



## **AGENDA**

### **Rogers Planning Commission**

**May 5, 2025 - 7:00 PM**

**1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE**

**2. APPROVE AGENDA**

Council members may add items to the agenda for discussion purposes or staff direction only. The Council will not normally take official action on items added to the agenda.

**3. CONSENT AGENDA**

These items are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the Consent Agenda and placed elsewhere on the agenda.

**4. PUBLIC HEARINGS**

4.1 Consideration of Wood Lane Villas Preliminary Plat and Planned Unit Development Applications by Benzinger Properties

4.2 Consideration of the Main Street Center 2nd Addition Preliminary and Final Plat by Duffy Development (Main Street Senior Affordable Development)

**5. NEW BUSINESS**

5.1 Elm Creek Watershed 4th Generation Management Plan Presentation

**6. CORRESPONDENCE AND REPORTS**

6.1 Past Planning Commission Items Review

**7. ADJOURN**



## STAFF REPORT

### ROGERS PLANNING COMMISSION

Meeting Date: May 5, 2025

Agenda Item: 4.1

**Subject:** Consideration of Wood Lane Villas Preliminary Plat and Planned Unit Development Applications by Benzinger Properties

**Prepared By:** Alec Henderson, City Planner

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### Recommended Council Action

#### Overview / Background / Analysis

Benzinger Properties, Inc. has submitted Preliminary Plat and Planned Unit Development (PUD) applications for the Wood Lane Villas subdivision on the property at 23415 Wood La. The 5-acre site is located on Wood Lane, west of the Skye Meadows subdivision. The proposal includes 17 villa-style single-family lots with association-maintained homes. The development requires a PUD to deviate from R2 district lot size and setback standards.

Skye Meadows 4<sup>th</sup> Addition directly abuts the property to the east. The plan shows 17 single-family lots with villa style homes (detached townhomes). The lot sizes and proposed setbacks are similar to the Skye Meadows development, roughly 7,400 square foot (SF) lots with 7.5 ft side setbacks. The developer will be required to go through a Planned Unit Development process with the Preliminary Plat. The density roughly 3.4 units/acre.

#### Primary Issues to Consider

1. Land Use and Zoning
2. Comprehensive Plan Consistency
3. Planned Unit Development Deviations
4. Development Plan and Infrastructure

#### Analysis of Primary Issues

##### 1. Land Use and Zoning

The property is guided for **Low Density Residential** (2.0–5.0 units per acre) and zoned **Single-Family Residential (R2)**. The proposed density of approximately 3.4

units/acre is consistent with the Comprehensive Plan. Lot width standards are met ( $\geq 65$  ft), but lot sizes (~7,400 SF) and side setbacks (7.5 ft) require PUD approval. All other setbacks are consistent with code.

***The Plans submitted by Benzinger Homes currently satisfy the 2040 Plan Land Use, however a PUD is required to approve the requested lots.***

## **2. Comprehensive Plan Consistency**

The Comprehensive Plan also contains goals beyond just simply meeting land use density thresholds. The Wood Lane Villas development is consistent with the Rogers 2040 Comprehensive Plan and advances City goals in the following ways:

- **Housing Diversity & Livability:** Supports lifecycle housing goals by providing semi-custom villa homes. [Chapter 5 – Housing, p. 66; Chapter 11 – Implementation, p. 175]
- **Sustainable & Efficient Growth:** Logical extension of sewer, water, and roadways along Wood Lane. [Chapter 11 – Implementation, p. 180]
- **Transportation & Connectivity:** Extends Cobalt Street, Farmstead Way, and Wood Lane (and existing sidewalks) to improve connectivity. [Chapter 9 – Transportation, p. 136–137]

17 single-family lots are proposed for the development. The lots meeting the minimum lot width of 65 ft wide and the bulk of the setbacks. The plan does show deviations to lot size showing roughly 7,400 square feet minimum lot sizes (below the R2 10,000 square feet minimum) and interior side setbacks of 7.5 feet (below the 10 feet minimum). A Planned Unit Development will need to be approved in order for the proposed lot standards to be approved.

Park search areas are to the south this location. The developer should integrate the site in to nearby trail and sidewalk corridors. Additional information will be shown in future submittals. The Parks director and possibly Parks Commission will review future submittals.

The concept shows the development getting access from Wood Lane and through stubs constructed in Skye Meadows. Utilities are available nearby for construction of the improvements. Stormwater management is still unknown. The site would have to provide some onsite stormwater management and will be seeking to use the vacant outlot in Skye Meadows to the South East for ponding. The outlot in Skye Meadows was initially shown as a stormwater pond for Skye Meadows, however, stormwater was shifted upon future construction plans in Skye Meadows. The City currently owns the Outlot.

### 3. Planned Unit Developments Deviations

PUDs are authorized under Section 125-29 of Rogers Zoning Code to allow deviations when it results in a better overall development outcome consistent with City goals. The developer is requesting a Planned Unit Development (PUD) to deviate from the R2 zoning requirements for their development area. PUDs are typically an exchange where the developer proposes different performance standards and the city reviews the particulars of the development and how it would be in the public interest (or what the benefits are) to approve deviations. The benefits can be development specific, are usually related to comprehensive plan goals, and can include offsite improvements. The theory behind PUDs is that the design/development outcomes proposed by the developer outweigh the benefits of keeping to the by right zoning district standards. PUDs effectively rezoning property to allow different standards. PUDs rezone the property, and are a legislative or policy decision for the council with high discretion. PUDs have previously been approved for other residential developments within the community including Skye Meadows, Grass Lake Preserve, and Laurel Creek.

#### Requested deviations:

- The developer is requesting lot sizes which range from 7,400-11,800 SF (vs. 10,000 SF minimum required under the R2 district).
- The developer proposes 7.5 ft interior side setbacks (vs. 10 ft minimum under the R2 District).

#### Public Interest:

The PUD enables development flexibility while achieving better design outcomes consistent with City goals. Benefits include:

- Logical Extension of public utilities and streets (including the upgrade of Wood Lane from gravel to paved).
- Increased housing variety through semi-custom villa products.
- Cohesive/consistent architectural design with high-quality exteriors. Products include three car garages, LP siding, stone accents, and lot landscaping.
- The utility extension does include the ability to loop water (which improves water service) and improves fire department access.

The deviations proposed are minor and generally consistent with the adjacent Skye Meadows Development (which was also approved through a PUD process). The development to the east has similar lot widths, sizes, and setbacks through out the development. The main difference is the Skye Meadows development had a range of product lines where a 7.5 ft setback may be required depending on which options were chosen by the buyer.

#### 4. Development Plan and Infrastructure

The developer proposes a 17 villa-style single-family lots. Access is provided via Wood Lane, with internal connectivity through Cobalt Street and Farmstead Way. Public utilities (sewer, water, stormwater) are available. Ponding is proposed in an offsite outlot under City ownership to the south east with adequate easement widths through the development to access the pond. Parks dedication is anticipated to be satisfied with cash-in-lieu contributions. Trails and sidewalks will be coordinated during final design, but are proposed to extend from existing sidewalk from adjacent development areas.

The site plan is a simple infill development that is consistent with the surrounding Skye Meadows development. The Developer is working within a relatively small amount of land with corridors already provided by the adjacent development. There is little to no room to shift the existing sewer/water/road stubs to achieve more conformance with lot sizes. The depths of the lot are restricted by the necessary right of way, as well as a limit of the existing parcel being developed. Additionally, stormwater has to be managed through the lots which creates non-buildable space where common drainage travels. Any developer looking at this parcel will have the same corridors and restrictions to work under.

#### Staff Recommendation

Preliminary Plats and PUDs require public hearings. Staff recommends holding the hearing and discussing the development and whether PUD consideration is warranted. Should the Commission support the development, staff recommends the following conditions.

1. The Applicant shall revise the preliminary plat and engineering plans to the satisfaction of the City Engineer and City Planner.
2. The Applicant shall enter into a Subdivision Development Agreement governing each phase of development.
3. Park dedication shall be satisfied by a fee in lieu of land dedication.
4. The Applicant shall ensure the public benefits outlined in the PUD narrative are achieved, including the street extensions and utility connections.
5. Final HOA documents shall be submitted prior to final plat approval.
6. The Applicant shall obtain all necessary stormwater management approvals from Elm Creek Watershed Management Commission.
7. All public improvements shall comply with City standards unless specifically waived by Council approval.
8. The Applicant shall pay all applicable City fees related to the development.

**Financial Impact:** Not applicable.

**Source Fund:** Not applicable.

**Budgeted? N/A**

**Supporting Documentation**

- A. Location Map
- B. Wood Lane Villas - Narrative
- C. 4000390\_Preliminary Plat Plans 3.26.25
- D. Majestic - SOG - Ashwood
- E. Madison WO - Creekside West



PARCEL ID: 2712023240003

OWNER NAME: Benzinger Properties Inc

PARCEL ADDRESS: 23415 Wood La, Rogers MN 55374

PARCEL AREA: 4.82 acres, 209,947 sq ft

A-T-B: Abstract

SALE PRICE: \$118,500

SALE DATE: 08/1989

SALE CODE: Warranty Deed

ASSESSED 2024, PAYABLE 2025  
 PROPERTY TYPE: Residential  
 HOMESTEAD: Homestead  
 MARKET VALUE: \$305,400  
 TAX TOTAL: \$3,848.48

ASSESSED 2025, PAYABLE 2026  
 PROPERTY TYPE: Residential  
 HOMESTEAD: Non-Homestead  
 MARKET VALUE: \$325,300

**Comments:**

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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## **Wood Lane Villas**

Benzinger Properties, Inc. is pleased to submit the enclosed preliminary plat and Planned Unit Development (PUD) application for Wood Lane Villas for the City of Roger's consideration.

