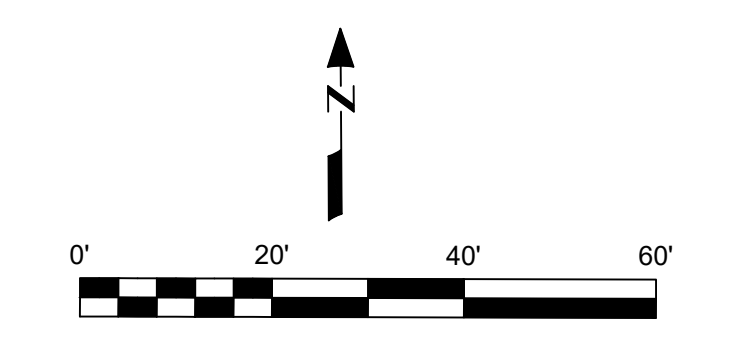
(ELEVATION)	= PROPOSED SPOT ELEVATION	---	PROPERTY LINE
(ELEVATION)	= EXISTING SPOT ELEVATION	WL	WETLAND
●	FOUND IRON MARKER	---	SETBACK
○	SET IRON MARKER	---	EASEMENT
*	LIGHT	---	CENTERLINE
PP	POWER POLE	---	WATERMAIN
UT	UTILITY PEDESTAL	---	SANITARY SEWER
TR	TRANSFORMER	---	STORM SEWER
ET	EXISTING TREE	OH	OVERHEAD UTILITY LINE
CB	CATCH BASIN	E	UNDERGROUND ELECTRIC
SM	STORM MANHOLE	GAS	UNDERGROUND GAS
SMH	SANITARY MANHOLE	FO	UNDERGROUND FIBER OPTIC
GV	GATE VALVE	COM	UNDERGROUND TELEPHONE
		[Pattern]	BITUMINOUS
		[Pattern]	CONCRETE
		[Pattern]	LANDSCAPE ROCK

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BIDDING TO ASSURE SCOPE OF WORK IS UNDERSTOOD AND IS TO CONTACT ENGINEER PRIOR TO BIDDING FOR ANY CLARIFICATION NEEDED. THERE WILL BE NO ADDITIONAL COMPENSATION FOR ITEMS THAT COULD HAVE BEEN CLARIFIED PRIOR TO BID SUBMITTALS
- CONTRACTOR TO FOLLOW ALL CITY DESIGN DETAILS AND ALL WORK TO MEET LOCAL, STATE, AND FEDERAL CODES.
- ALL MATERIALS AND WORKMANSHIP TO MEET MHDOT SPECIFICATIONS.
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- ALL DOWN GRADIENT SEDIMENT CONTROL BMPs SHALL BE INSPECTED BY THE CITY PRIOR TO ANY LAND DISTURBANCE.

ADA ACCESSIBILITY NOTES:

- ALL ADA PARKING STALL, ACCESS AISLES, AND SIDEWALKS TO BE 2% MAX SLOPE IN ALL DIRECTIONS.
- ADA SIGNS TO BE INSTALLED AT ALL ADA PARKING STALLS AND ACCESS AISLES PER STATE AND FEDERAL REQUIREMENTS.



7514 OLIVER AVE S
MINNEAPOLIS, MN 55423
BUS (612) 220-0152
EMAIL: INFO@ELLIOTTDESIGNBUILD.COM



CLIENT
AMCON CONSTRUCTION
6121 BAKER ROAD STE 101
MINNETONKA, MN 55345

PROJECT
ROGERS TECH

REVISION	N°	DATE

PROJECT N°:
E575

SITE
20901 CO. RD. 81,
ROGERS, MN 55374

**PRELIMINARY
NOT FOR
CONSTRUCTION**

CIVIL SHEET INDEX

SHEET	TITLE
S-1	EXISTING CONDITIONS SURVEY
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C-4	SITE PLAN
L-1	LANDSCAPE PLAN
D-1	DETAILS

DRAWING TITLE
REMOVAL PLAN

DRAWING N°:
C-1

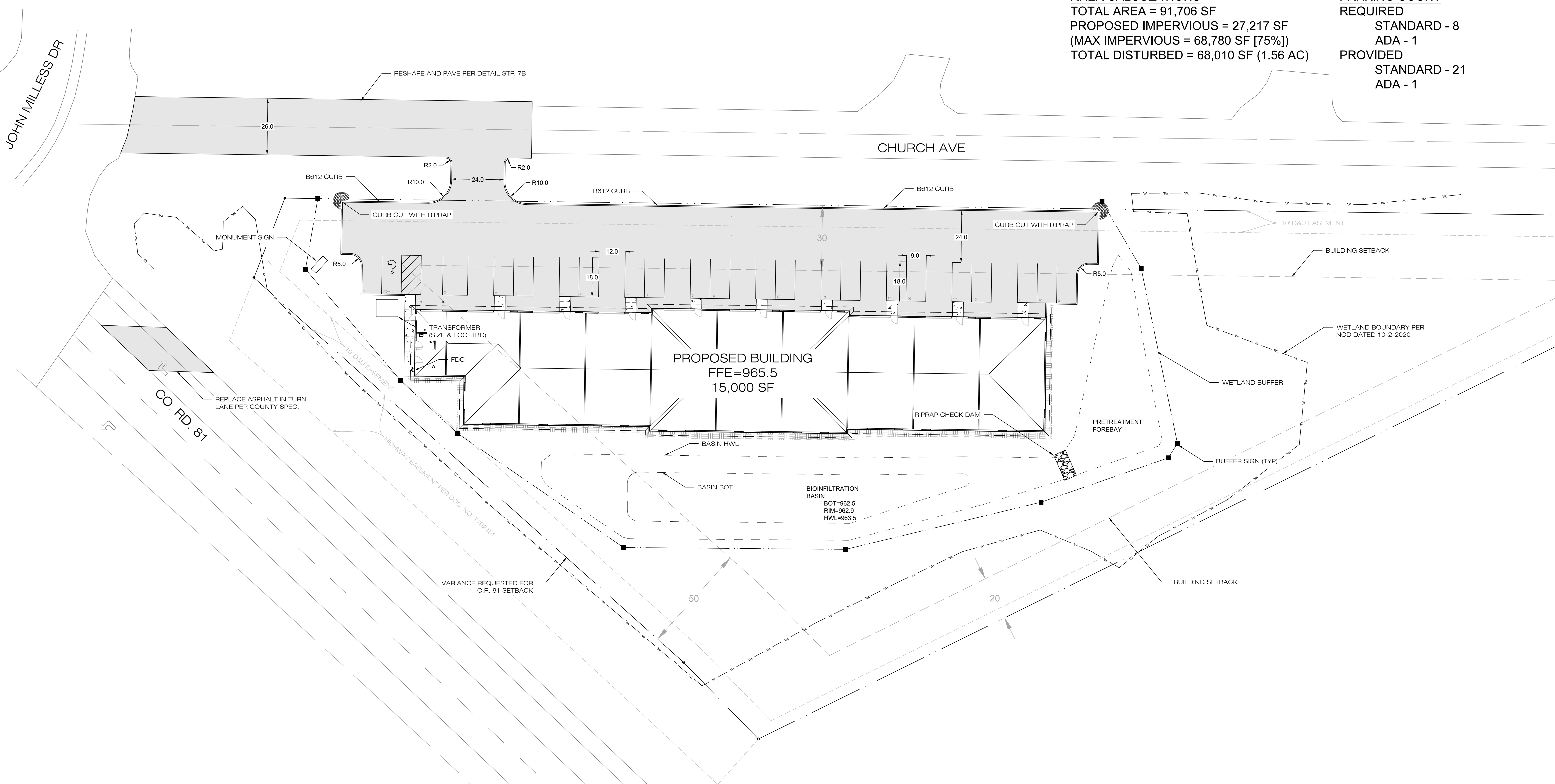
DRAWN BY
B. PASSOLT

CHECKED BY
L. ELLIOTT

DATE 12/23/24	PAGE N°: 2 OF 7
SCALE 1" = 20'	REV. -
	SIZE 30"X42"

AREA CALCULATIONS
 TOTAL AREA = 91,706 SF
 PROPOSED IMPERVIOUS = 27,217 SF
 (MAX IMPERVIOUS = 68,780 SF [75%])
 TOTAL DISTURBED = 68,010 SF (1.56 AC)

PARKING COUNT
 REQUIRED
 STANDARD - 8
 ADA - 1
 PROVIDED
 STANDARD - 21
 ADA - 1



ZONING INFORMATION
 DISTRICT - GENERAL INDUSTRIAL (GI)

SETBACKS
 FRONT - 30'
 SIDE - *50' (VARIANCE REQUESTED)
 REAR - 20'

MAX COVERAGE - 75%

PAVEMENT SECTIONS:

CHURCH AVE BITUMINOUS PAVEMENT: 1.5" BIT, 2.5" BIT, ADD AGG BASE IF NEEDED (CL 5) (STR-7B)

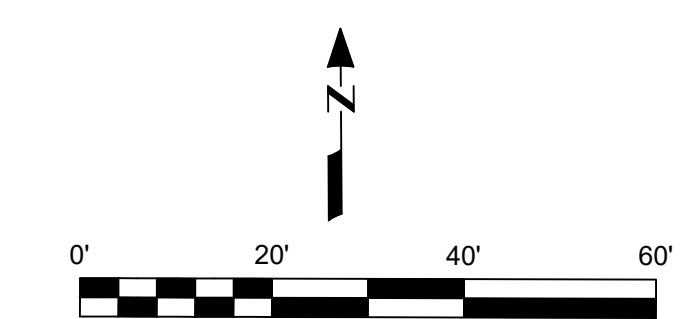
PARKING LOT BITUMINOUS PAVEMENT: 1.5" BIT, 1.5" BIT, 6" AGG BASE (CL. 5)

CONCRETE WALK: 4" PCC OVER 6" GRAVEL BASE

1. Pavement materials, mix design, and construction should conform to the current Minnesota Department of Transportation (MnDOT) Standard Specifications for Construction.
2. We recommend wearing course consist of SPWEA240B (MnDOT Specification 2360).
3. We recommend non-wear course consist of SPNWB230B (Mn DOT Specification 2360).
4. Concrete in accordance with MnDOT Specification 2301.
5. The aggregate base course materials should consist of crushed stone MnDOT Class 5 that should be placed on a stable subgrade compacted to at least 100 percent of the material s standard Proctor maximum dry density.
6. Concrete pavement should have a 28-day compressive strength of at least 4,000 psi.

LEGEND		PROPERTY LINE	
(Symbol)	PROPOSED SPOT ELEVATION	(Symbol)	WETLAND
(Symbol)	EXISTING SPOT ELEVATION	(Symbol)	SETBACK
(Symbol)	FOUND IRON MARKER	(Symbol)	EASEMENT
(Symbol)	SET IRON MARKER	(Symbol)	CENTERLINE
(Symbol)	LIGHT	(Symbol)	WATERMAIN
(Symbol)	POWER POLE	(Symbol)	SANITARY SEWER
(Symbol)	UTILITY PEDESTAL	(Symbol)	STORM SEWER
(Symbol)	TRANSFORMER	(Symbol)	OVERHEAD UTILITY LINE
(Symbol)	EXISTING TREE	(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	CATCH BASIN	(Symbol)	UNDERGROUND GAS
(Symbol)	STORM MANHOLE	(Symbol)	UNDERGROUND FIBER OPTIC
(Symbol)	SANITARY MANHOLE	(Symbol)	UNDERGROUND TELEPHONE
(Symbol)	GATE VALVE	(Symbol)	BITUMINOUS
(Symbol)		(Symbol)	CONCRETE
(Symbol)		(Symbol)	LANDSCAPE ROCK