### **Project Overview**

The subject property is located on Wood Lane (23415 Wood Lane). Adjacent (West) of Skye Meadows. The site is 5 Acres.

The property is:

PID 27-120-23-24-0003; 5 Acres (Owned by Benzinger Properties, Inc.)

### **PUD Benefits**

Our PUD request includes provisions to:

- Extension of Wood Lane
- Extension of Cobalt Street
- Extension of Farmstead Way

The proposed PUD will effectively serve the City's goal to extend public sewer and water connection to the North side of Wood Lane as well as East. The layout, Contour and lot sizes all flow with the existing Skye Meadows Plat.

## **Excusive Builder**

Exclusive development for Benzinger Homes (Local Rogers Builder).

- 17 single family association maintained homesites.
- No common area will be owned by the association.
- Semi-Custom Homes
- All homes exteriors will feature 3 car garages, LP siding, stone accent,
- Full landscape and irrigation.

We appreciate the City's consideration and look forward to working together to bring this project to fruition.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'JB', with a long horizontal line extending to the right.

Benzinger Properties, Inc

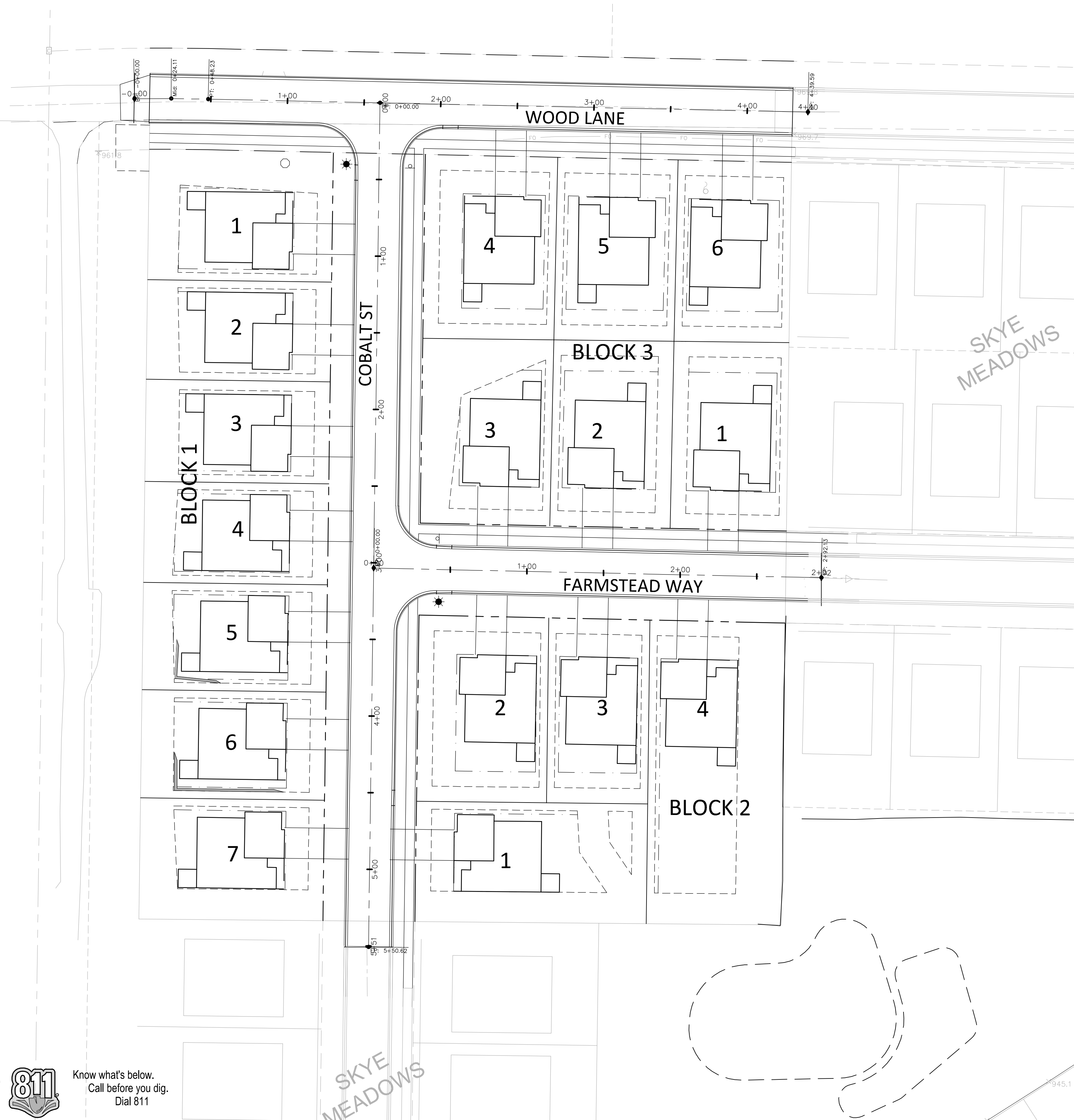
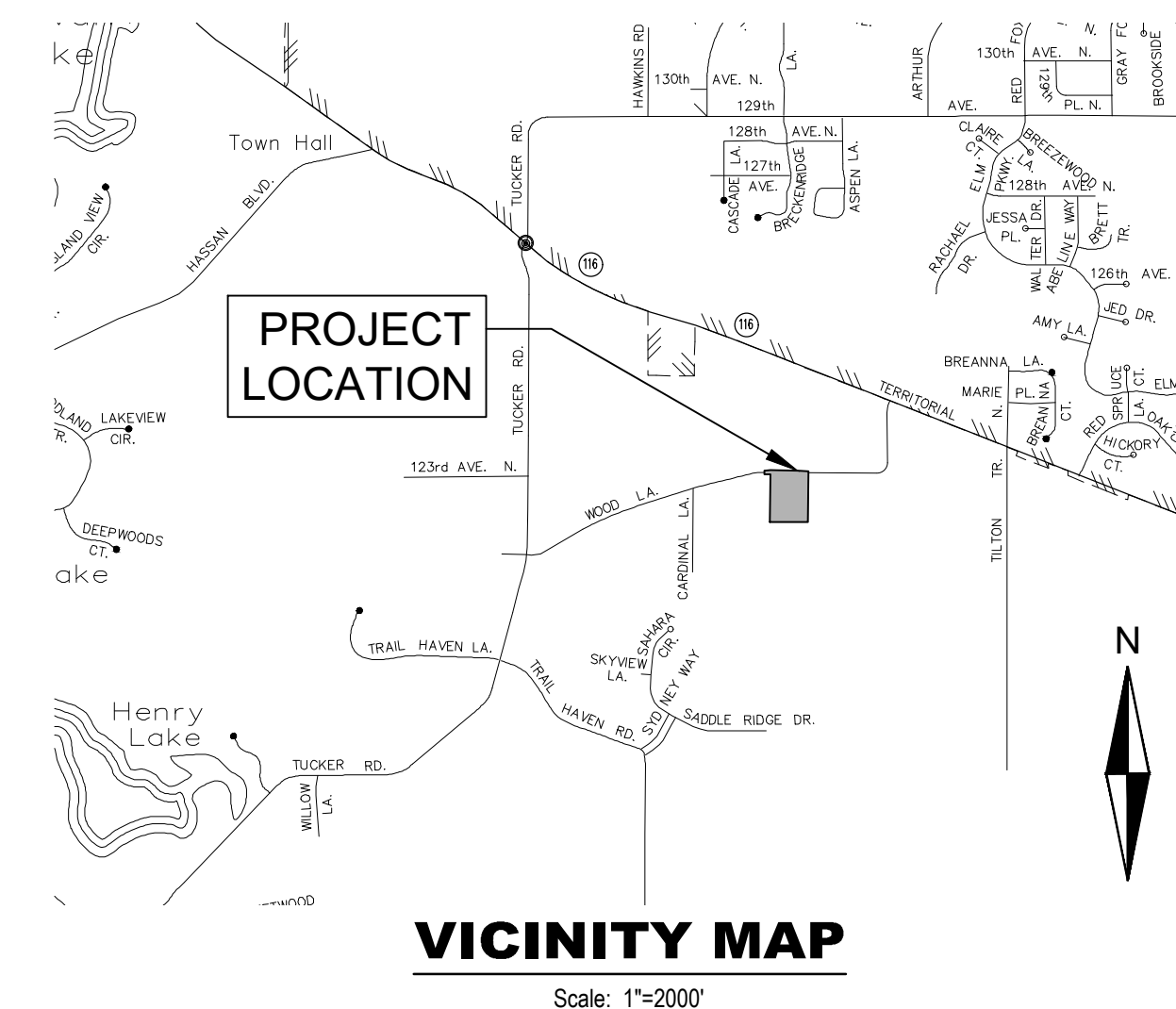
Jeffrey Benzinger, CEO

# WOOD LANE VILLAS

## ROGERS, MINNESOTA



**ALLIANT**  
www.alliant-inc.com



### CONTACT LIST

#### DEVELOPER

BENZINER PROPERTIES, INC  
20401 COUNTY ROAD 81, SUIT 100  
ROGERS, MN 55374  
Contact: JEFFREY R BENZINGER  
EM: INVESTPLUSMN@GMAIL.COM

#### ENGINEER

DAVE NASH  
License No. 21836  
Email: Dnash@alliant-inc.com

#### SURVEYOR

DAN EKREM  
License No. 57366  
Email: Dekrem@alliant-inc.com

#### CONSULTANT

Alliant Engineering, Inc.  
Marquette Avenue South, Suite 700  
Minneapolis, MN 55402  
Phone: 612.758.3080  
Fax: 612.758.3099

#### LANDSCAPE ARCHITECT

JOHN GRONHOVD  
License No. 59233  
Email: Jgronovd@alliant-inc.com

### PLAN SUBMISSION/REVISION MATRIX

#	SHEET DESCRIPTION	2025-02-26	2025-03-26
1	Cover	X	X
2	Existing Conditions	X	X
3	Existing Conditions	X	X
4	Demolition Plan	X	X
5	Preliminary Plat	X	X
6	Site Plan	X	X
7	Site Notes	X	X
8	Erosion and Sediment Control Plan	X	X
9	Erosion and Sediment Control Notes	X	X
10	Grading Plan	X	X
11	Pond Detail	X	X
12	Grading Profiles	X	X
13	Utility Plan	X	X
14	Landscape Plan	X	X

**WOOD LANE VILLAS**  
ROGERS, MINNESOTA

**COVER**

DATE	DESCRIPTION
2/26/2025	CITY SUBMITTAL
3/26/2025	CITY RESUBMITTAL

#### CERTIFICATION

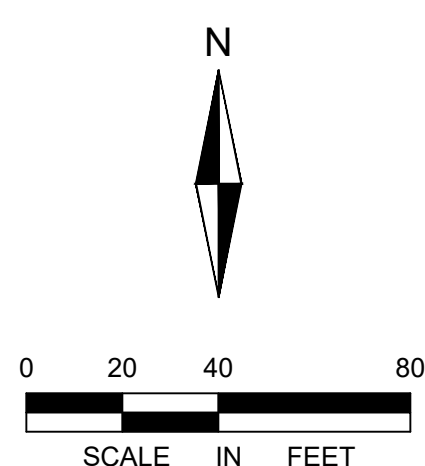
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

#### QA/QC CHECK

DAVE NASH  
By: \_\_\_\_\_ Date: \_\_\_\_\_  
License no. 21836

#### PROJECT TEAM DATA

Designed By: JP  
Drafted By: JP  
Project No.: 4000390



Know what's below.  
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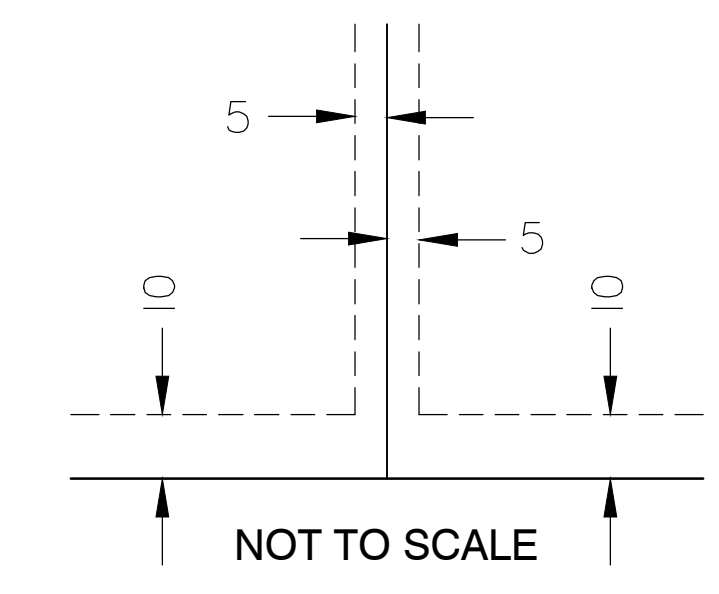
SW 1/4 - NW 1/4 - SEC. 27, T. 120, R. 23



PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B1-L1	10,383	0.24
B1-L2	7,800	0.18
B1-L3	7,800	0.18
B1-L4	9,000	0.21
B1-L5	7,920	0.18
B1-L6	7,860	0.18
B1-L7	9,459	0.22
B2-L1	11,809	0.27
B2-L2	10,258	0.24
B2-L3	7,941	0.18
B2-L4	17,418	0.40
B3-L1	9,250	0.21
B3-L2	9,557	0.22
B3-L3	10,280	0.24
B3-L4	10,277	0.24
B3-L5	9,318	0.21
B3-L6	8,789	0.20
ROW	72,041	1.65

**LEGAL DESCRIPTION:**  
THE EAST 419.00 FEET OF THE WEST 485.00 FEET OF THE NORTH 519.81 FEET OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 120, RANGE 23, HENNEPIN COUNTY, MINNESOTA.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Being 5 feet in width and adjoining lot lines and 10 feet in width and adjoining right of way lines, unless otherwise indicated on the plat.

**WOOD LANE VILLAS**  
ROGERS, MINNESOTA  
**PRELIMINARY PLAT**

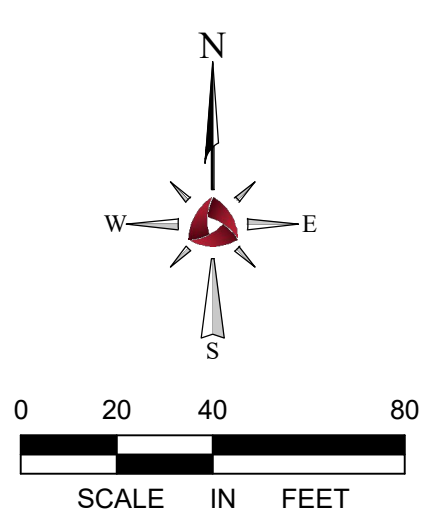
DATE	DESCRIPTION
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3/26/2025	CITY RESUBMITTAL

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LEGEND:

- EASEMENT LINE
- BUILDING SETBACK
- PROPERTY LINE
- LOT LINE
- ROW
- STREET LIGHT
- STOP SIGN
- RETAINING WALL



Lot	Lot Area (sf)	Buildable Lot Area (sf)	Widths at Setback (ft)	Lot Depth (ft)	Street Frontage (ft)
B1-L1	10,203	3,921	51.01	120.00	84.11
B1-L2	7,799	3,750	50.00	120.00	65.00
B1-L3	7,991	3,757	50.10	120.00	66.60
B1-L4	7,907	3,817	50.90	120.00	65.90
B1-L5	8,400	4,124	55.00	120.00	70.00
B1-L6	8,460	4,162	55.50	120.00	70.50
B1-L7	9,459	3,850	51.17	120.00	78.56
B2-L1	11,809	5,374	50.87	151.00	78.43
B2-L2	10,258	3,969	52.17	121.49	84.62
B2-L3	7,940	3,841	51.00	120.65	66.00
B2-L4	17,418	7,737	50.84	198.05	88.39
B3-L1	9,250	4,495	58.29	122.13	75.99
B3-L2	9,557	4,680	61.00	121.36	78.50
B3-L3	10,280	3,993	52.22	120.51	84.52
B3-L4	10,277	3,980	53.76	119.97	86.47
B3-L5	9,318	4,681	63.50	119.10	78.50
B3-L6	8,789	4,343	59.25	118.31	74.05

WOOD LANE VILLAS

ROGERS, MINNESOTA

SITE PLAN

DATE	DESCRIPTION
2/26/2025	CITY SUBMITTAL
3/26/2025	CITY RESUBMITTAL

**CERTIFICATION**  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Date: \_\_\_\_\_ License no. 21836  
 Name: \_\_\_\_\_ License no. \_\_\_\_\_