- GENERAL NOTES:
1. CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BIDDING TO ASSURE SCOPE OF WORK IS UNDERSTOOD AND IS TO CONTACT ENGINEER PRIOR TO BIDDING FOR ANY CLARIFICATION NEEDED. THERE WILL BE NO ADDITIONAL COMPENSATION FOR ITEMS THAT COULD HAVE BEEN CLARIFIED PRIOR TO BID SUBMITTALS.
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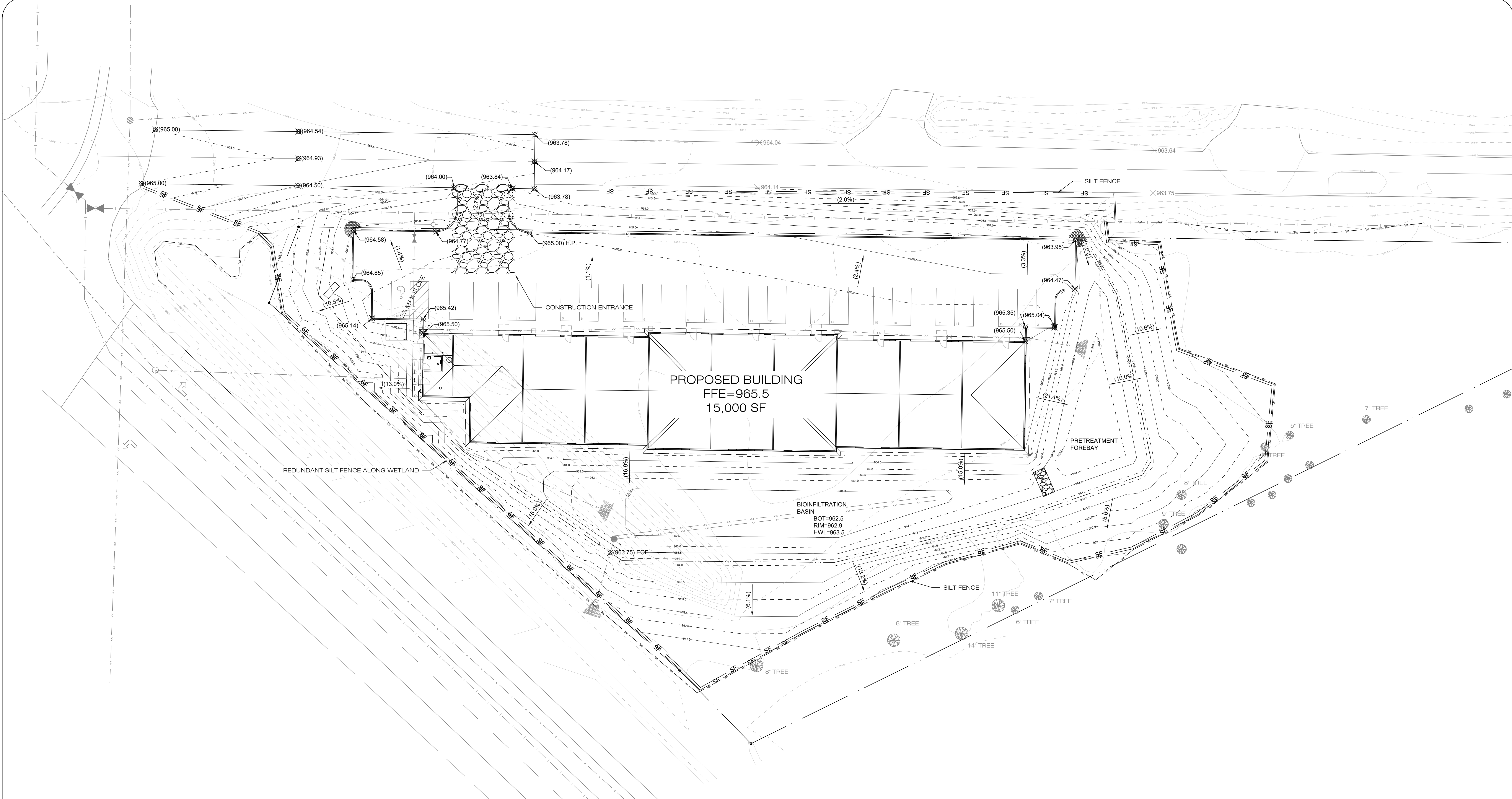
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D-1	DETAILS

DRAWING TITLE SITE PLAN	
DRAWING N°: C-4	
DRAWN BY B. PASSOLT	
CHECKED BY L. ELLIOTT	
DATE 12/23/24	PAGE N°: 5 OF 7
SCALE 1" = 20'	REV. SIZE - 30"X42"

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DRAWING TITLE GRADING & EROSION CONTROL PLAN	
DRAWING N°: C-2	
DRAWN BY B. PASSOLT	
CHECKED BY L. ELLIOTT	
DATE 12/23/24	PAGE N°: 3 OF 7
SCALE 1" = 20'	REV. SIZE - 30"X42"



EROSION CONTROL NOTES:

- NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION ON SITE OF NATIVE TOPSOIL TO THE GREATEST EXTENT POSSIBLE. NEW TOPSOIL THAT IS INSTALLED SHALL CONTAIN AT LEAST 5% ORGANIC CONTENT CONSISTENT WITH RPB/CWD TOPSOIL DEFINITION.
- ADDITIONAL MEASURES, SUCH AS HYDRAULIC MULCHING AND OTHER PRACTICES AS SPECIFIED BY THE DISTRICT MUST BE USED ON SLOPES OF 3:1 (H:V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
- FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
- CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, AND SANITARY WASTE MUST BE PROPERLY MANAGED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S MUST BE REMOVED UPON FINAL STABILIZATION.
- SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF THE SOIL PROFILE WHILE TAKING CARE TO PROTECT UTILITIES, TREE ROOTS, AND OTHER EXISTING VEGETATION.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORILY OR PERMANENTLY CEASED ON A PROPERTY THAT DRAINS TO AN IMPAIRED WATER, WITHIN 14 DAYS ELSEWHERE.
- THE PERMITTEE MUST, AT A MINIMUM, INSPECT, MAINTAIN, AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.

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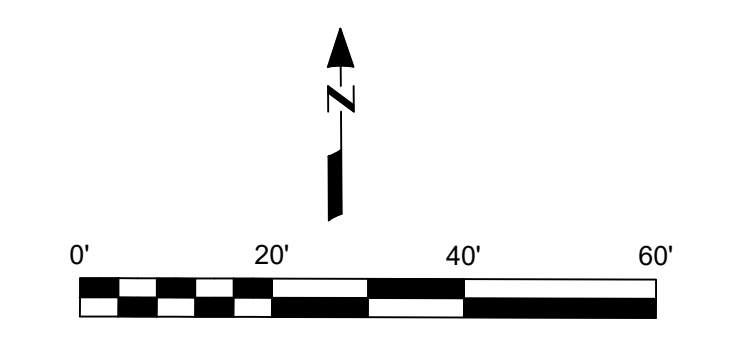
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GRADING NOTES:

- VERIFY WITH ENGINEER IF FIELD ELEVATIONS VARY GREATLY
- PARKING LOT GRADES ARE SHOWN AT FLOWLINE
- DISTURBED AREA TO RECEIVE 6" OF TOPSOIL
- MAXIMUM SLOPE IN WETLAND BUFFER IS 6:1

LEGEND

x(965.01)	= PROPOSED SPOT ELEVATION	---	PROPERTY LINE
o(965.71)	= EXISTING SPOT ELEVATION	--- WL ---	WETLAND
●	FOUND IRON MARKER	---	SETBACK
○	SET IRON MARKER	---	EASEMENT
*	LIGHT	---	CENTERLINE
PP	POWER POLE	---	WATERMAIN
UT	UTILITY PEDESTAL	---	SANITARY SEWER
TR	TRANSFORMER	---	STORM SEWER
⊙	EXISTING TREE	---	OVERHEAD UTILITY LINE
⊙	CATCH BASIN	---	UNDERGROUND ELECTRIC
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⊙	SANITARY MANHOLE	---	UNDERGROUND FIBER OPTIC
⊙	GATE VALVE	---	UNDERGROUND TELEPHONE
		■	BITUMINOUS
		■	CONCRETE
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**DRAWING TITLE
UTILITY PLAN**

DRAWING N°:
C-3

DRAWN BY
B. PASSOLT

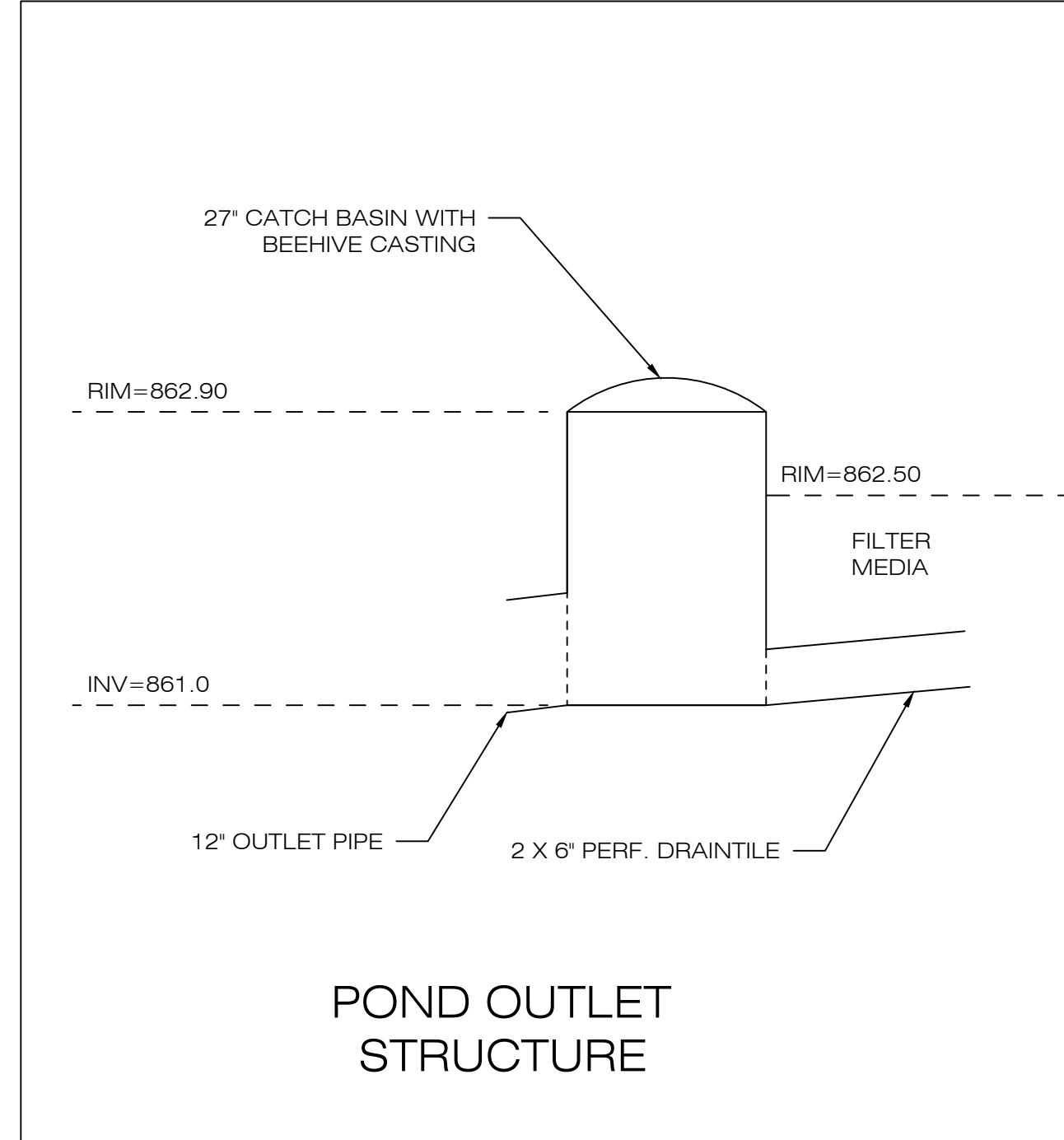
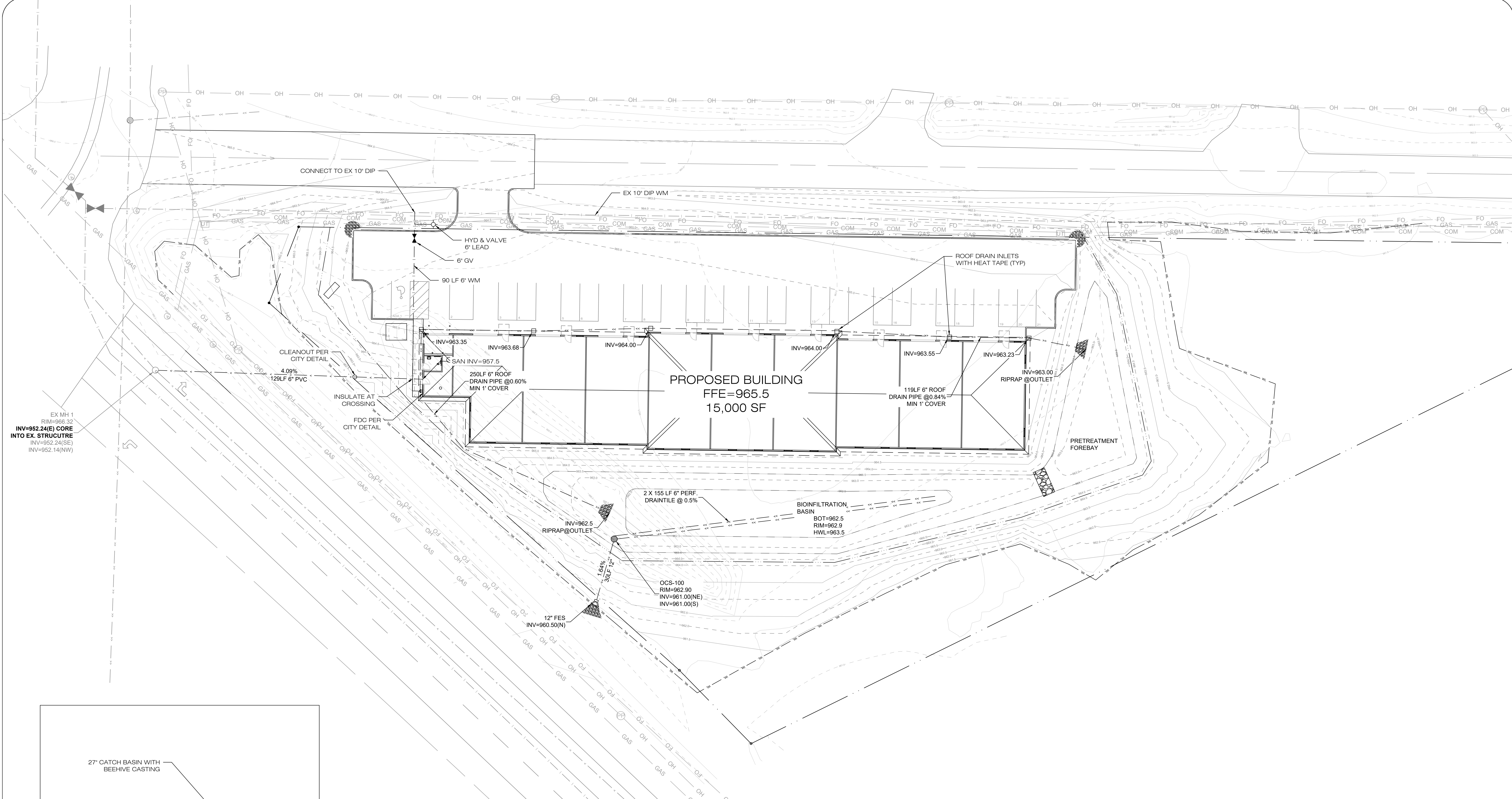
CHECKED BY
L. ELLIOTT