**QA/QC CHECK**  
 DAVE NASH \_\_\_\_\_ Date \_\_\_\_\_  
 By \_\_\_\_\_ Date \_\_\_\_\_

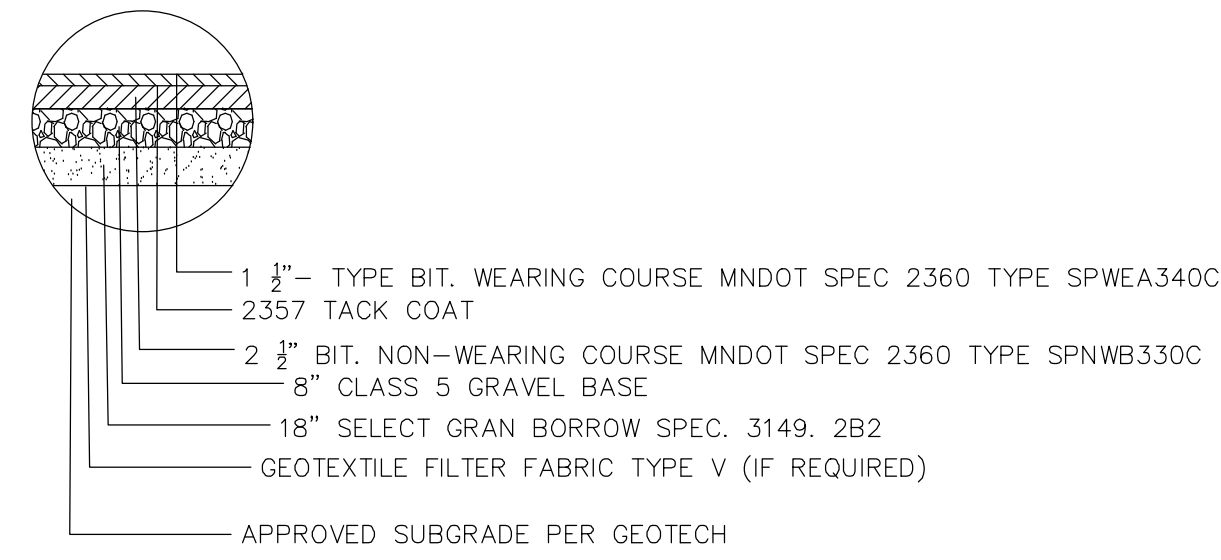
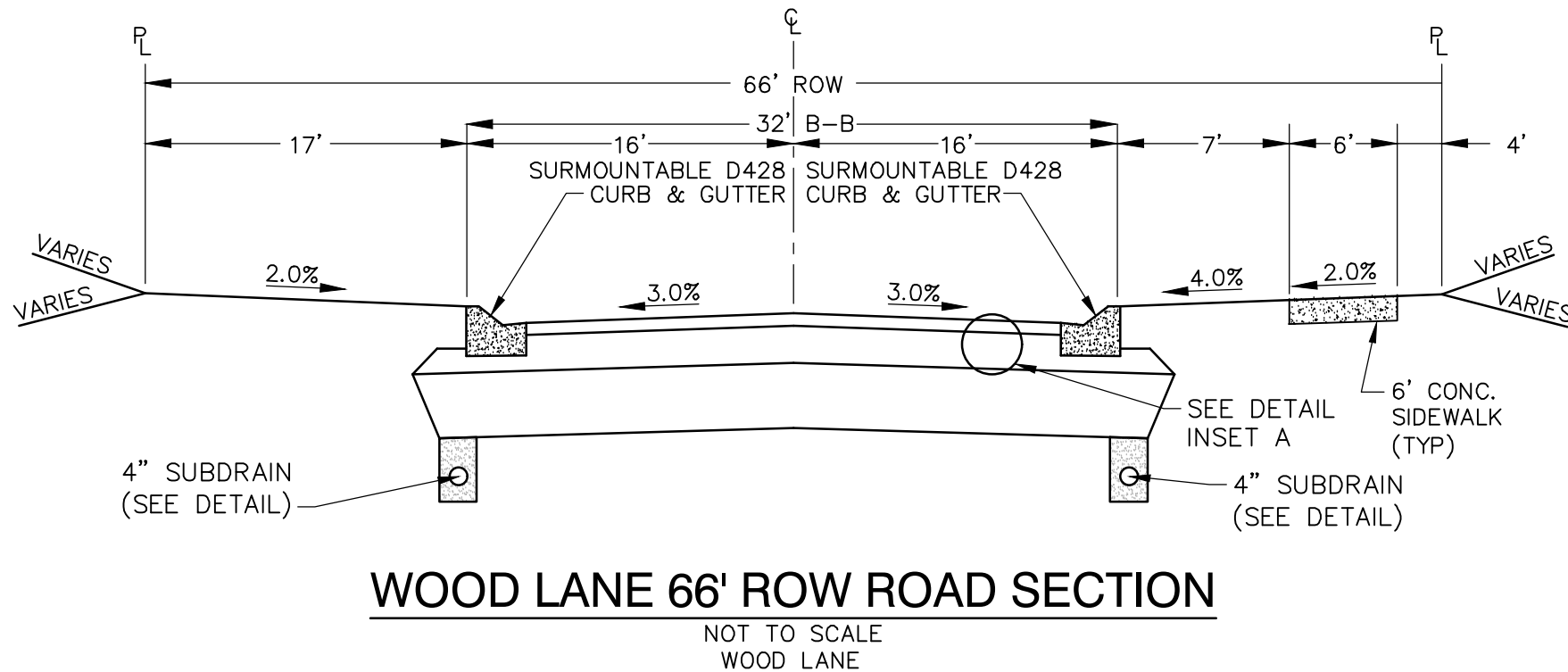
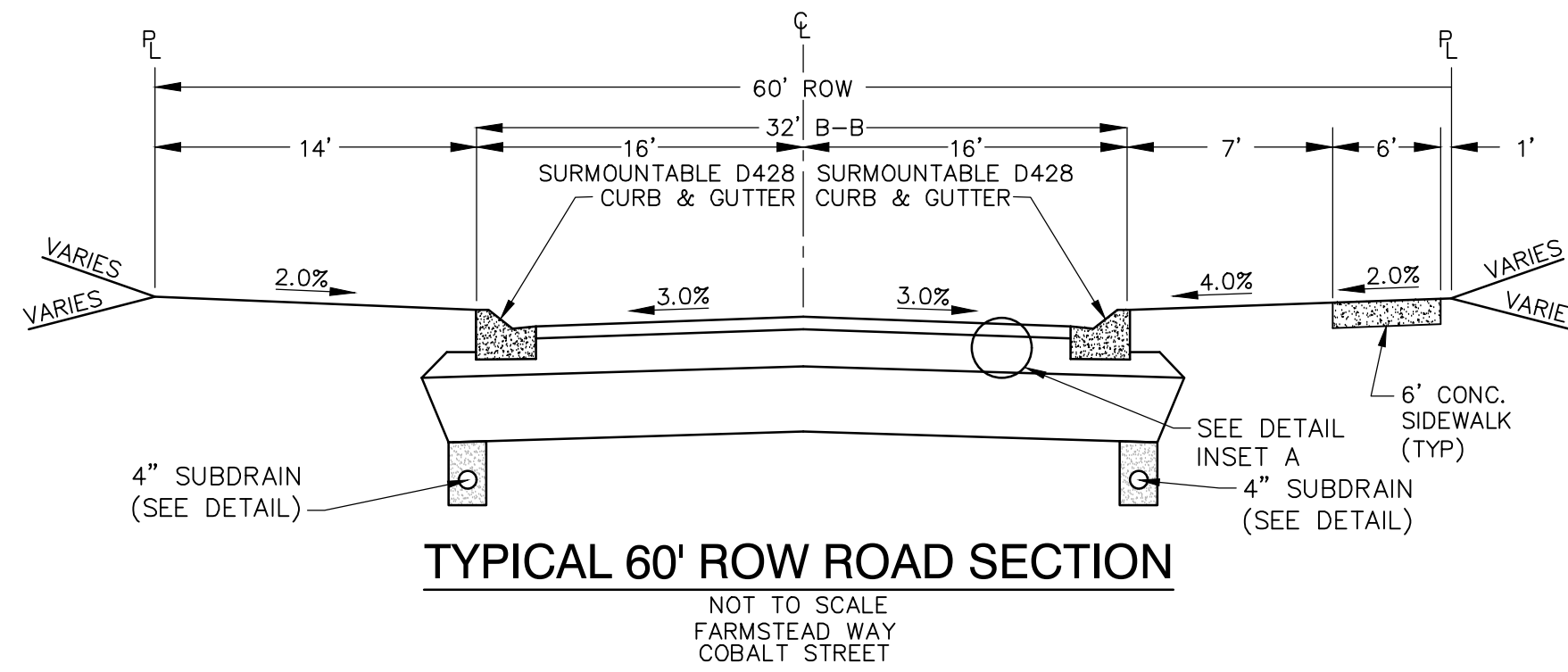
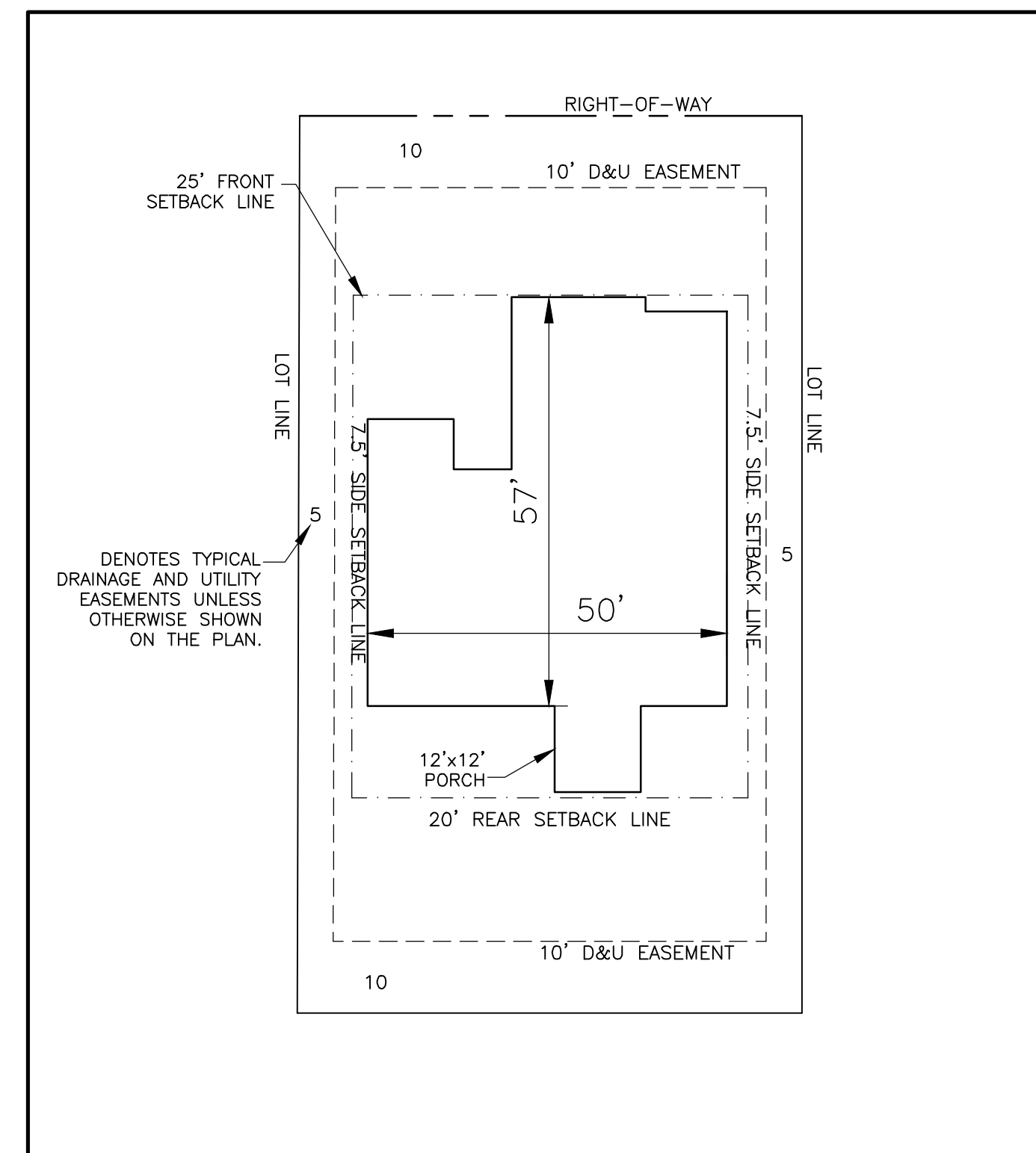
**PROJECT TEAM DATA**  
 Designed By: JP  
 Drafted By: JP  
 Project No.: 4000390