DATE
12/23/24

PAGE N°:
4 OF 7

SCALE
1" = 20'

REV. SIZE
- 30"x42"

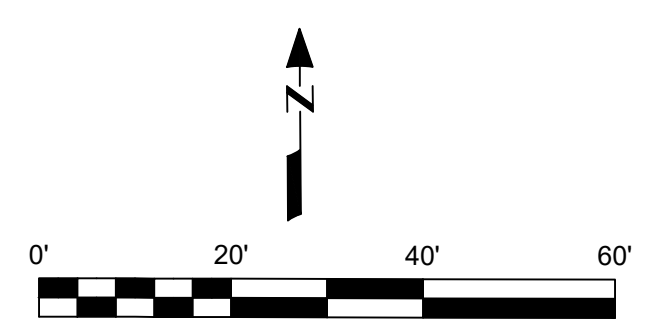


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- UTILITY NOTES:**
- CONTRACTOR TO VERIFY EXISTING INVERTS PRIOR TO CONSTRUCTION.
 - CONTRACTOR RESPONSIBLE TO COORDINATE OR PERFORM NECESSARY UTILITY CONNECTION OR EXISTING UTILITY RELOCATION ON THE SITE INCLUDING WATER, SANITARY, COMMUNICATION, GAS, ELECTRIC, ETC.
 - CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITY LINES PRIOR TO CONSTRUCTION.
 - ALL SITE UTILITY MATERIALS AND INSTALLATION METHODS TO MEET STATE AND CITY REQUIREMENTS.
 - PROVIDE 8" OF COVER OVER WATER AND SANITARY SEWER LINES. IF SUFFICIENT COVER CANNOT BE ACHIEVED THEN INSULATE PER CITY SPEC.

LEGEND

⊙(966.31)	= PROPOSED SPOT ELEVATION	---	PROPERTY LINE
⊙(966.71)	= EXISTING SPOT ELEVATION	--- WL ---	WETLAND
●	FOUND IRON MARKER	---	SETBACK
○	SET IRON MARKER	---	EASEMENT
☆	LIGHT	---	CENTERLINE
⊕	POWER POLE	---	WATERMAIN
⊕	UTILITY PEDESTAL	---	SANITARY SEWER
⊕	TRANSFORMER	---	STORM SEWER
⊕	EXISTING TREE	---	OVERHEAD UTILITY LINE
⊕	CATCH BASIN	---	UNDERGROUND ELECTRIC
⊕	STORM MANHOLE	---	UNDERGROUND GAS
⊕	SANITARY MANHOLE	---	UNDERGROUND FIBER OPTIC
⊕	GATE VALVE	---	UNDERGROUND TELEPHONE
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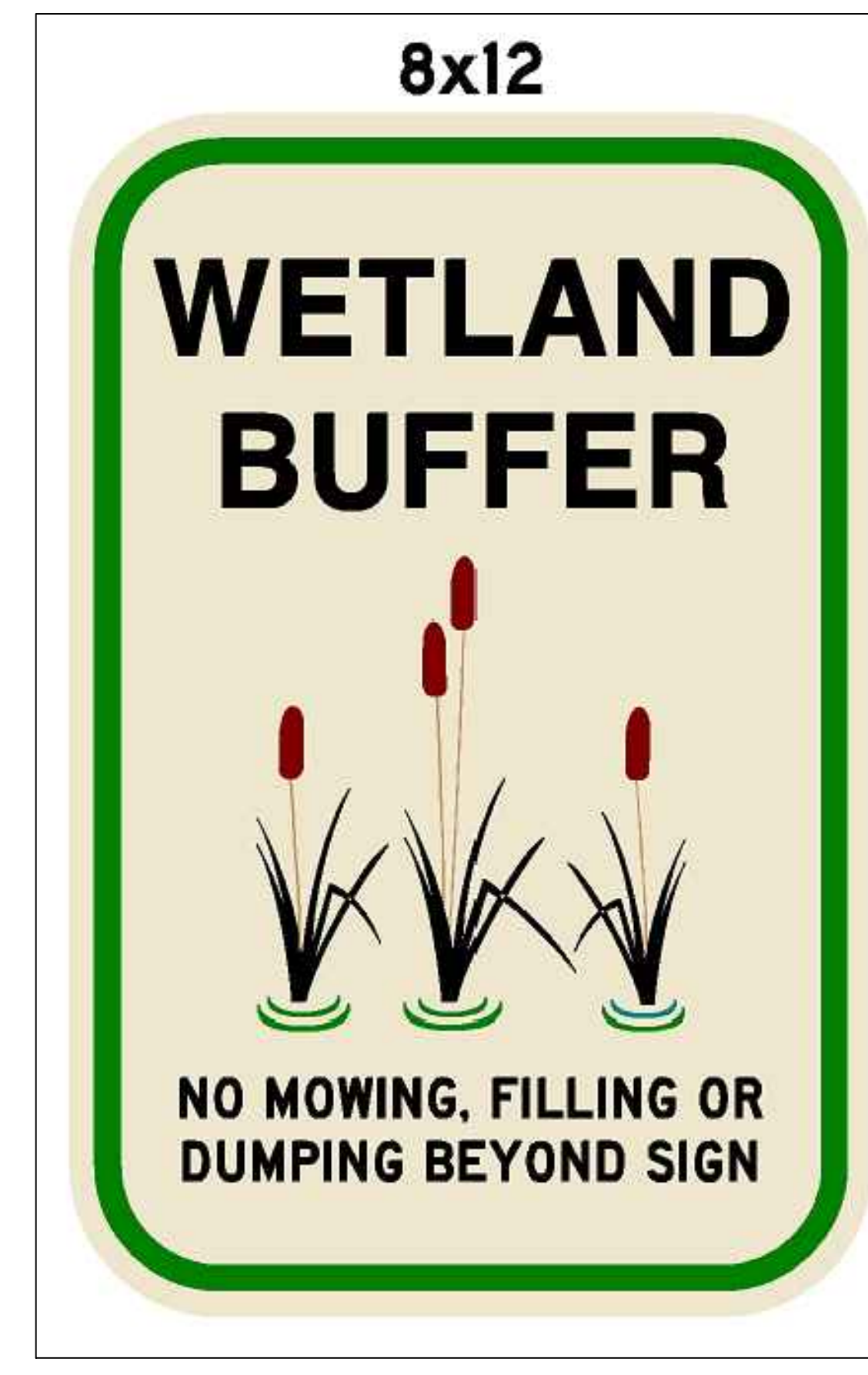
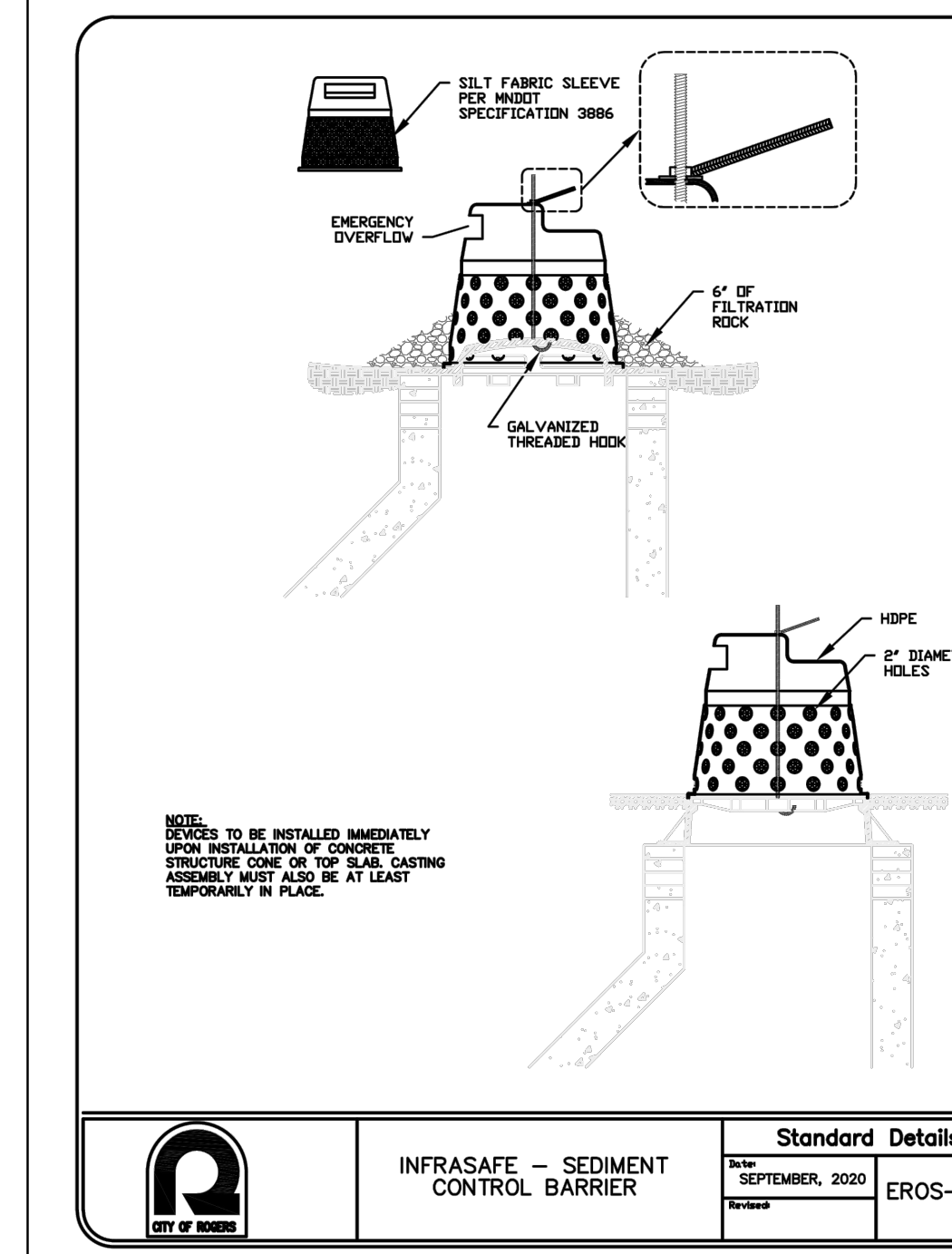