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# DEVELOPMENT LOT DETAILS



WOOD LANE VILLAS

ROGERS, MINNESOTA

SITE - SITE NOTES

### SITE PLAN NOTES:

- REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOOPS ADJACENT TO PROPOSED BUILDING.
- CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A MIN. EIGHT FOOT (8') TRANSITION.
- ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK BE SEPARATED BY A 1/2 INCH EXPANSION JOINT.
- PAVEMENT STRIPING SHALL BE 4 INCH WHITE.
- ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH CITY OF ROGERS ENGINEERING DESIGN STANDARDS.
- ALL STREET SIGNAGE, PUBLIC & PRIVATE, SHALL COMPLY WITH THE MN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL CURB AND GUTTER TO BE CONCRETE B618 OR SURMOUNTABLE TYPE AS NOTED, PER CITY OF ROGERS STANDARDS.
- ALL PUBLIC SIDEWALKS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE 6' WIDE.

### SITE PLAN LOT DATA:

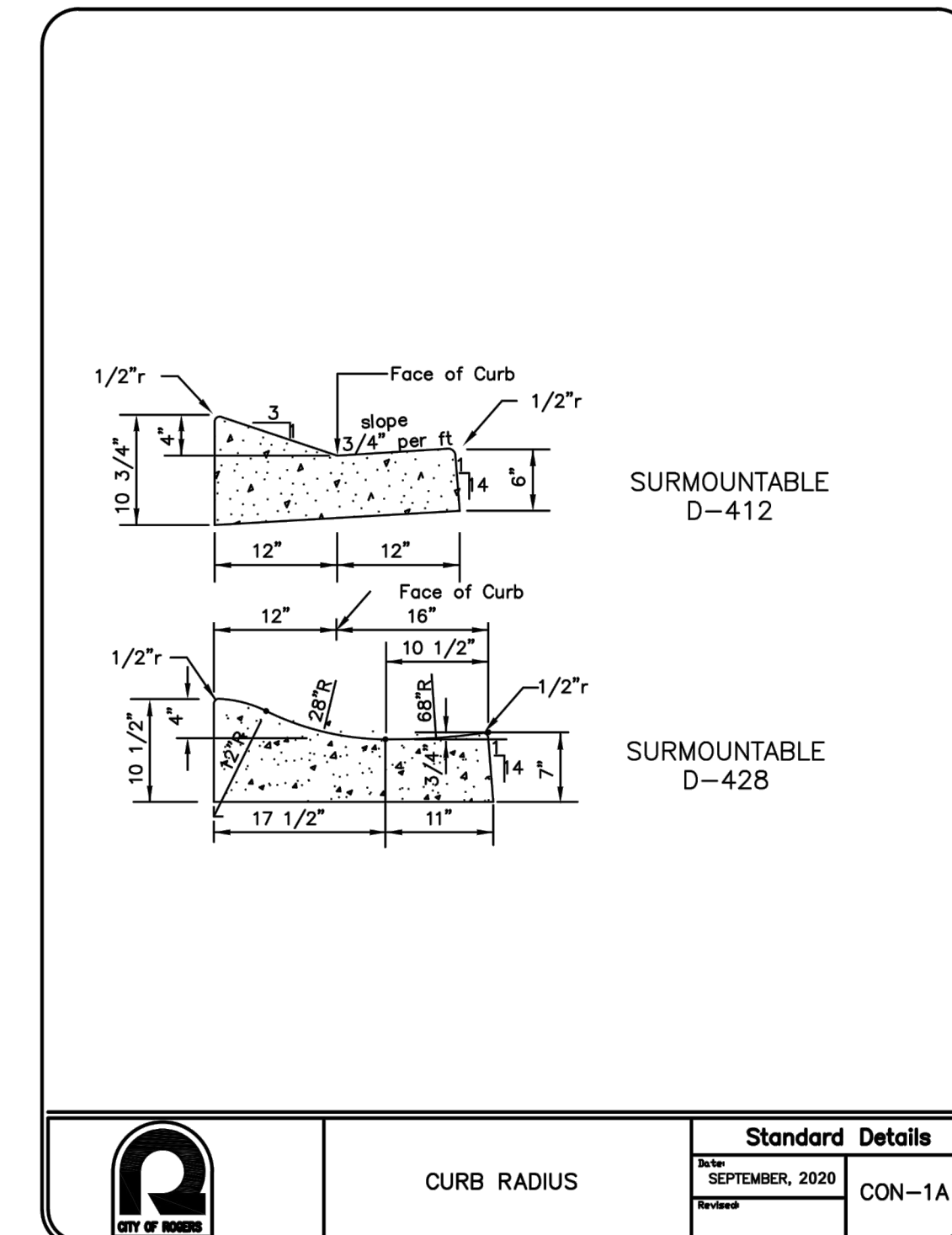
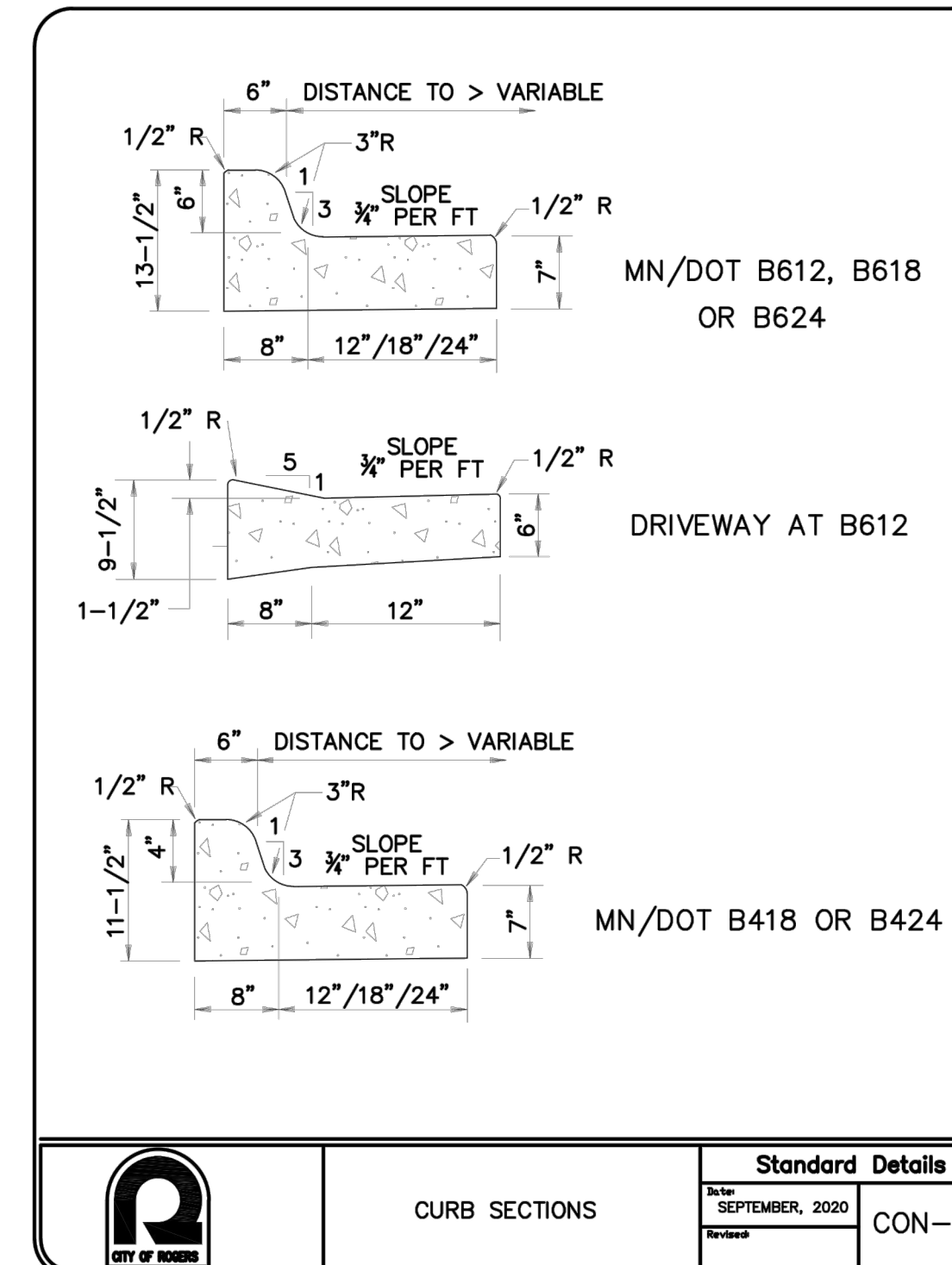
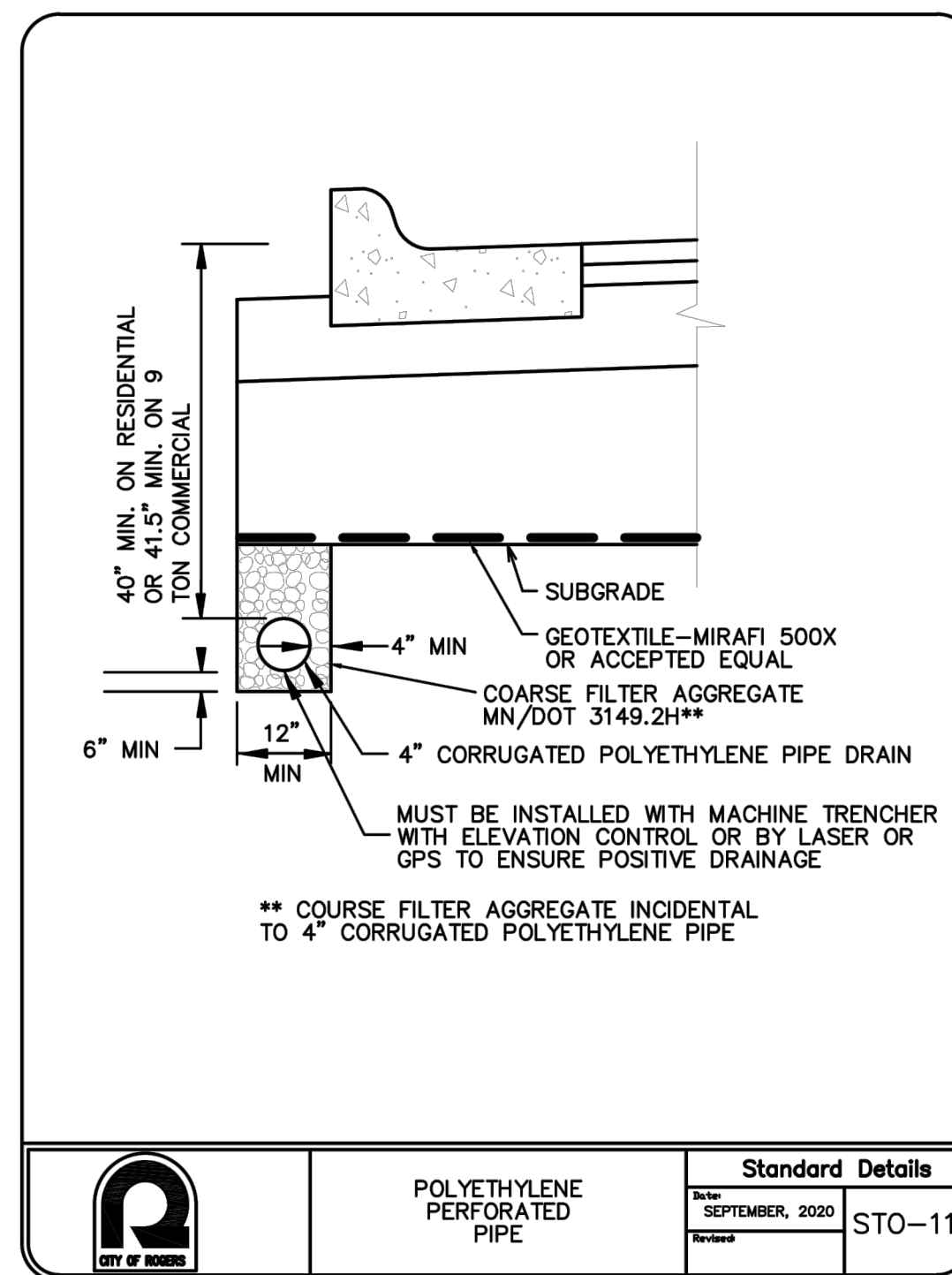
#### LOT TYPE BREAKDOWN

65' WIDE - 10,000 SF MIN	17 UNITS
TOTAL LOTS	17 UNITS
<b>SETBACKS</b>	
FRONT	25 FT
SIDE	7.5 FT
SIDE (ROW)	25 FT
REAR	20 FT

### DENSITY CALCULATIONS:

AREA AND DENSITY  
EXISTING ZONING: R1  
EXISTING LAND USE: LOW DENSITY RESIDENTIAL (2-5 UPA)  
17 UNITS/4.82 AC = 3.53 UPA

GROSS PARCEL AREA	5.00 AC
LESS ROW (WOOD LANE)	0.18 AC
NET BUILDABLE AREA	4.82 AC
TOTAL UNITS	17 UNITS
LIMITS OF DISTURBANCE	6.21 AC



DESCRIPTION	CITY SUBMITTAL
DATE	2/28/2025
	3/26/2025

**CERTIFICATION**  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

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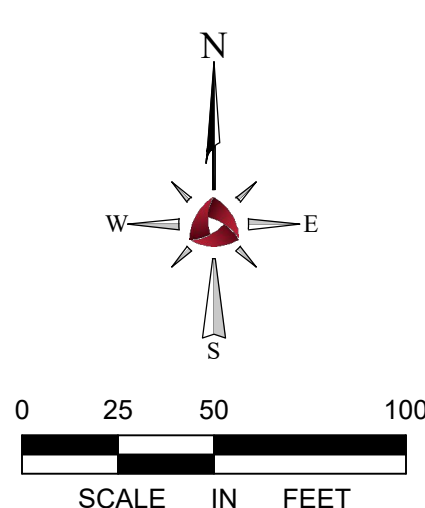
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License no. \_\_\_\_\_