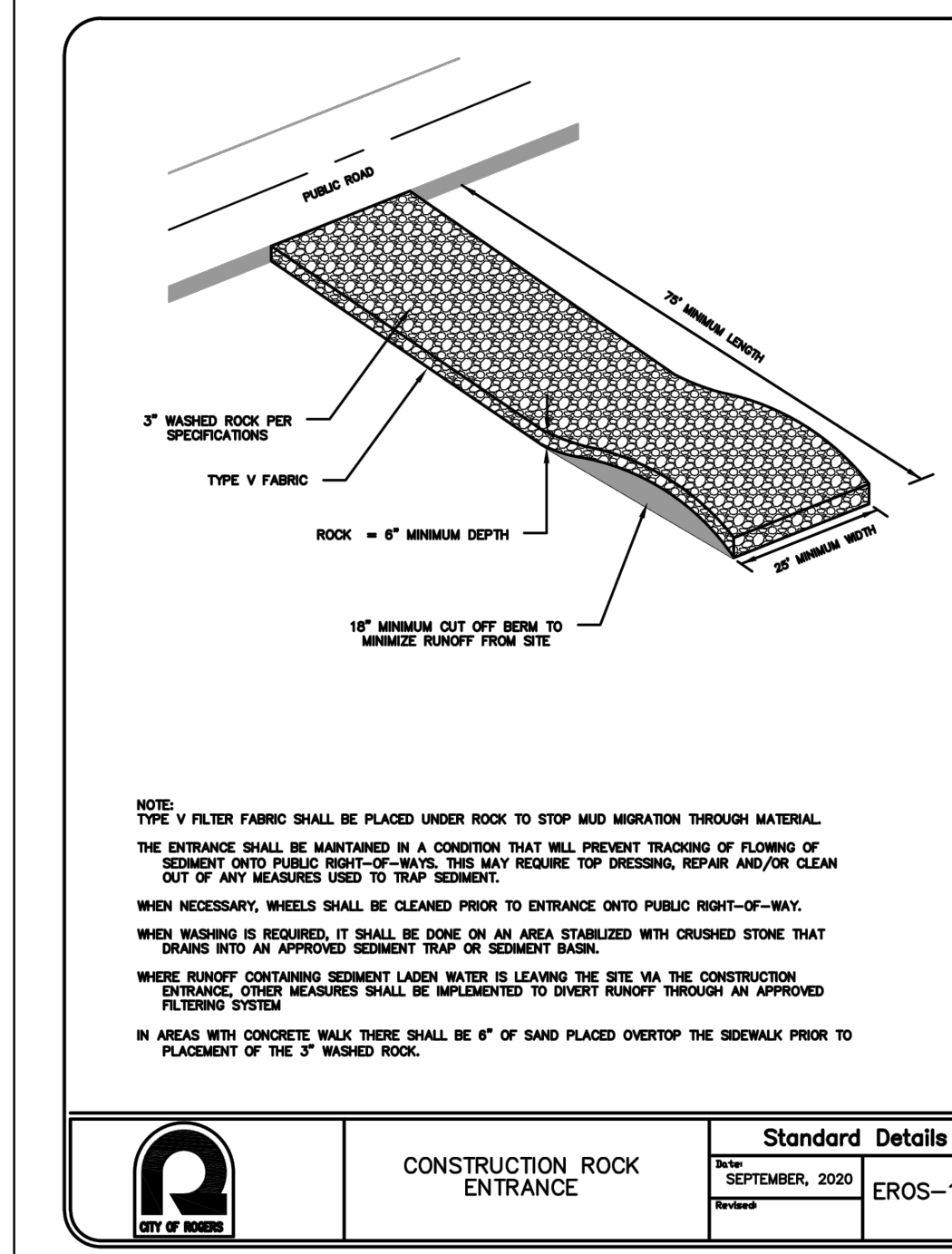
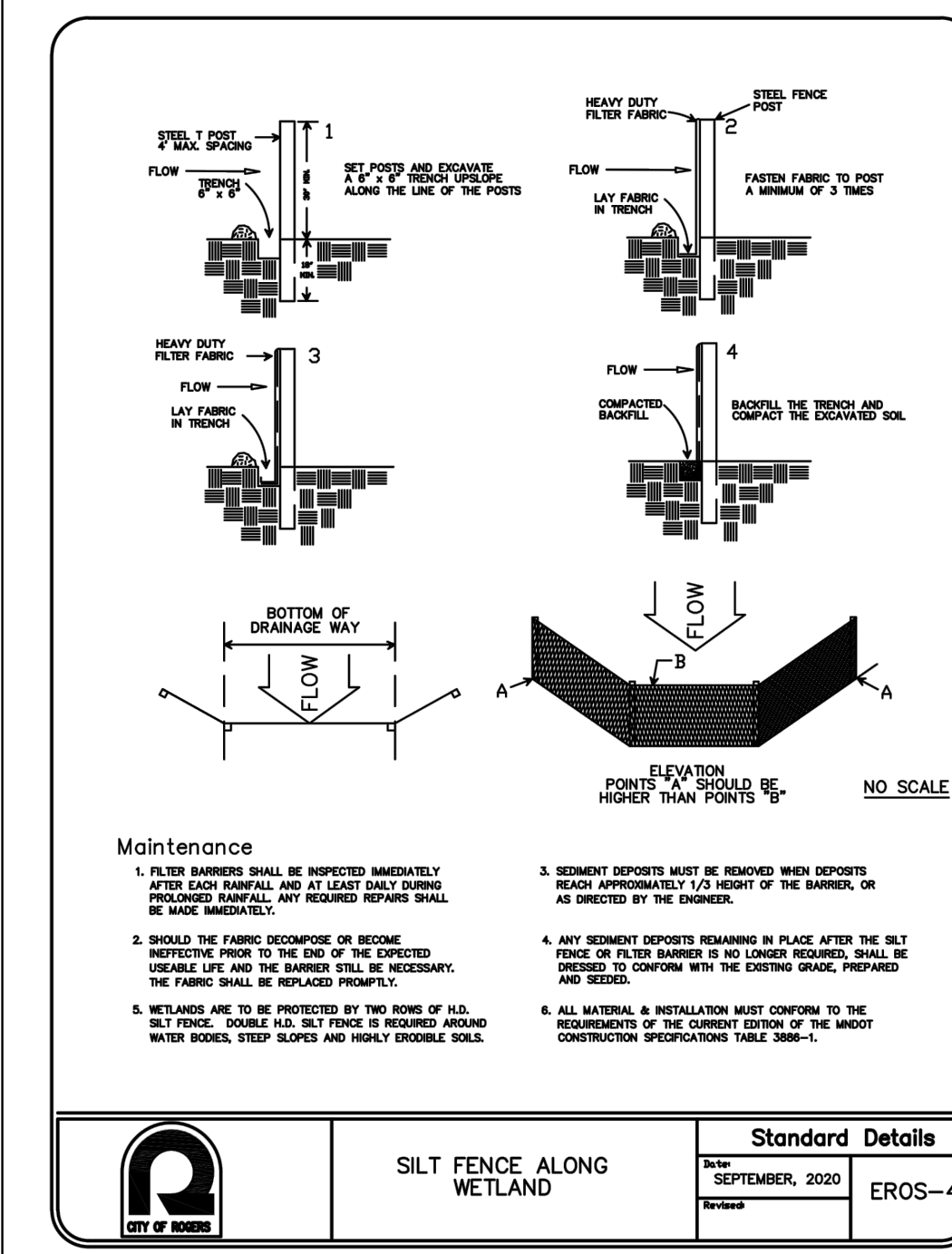
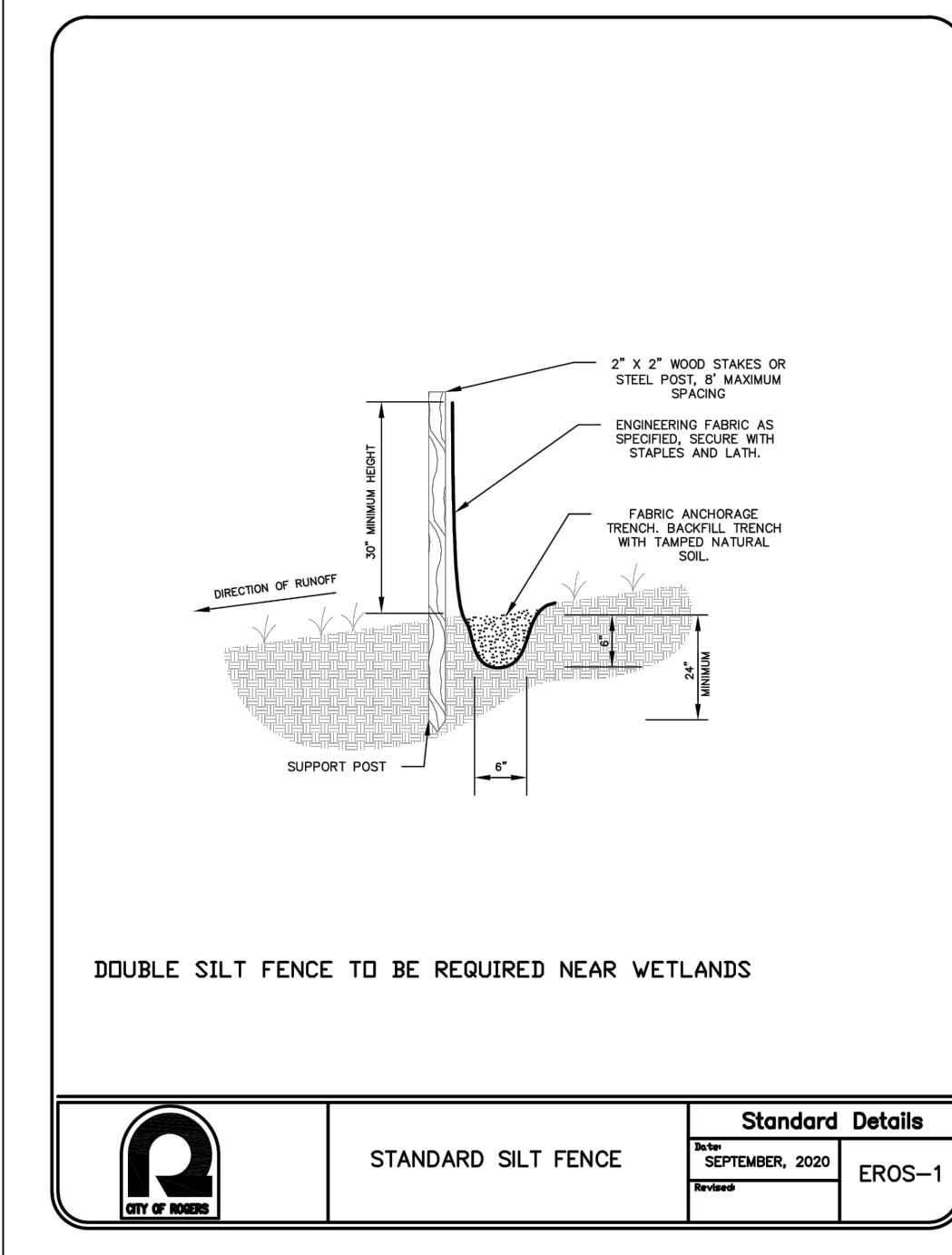
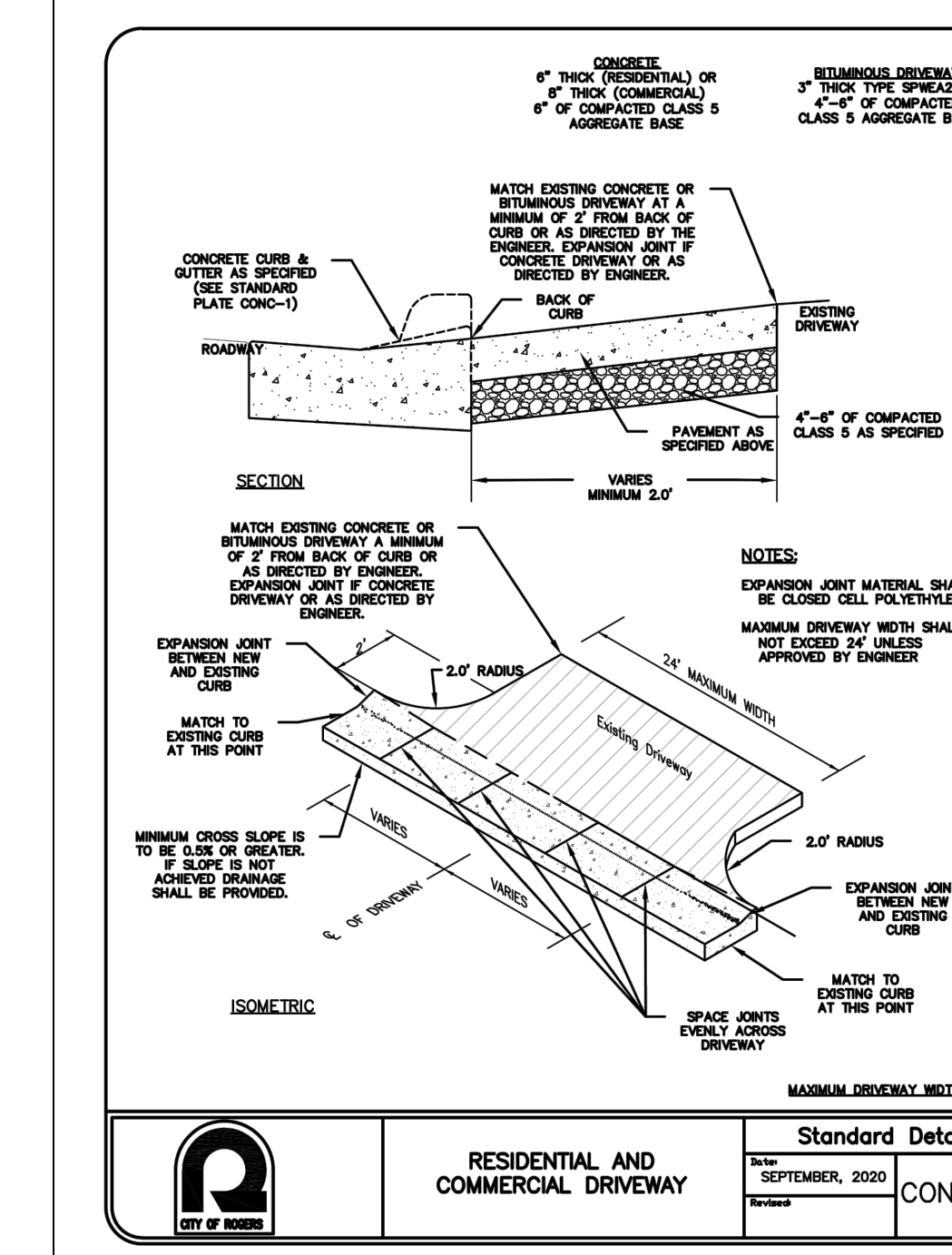
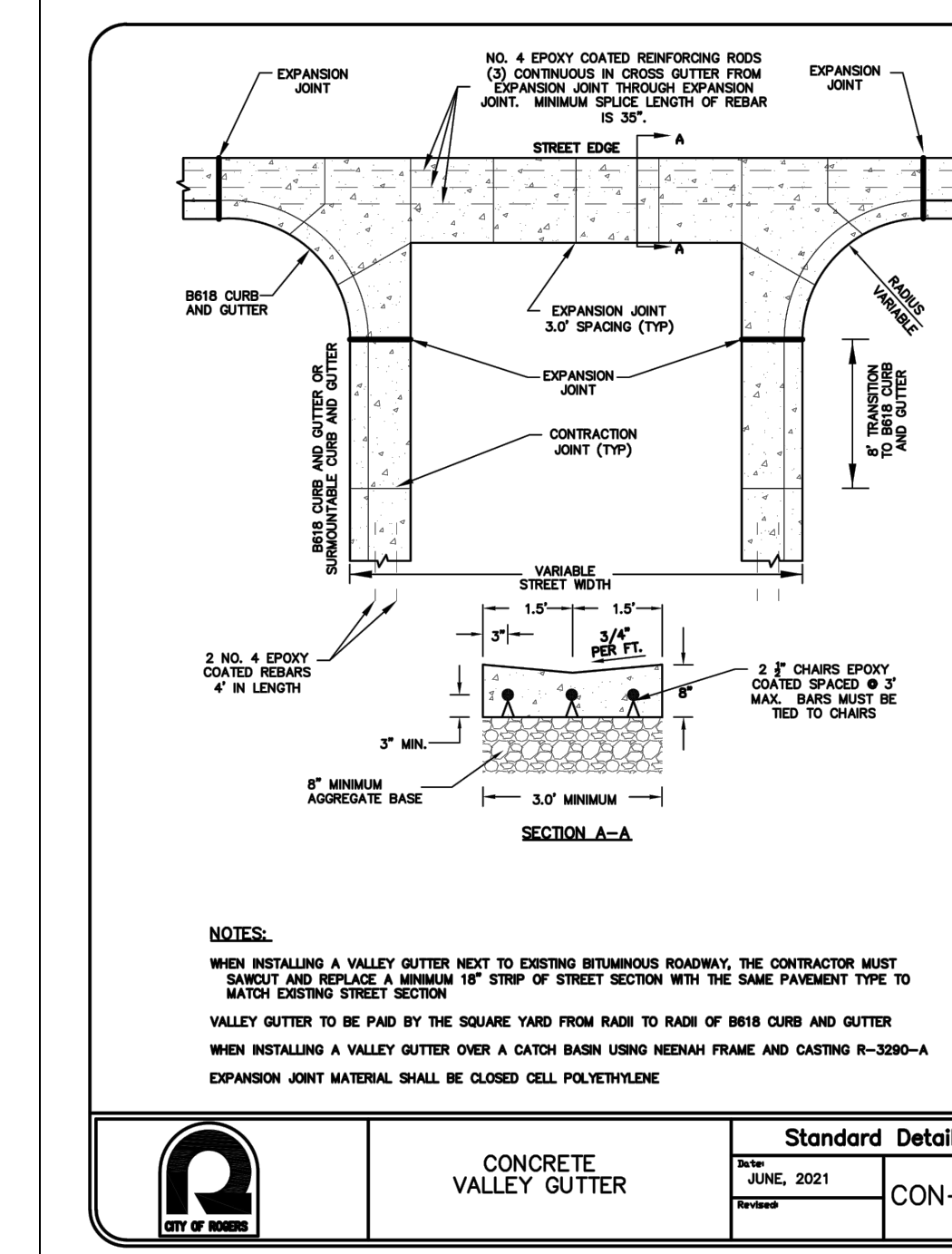
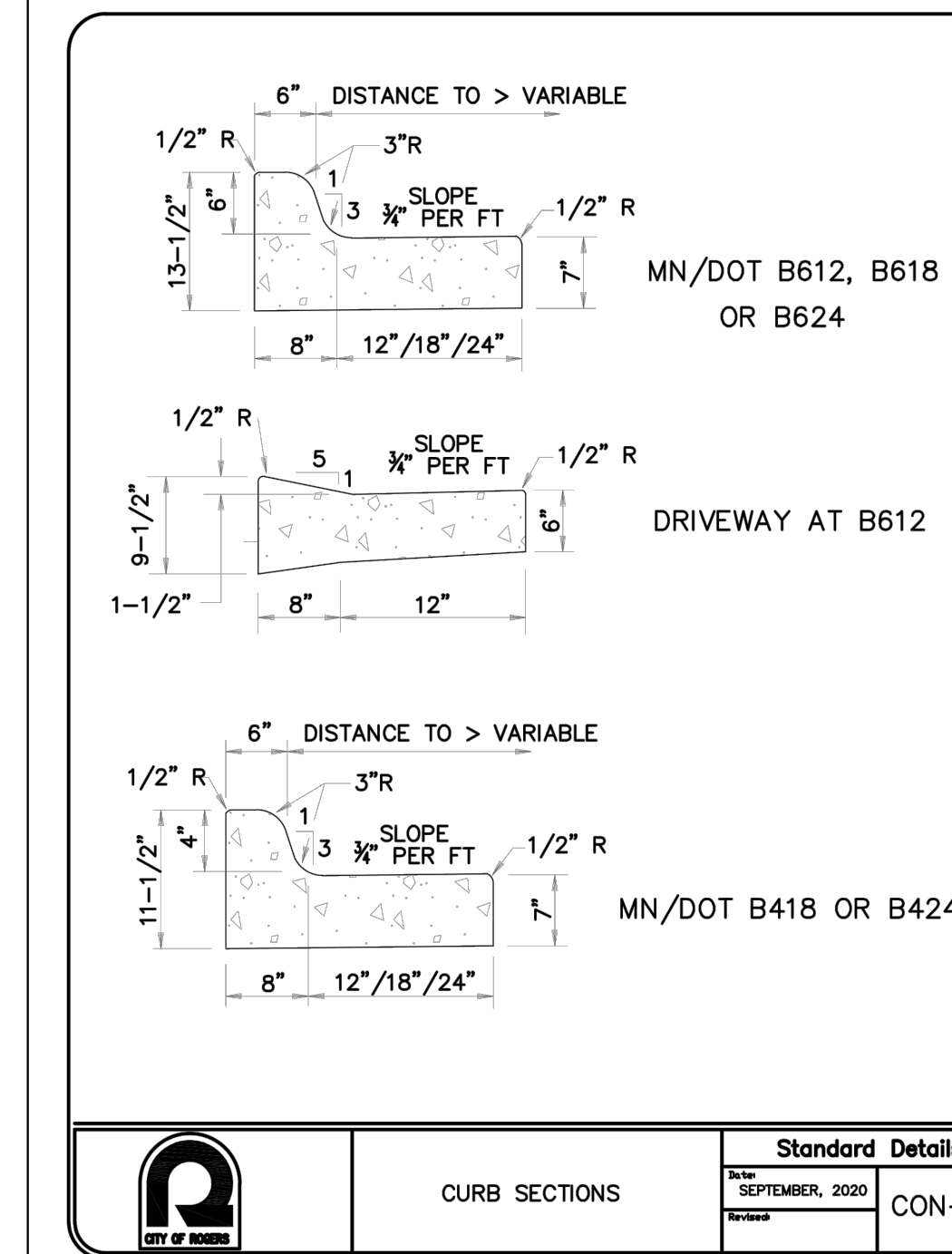
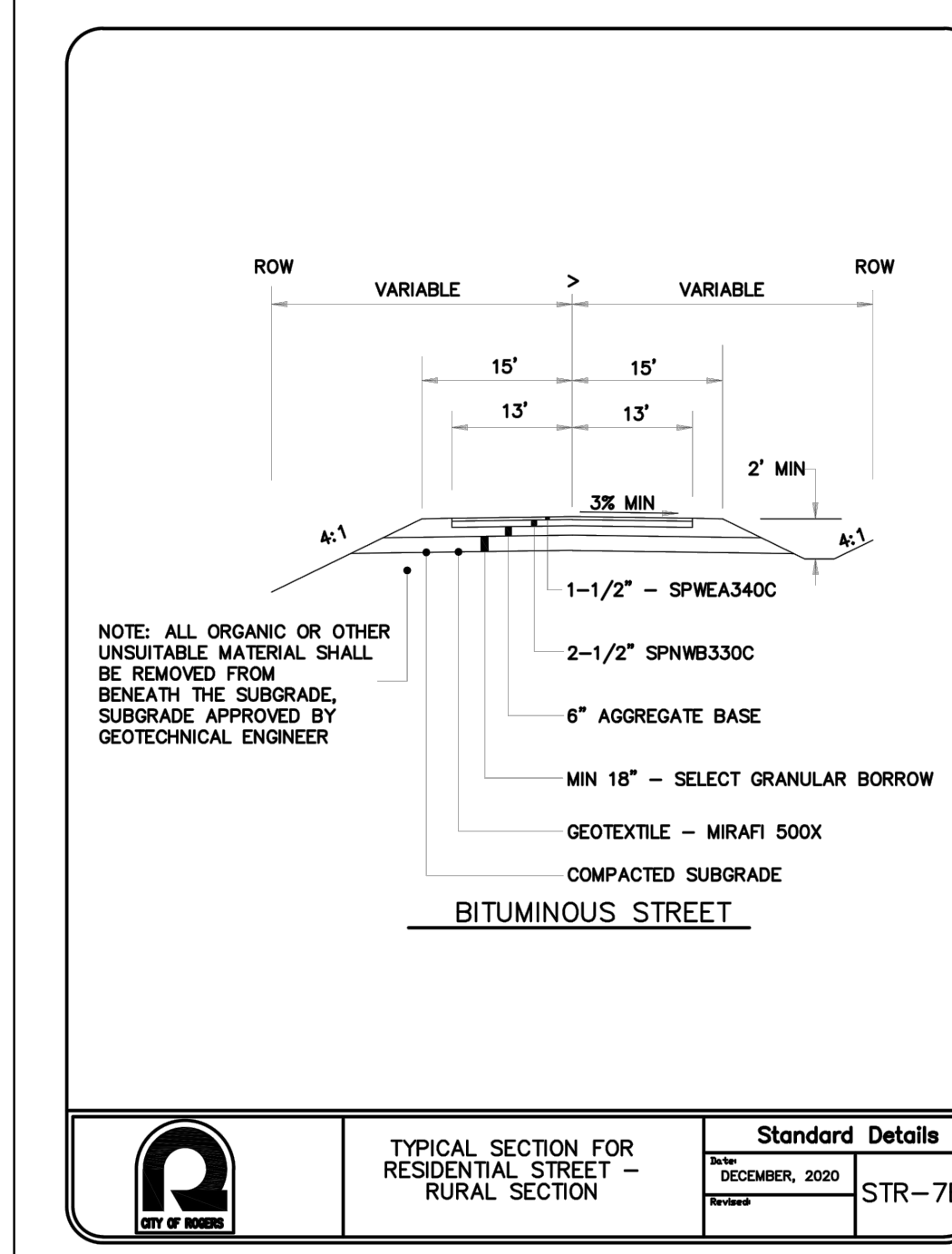
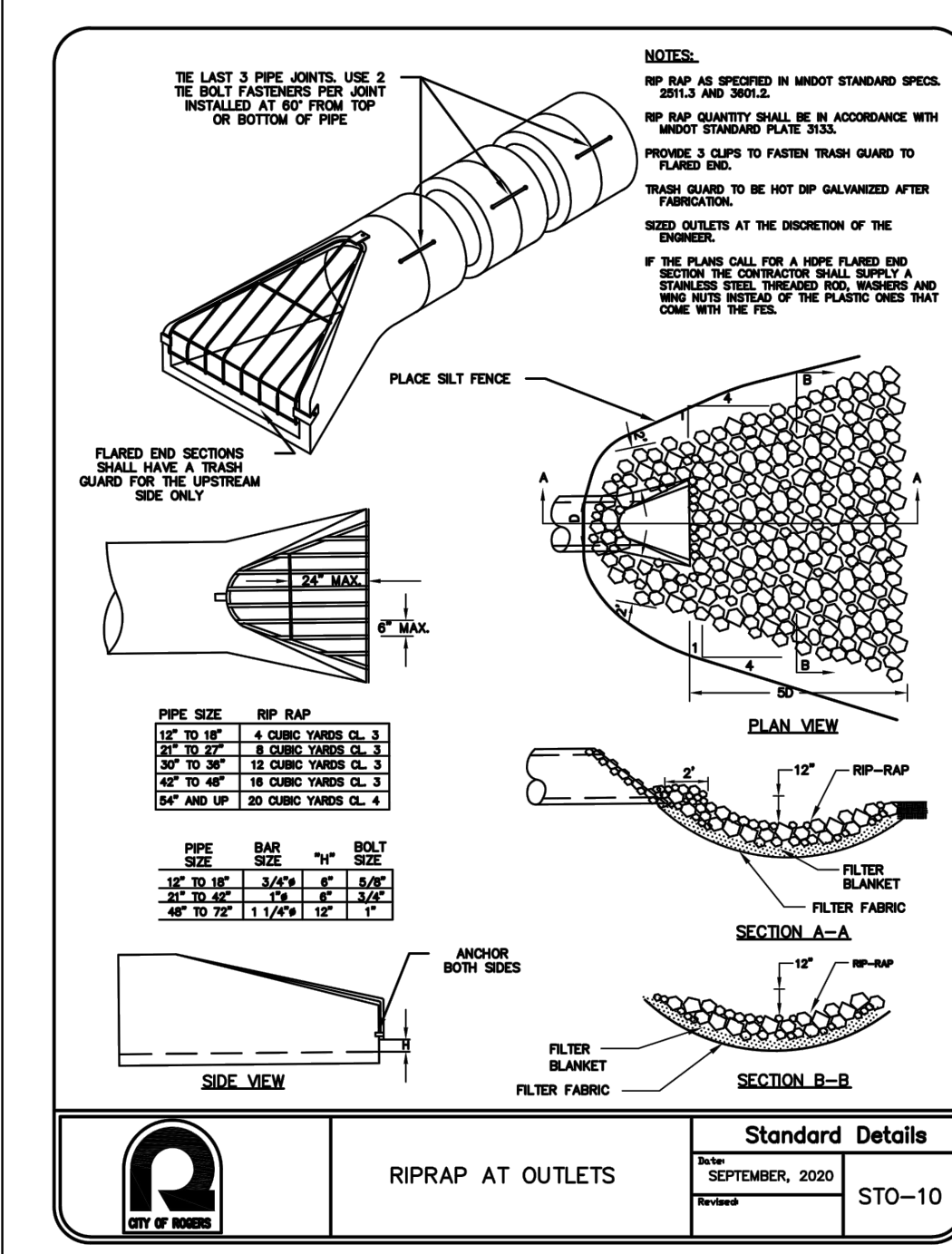
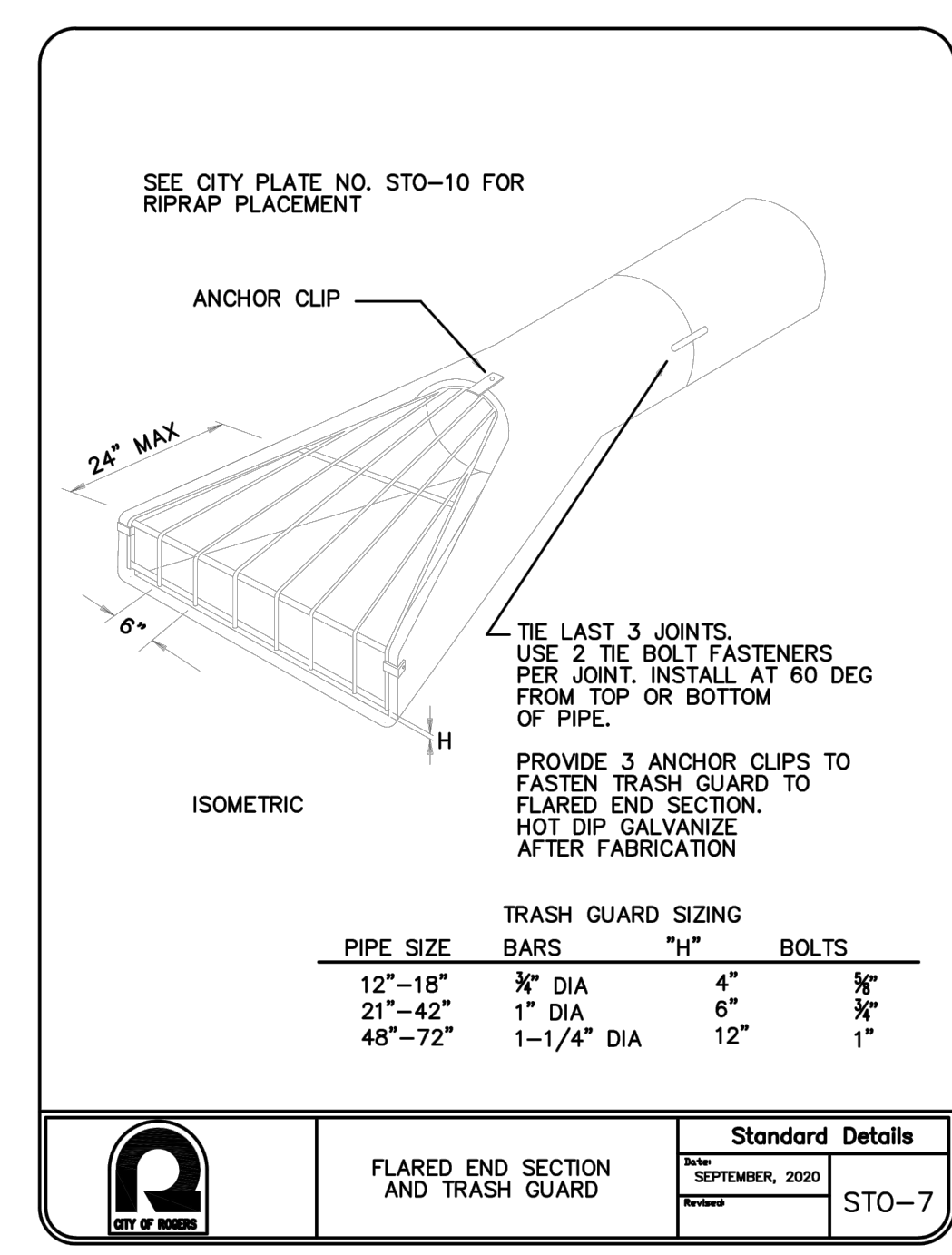
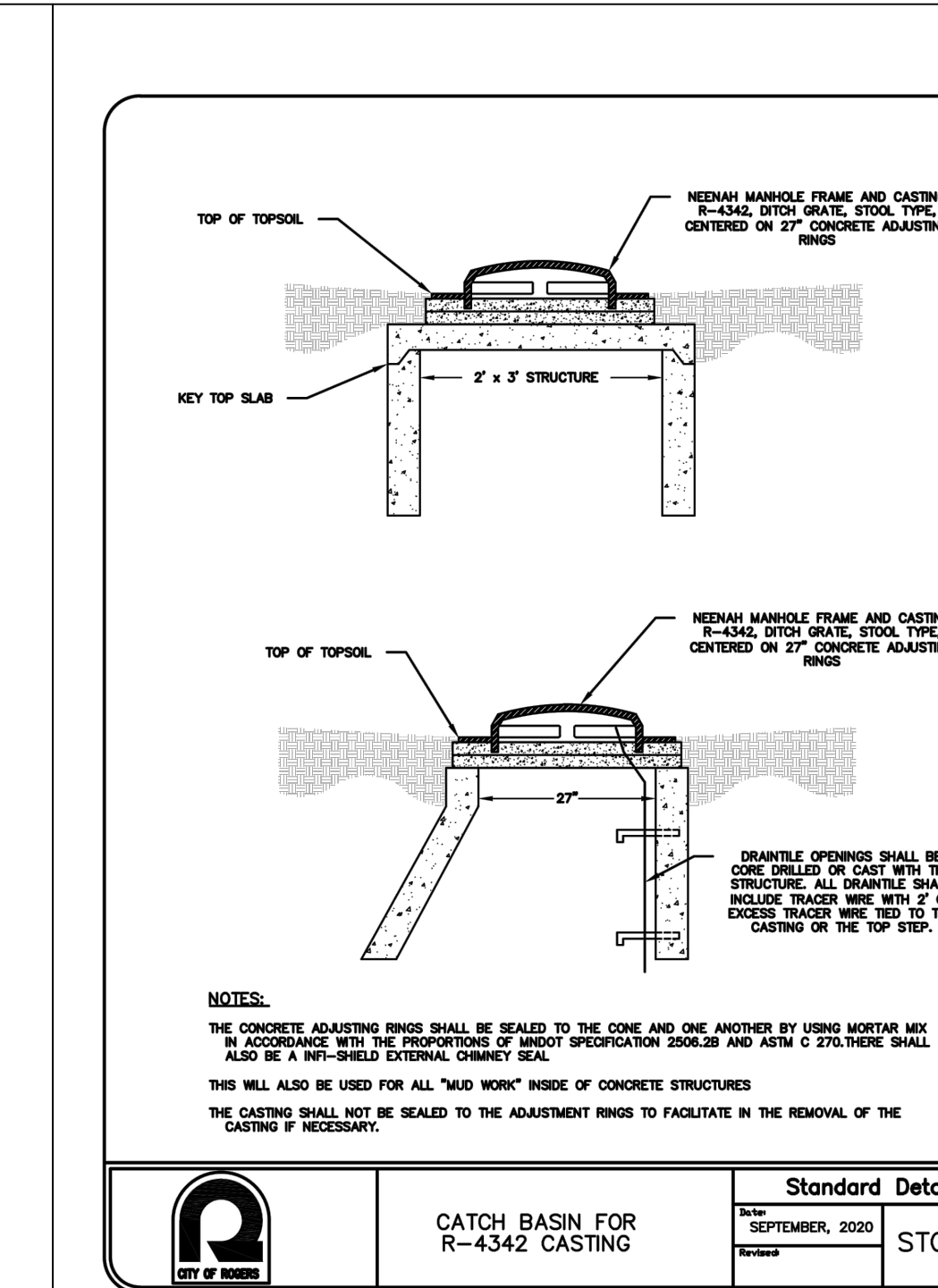
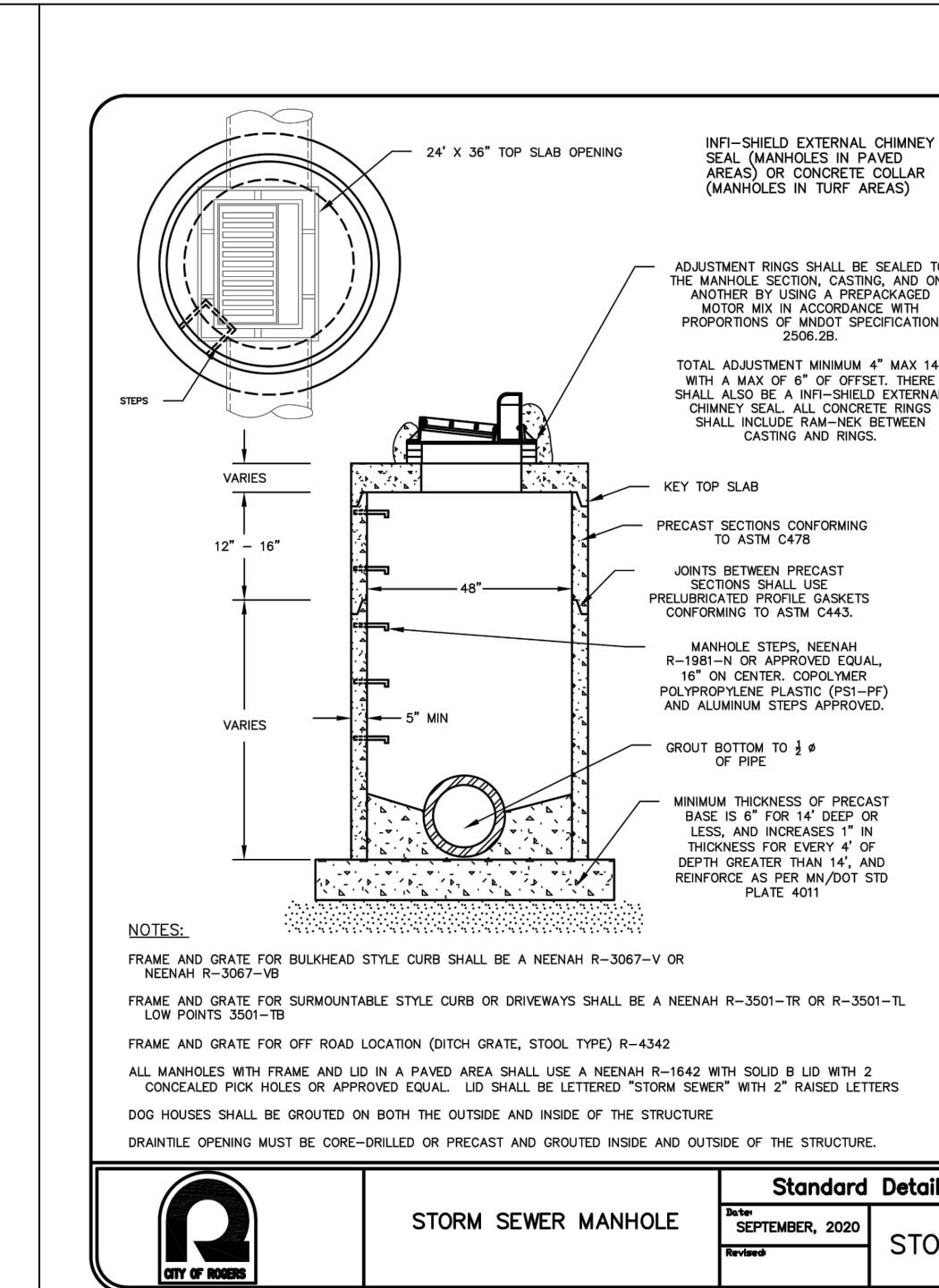
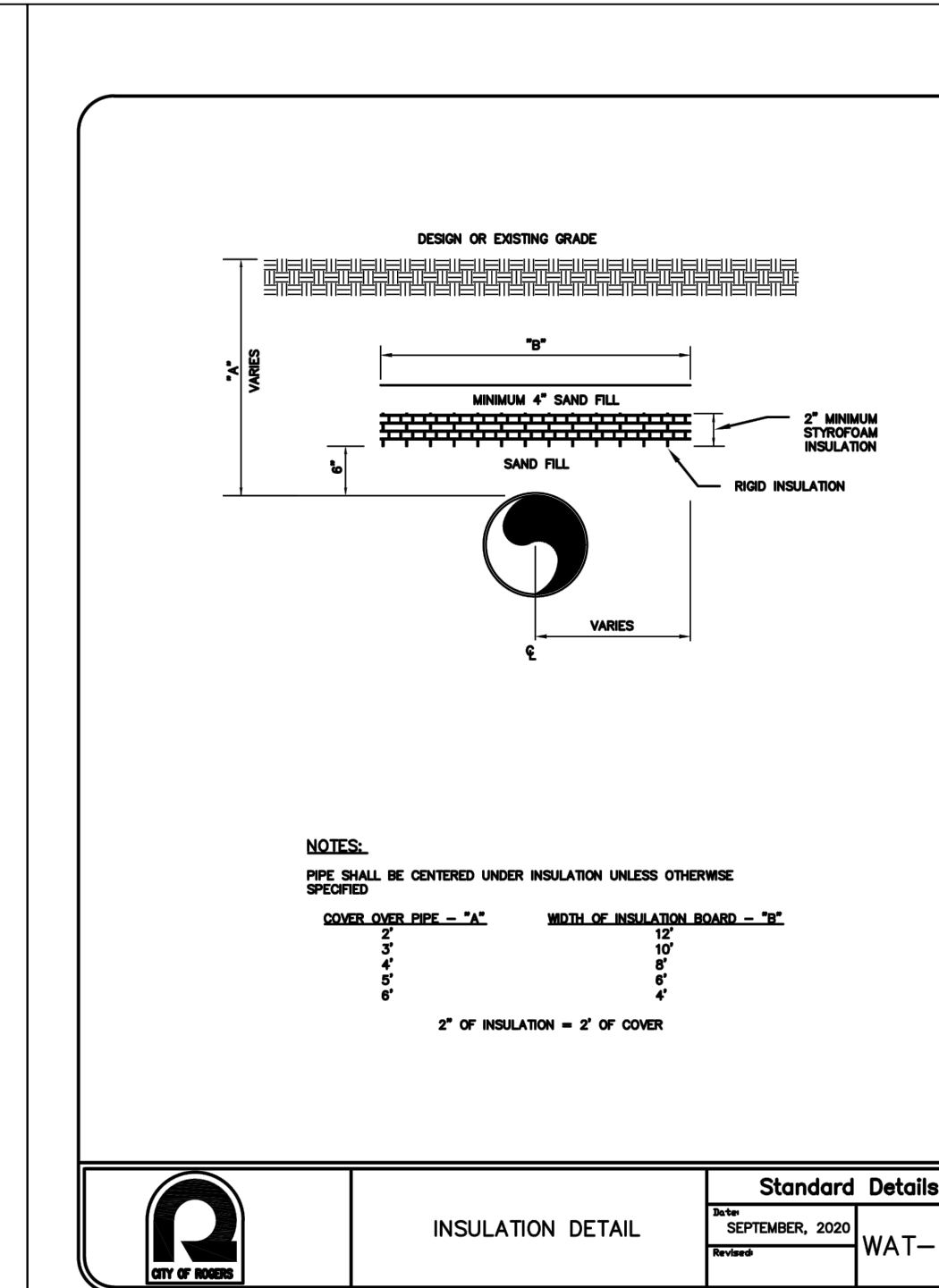
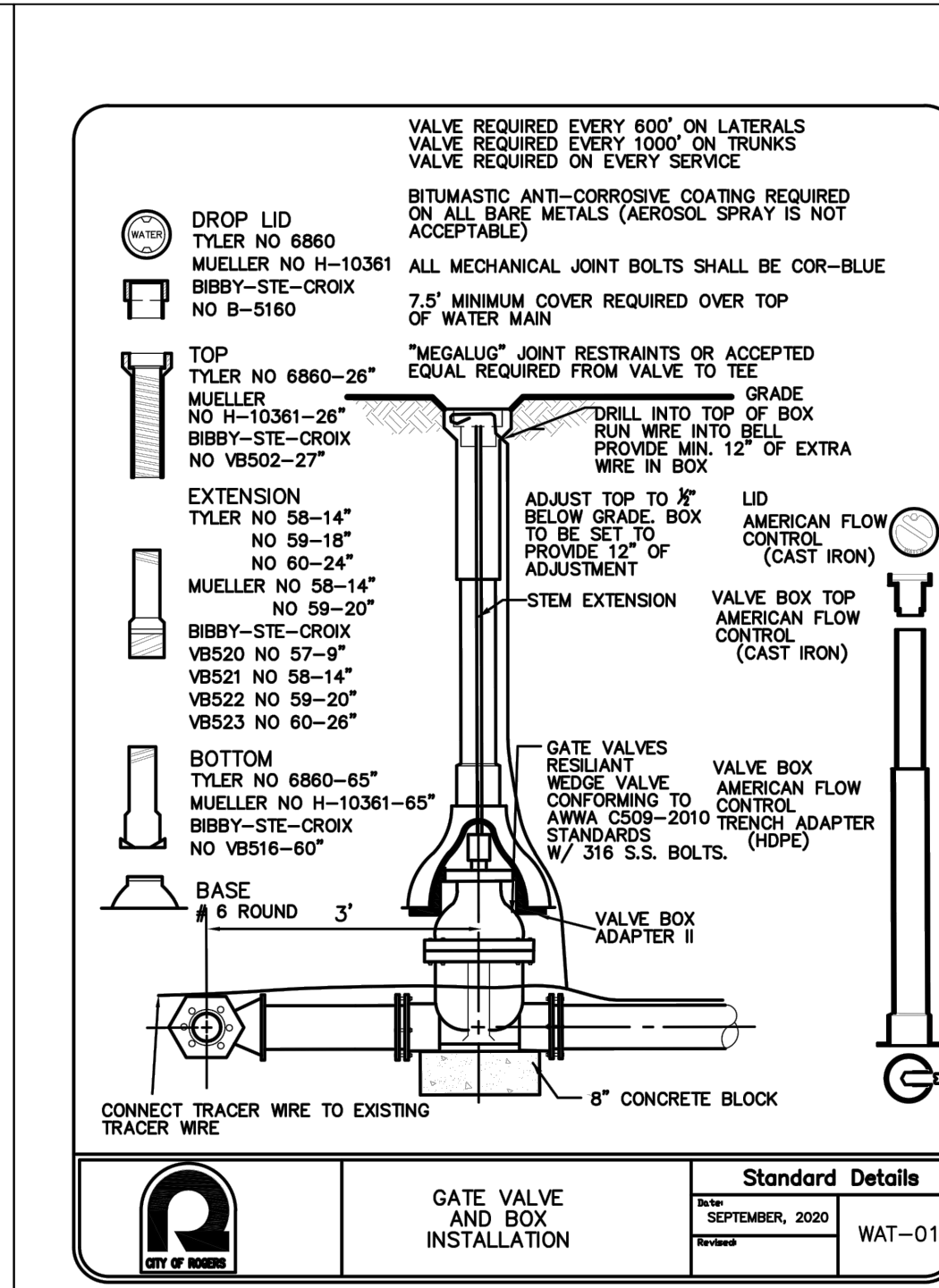
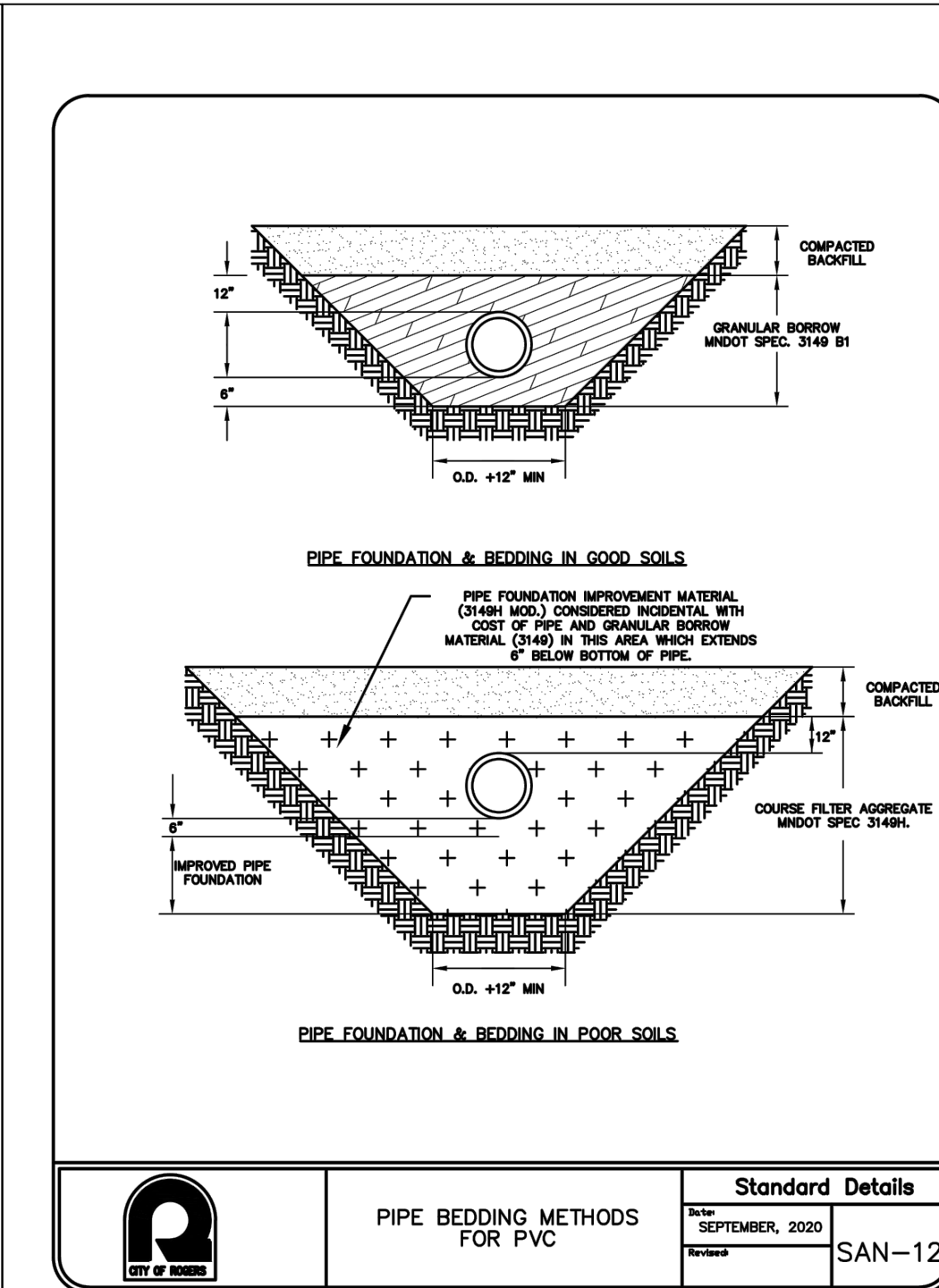
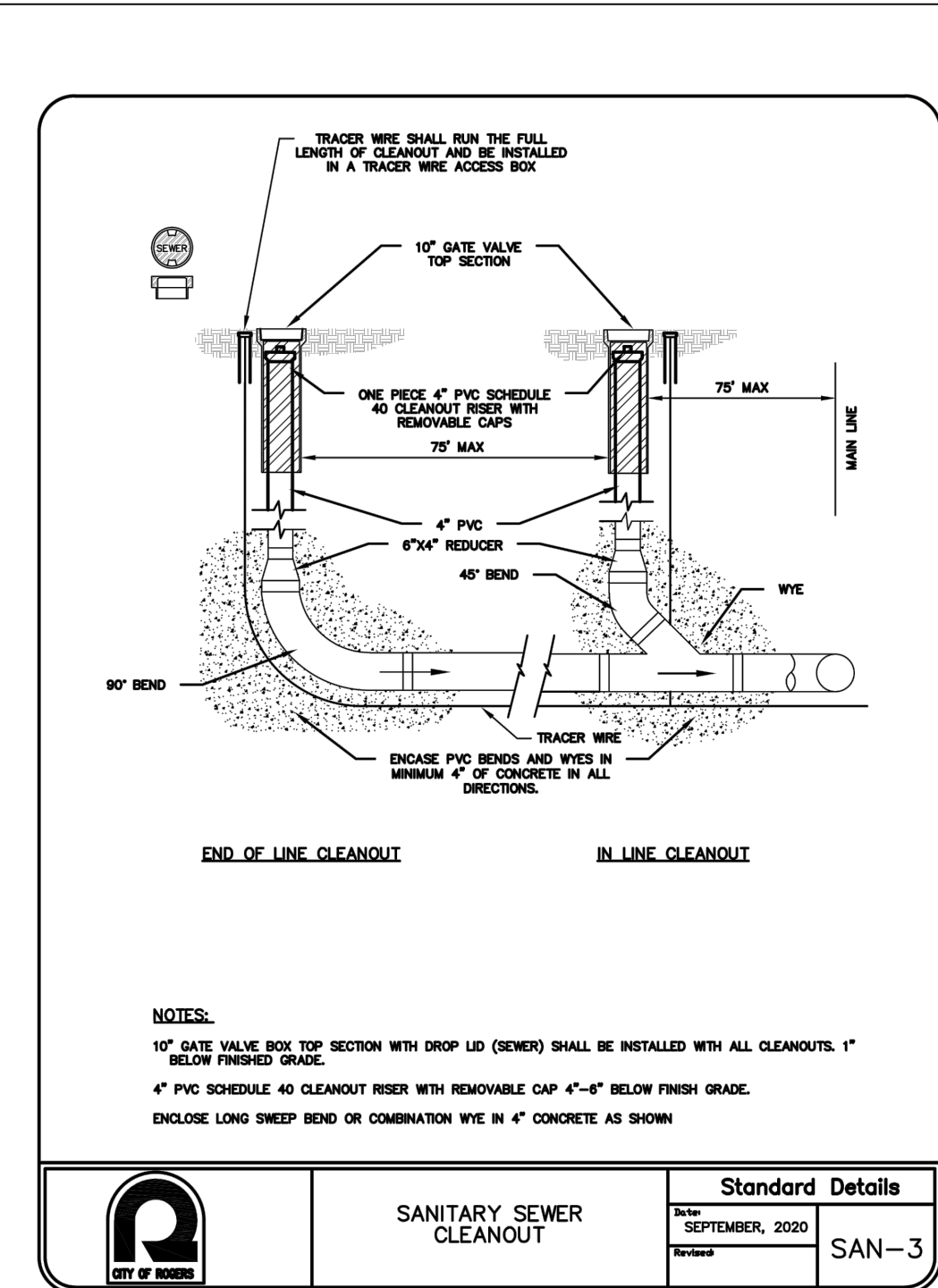
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DETAILS