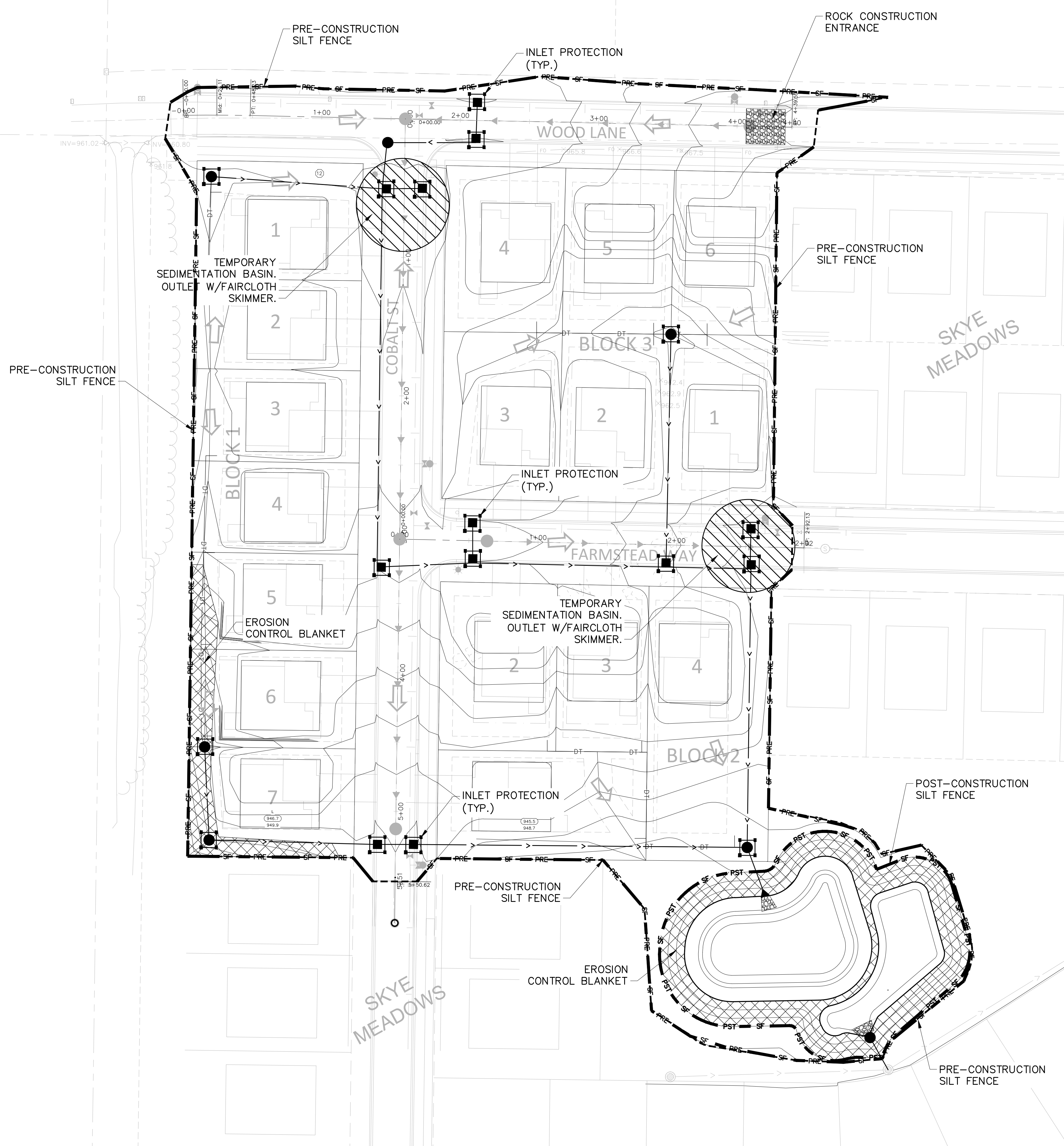
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DAVE NASH \_\_\_\_\_ Date \_\_\_\_\_  
By \_\_\_\_\_ Date \_\_\_\_\_

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Drafted By: JP  
Project No.: 4000390



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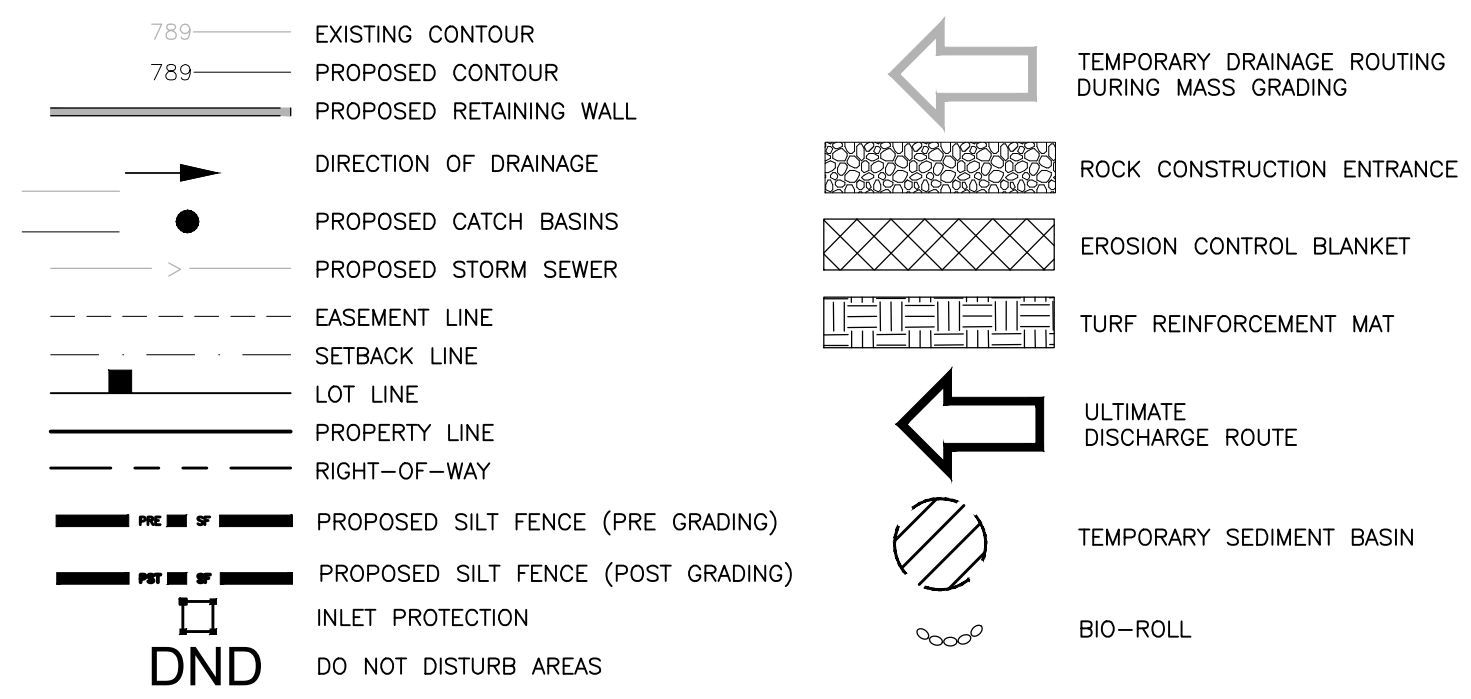


**NOTE TO CONTRACTOR:**

THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN IN THE RAHR PRESERVE MASS GRADING SWPPP (EXCEPT FOR POST GRADE BMPs NEEDED AFTER UTILITY CONSTRUCTION ACTIVITY). THE BMPs ARE TO BE INSTALLED AT A MINIMUM AS SHOWN IN THE PLAN, IF CONDITIONS ARISE. ADDITIONAL BMP SUPPLEMENTATION TO PREVENT SITE EROSION OR SEDIMENT TRANSPORT MAY BE NECESSARY. THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR ALL BMPs REQUIRED TO COMPLETE THE MASS GRADING ACTIVITIES AND SUBSEQUENT TEMPORARY SOIL STABILIZATION NECESSARY TO PREPARE SITE FOR STREET AND UTILITY CONSTRUCTION AND HOME BUILDING. AT THE COMPLETION OF MASS GRADING WORK AND SATISFACTORY SITE SOIL STABILIZATION, THE DEVELOPER AND MASS GRADING CONTRACTOR SHALL COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES TO THE STREET AND UTILITY CONTRACTOR AND THE CITY.

THE STREET AND UTILITY CONTRACTOR AND CITY WILL THEN ASSUME THE RESPONSIBILITY TO PROVIDE INSPECTION AND MAINTENANCE OF ANY IN-PLACE BMPs AS WELL AS INSTALL THE ADDITIONAL BMPs REQUIRED IN THE STREET AND UTILITY CONSTRUCTION DOCUMENT SWPPP. UPON COMPLETION OF STREET AND UTILITY CONSTRUCTION, THE STREET AND UTILITY CONTRACTOR SHALL REMOVE ANY BMPs INSTALLED DURING THE UTILITY PHASE THAT ARE NO LONGER REQUIRED AND COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES BACK TO THE DEVELOPER OR TERMINATE THE PORTION OF THE NPDES PERMIT TRANSFERRED TO THE CITY AND THEIR CONTRACTOR.

**LEGEND:**



**CONSTRUCTION SEQUENCING:**

**MASS GRADING PHASE:**

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. INSTALL THE PRE-GRADING SILT FENCES AND INLET PROTECTION BMPs ON THE SITE.
4. CONSTRUCT ALL PRE-GRADING EROSION AND SEDIMENTATION CONTROL BMPs.
5. COMPLETE MASS GRADING AND INSTALL TEMPORARY AND PERMANENT SEEDING AND PLANTING.
6. CONSTRUCT POST-GRADING SILT FENCE ON THE SITE.

**STREET & UTILITY PHASE:**

1. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
2. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
3. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
4. PREPARE SITE FOR PAVING.
5. PAVE SITE.
6. INSTALL PRIVATE UTILITIES.
7. INSTALL INLET PROTECTION DEVICES.
8. INSTALL POST STREET AND UTILITY SILT FENCE.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT. NO TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES TO BE REMOVED WITHOUT CITY APPROVAL.