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DRAWN BY
B. PASSOLT

CHECKED BY
L. ELLIOTT

DATE 12/23/24	PAGE N°: 7 OF 7
SCALE	REV. SIZE 30"X42"



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**DRAWING TITLE
LANDSCAPE PLAN**

DRAWING N°:
L-1

DRAWN BY
B. PASSOLT

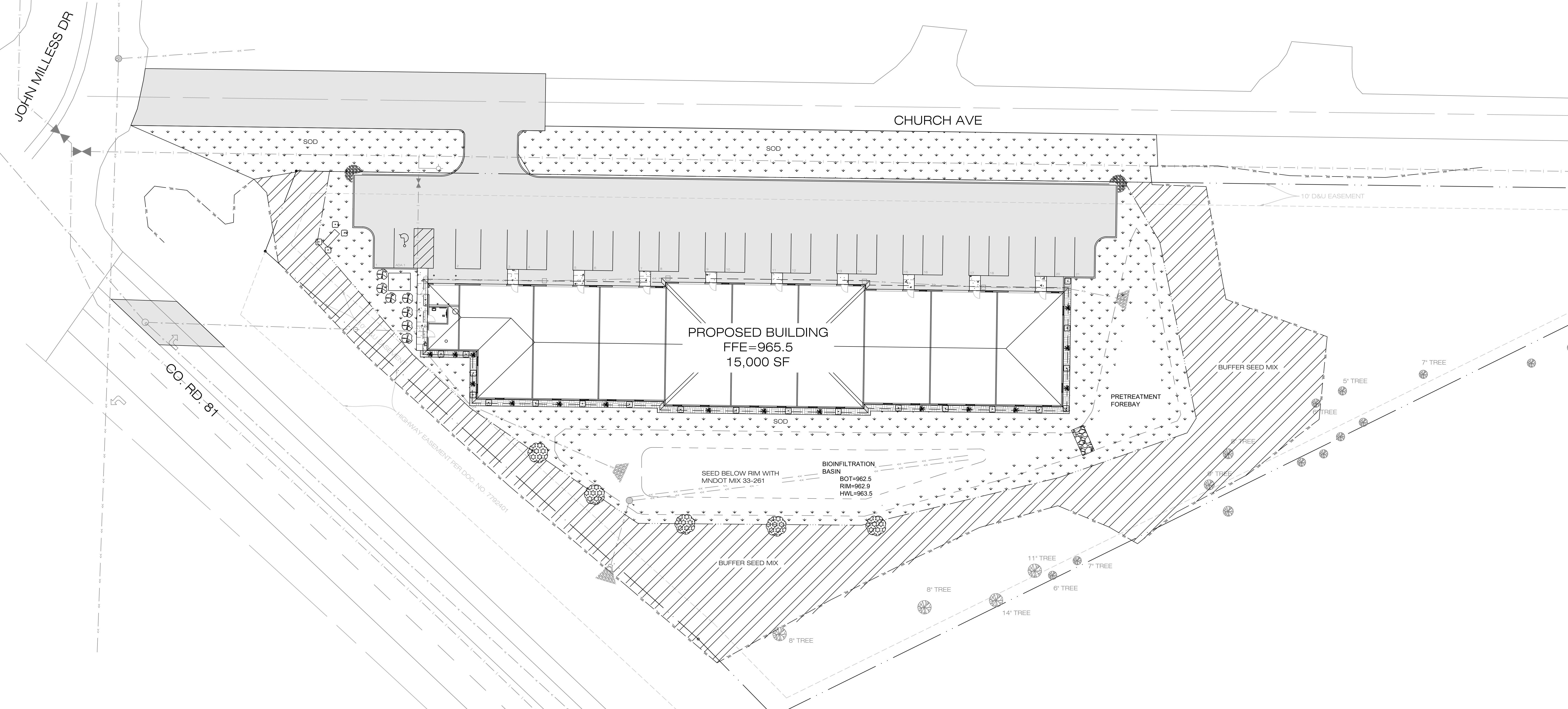
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PAGE N°:
6 OF 7

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PLANTING SCHEDULE

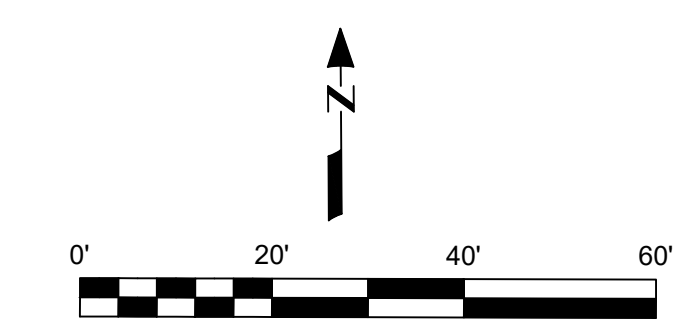
SYMBOL	NAME	SIZE	QTY
	AUTUMN BLAZE MAPLE	2.5"	5
	TAUNTON YEW	3'	7
	SPIREA, ANTHONY WATERER	#5	24
	KARL FORESTER GRASS	#5	16

LEGEND	
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	= EXISTING SPOT ELEVATION
	● FOUND IRON MARKER
	○ SET IRON MARKER
	⊛ LIGHT
	⊕ POWER POLE
	⊞ UTILITY PEDESTAL
	⊞ TRANSFORMER
	⊙ EXISTING TREE
	⊙ CATCH BASIN
	⊙ STORM MANHOLE
	⊙ SANITARY MANHOLE
	⊙ GATE VALVE
	— — — — — PROPERTY LINE
	— — — — — WL WETLAND
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	— — — — — OH OVERHEAD UTILITY LINE
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	— — — — — GAS UNDERGROUND GAS
	— — — — — FO UNDERGROUND FIBER OPTIC
	— — — — — COM UNDERGROUND TELEPHONE
	■ BITUMINOUS
	■ CONCRETE
	■ LANDSCAPE ROCK

- LANDSCAPE NOTES**
- SOD ALL DISTURBED AREAS (EXCLUDING POND BOTTOM)
 - ALL SOD AND LANDSCAPING TO BE IRRIGATED
 - PROVIDE 4" LANDSCAPE ROCK IN ALL LANDSCAPED AREAS
 - COMMERCIAL VINYL EDGING FOR ALL LANDSCAPE/LAWN TRANSITIONS
 - SEE LIGHTING PLAN FOR ALL SITE LIGHTING AMENITIES
 - MIN 6" SALVAGED TOPSOIL FOR ALL LAWN AND LANDSCAPED AREAS

- SEEDING NOTES**
- SEED ALL AREA BELOW RIM WITH MNDOT MIX 32-261
 - SEED BUFFER AREA WITH MNDOT MIX 32-251 OR APPROVED BUFFER MIX
 - SOD DISTURBED AREA OUTSIDE BUFFER AREA

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 - STATE LAW REQUIRES NOTIFICATION OF GOPHER ONE CALL FOR LOCATION OF UTILITY OWNED LINES 48 HOURS PRIOR TO BEGINNING WORK. PRIVATE UTILITY LINES WILL NOT BE LOCATED AS PART OF A GOPHER ONE CALL, BUT CAN BE LOCATED BY A CONTRACT LOCATOR OR OTHER SUITABLE MEANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITY LINES PRIOR TO CONSTRUCTION.
 - ALL DOWN GRADIENT SEDIMENT CONTROL BMPs SHALL BE INSPECTED BY THE CITY PRIOR TO ANY LAND DISTURBANCE.





STAFF REPORT

Meeting Date: February 3, 2025

**ROGERS PLANNING
COMMISSION**

Agenda Item: 6.1

Subject: Planning Commission Upcoming Meetings and Consideration Items

Prepared By: Brett Angell, Community Development Director

Recommended Council Action

Overview / Background / Analysis

Staff requests the Planning Commission provide input on the following items:

Planning Commission Training

In 2024, staff led a Planning Commission training to go over the various components of land use and zoning in the city as well as an overview of the various types of items traditionally seen by the Commission. Staff are seeking input from the Planning Commission to determine if the Commission would prefer this happen again during a meeting in 2025 or if the preference would be individual trainings for those interested outside of the standard meeting dates/times.

Meeting Structuring

Staff seeks Planning Commission input on whether it is desired to keep the 'Open Forum' category on the agendas or remove this item. Staff also seek feedback on if there is a desire to add a new category of 'City Council Update' to the agenda to go final approvals/denials of applications that were previously in front of the commission.

Staff Recommendation

Staff recommend the Planning Commission provide feedback on future trainings and meeting structuring.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

None