**NOTE:**

1. EACH LOT TO HAVE ROCK CONSTRUCTION ENTRANCE (REQUIRED PER BUILDING PERMIT.)
2. PER CITY OF MAPLEWOOD CODE, 4 INCHES OF TOPSOIL WILL BE ADDED TO ALL DEVELOPED AREAS TO HELP REDUCE LONG TERM WATER USE FOR IRRIGATION AND IMPROVE STORMWATER RUNOFF QUALITY.
3. FILTRATION BASINS TO BE KEPT OFFLINE UNTIL ALL CONTRIBUTING AREAS ARE PERMANENTLY RESTORED.

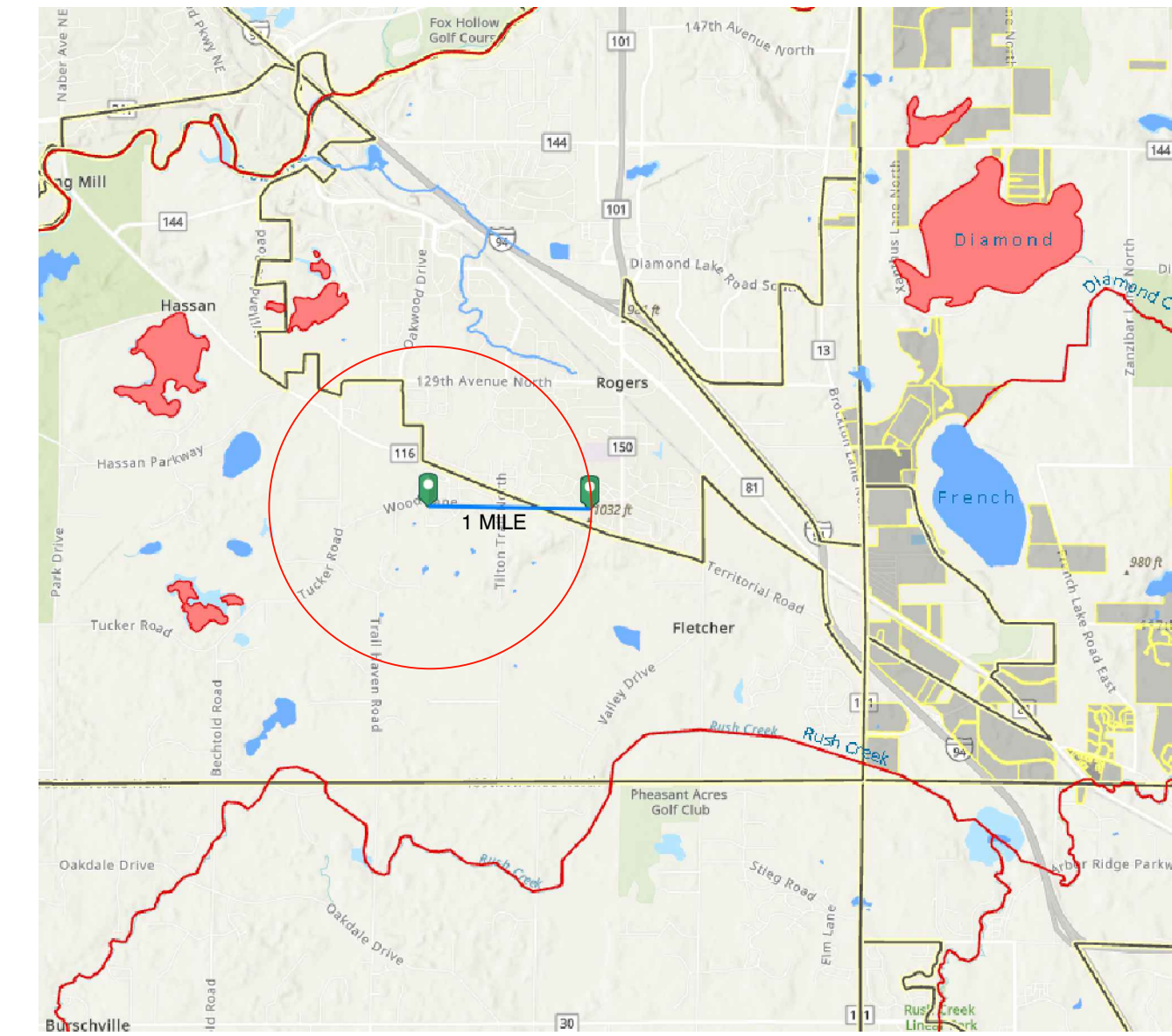
SILT FENCE- PRE CONSTRUCTION	2,460 LF
SILT FENCE- POST CONSTRUCTION	635 LF
INLET PROTECTION	17 EA
SEED/SOD POST GRADING AREA	6.21 AC
EROSION CONTROL BLANKET	1,738 SY
TEMP SEDIMENT BASIN W/SKIMMER	2 EA
ROCK CONSTRUCTION ENTRANCES	1 EA

**NOTE:**

1. SEE SHEET 9 FOR ALL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.

**EROSION CONTROL RESPONSIBLE PARTY:**

TBD



**VICINITY MAP**  
SCALE: 1" = 2000'



Know what's below.  
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DATE	DESCRIPTION
2/28/2025	CITY SUBMITTAL
3/26/2025	CITY RESUBMITTAL

**CERTIFICATION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

99238  
Date License no.

**QA/QC CHECK**

DAVE NASH  
By Date

**PROJECT TEAM DATA**

Designed By: JP  
Drafted By: JEM  
Project No.: 4000390



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WOOD LANE VILLAS

ROGERS, MINNESOTA

EROSION CONTROL AND SEDIMENT CONTROL DETAILS AND NOTES

EROSION CONTROL GENERAL NOTES:

- 1. NO LAND DISTURBING ACTIVITY SHALL OCCUR UNTIL A GRADING PERMIT HAS BEEN ISSUED FROM THE CITY OF ROGERS AND THE WATERSHED DISTRICT.
2. BEST MANAGEMENT PRACTICES (BMP'S) REFER TO EROSION AND SEDIMENT CONTROL PRACTICES DEFINED IN THE MPCA PROTECTING WATER QUALITY IN URBAN AREAS AND THE MINNESOTA CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL PLANNING HANDBOOK.
3. ALL BMP'S SELECTED SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND ESTIMATED DURATION OF USE.
4. THE SWPPP MAY BE REVISED AT ANYTIME OF THE PROJECT TIMELINE AS LONG AS THE BMP'S ARE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATION AND ACCEPTED ENGINEERING PRACTICES (SECTION 7 OF MPCA NPDES PERMIT).
5. ALL SWPPP CHANGES MUST BE DONE BY A QUALIFIED INDIVIDUAL (21.2A OR 21.2B OF MPCA NPDES PERMIT).
6. A COPY OF THESE PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
7. THE BOUNDARIES OF THE LAND DISTURBANCE LIMITS SHOWN ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. NO DISTURBANCE BEYOND THE DISTURBED LIMITS.
8. WHEREVER POSSIBLE, PRESERVE THE EXISTING TREES, GRASS AND OTHER VEGETATIVE COVER TO HELP FILTER RUNOFF.
9. ESTABLISH A PERMANENT VEGETATIVE COVER ON ALL EXPOSED SOILS WHERE LAND IS COMING OUT OF AGRICULTURAL PRODUCTION, PLANT AS SOON AS POSSIBLE TO ESTABLISH DENSE GRASS FILTER PRIOR TO CONSTRUCTION AND TO MINIMIZE WEED GROWTH.
10. ALL TREES NOT LISTED FOR REMOVAL SHALL BE PROTECTED. DO NOT OPERATE EQUIPMENT WITHIN THE DRIPLINE, ROOT ZONES OR WITHIN TREE PROTECTION FENCE AREAS.
11. ALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) SHALL BE INSTALLED AND IN OPERATION PRIOR TO LAND DISTURBANCE ACTIVITIES AND THEY SHALL BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR EROSION HAS PASSED.
12. THE BMP'S SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE PERMITTEE/CONTRACTOR SHALL ANTICIPATE THAT MORE BMP'S WILL BE NECESSARY TO ENSURE EROSION AND SEDIMENT CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY CONSTRUCTION ACTIVITIES AND/OR CLIMATIC EVENTS AND TO PROVIDE ADDITIONAL BMP'S OVER AND ABOVE THE MINIMUM REQUIREMENTS SHOWN ON THE PLANS, AS MAY BE NEEDED TO PROVIDE EFFECTIVE PROTECTION OF WATER AND SOIL RESOURCES.
13. THE BMP'S SHALL BE INSPECTED DAILY BY THE PERMITTEE/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. SILT FENCES CLEANED OR REPLACED AT SEDIMENT BUILDUP OF 1/2 OF THE FENCE HEIGHT.
14. LAND DISTURBING ACTIVITIES SHALL OCCUR IN INCREMENTS OF WORKABLE SIZE SUCH THAT ADEQUATE BMP CONTROL CAN BE PROVIDED THROUGHOUT ALL PHASES OF CONSTRUCTION. THE SMALLEST PRACTICAL AREA SHALL BE EXPOSED OR OTHERWISE DISTURBED AT ANY ONE TIME.
15. OPERATE TRACK EQUIPMENT (DOZER) UP AND DOWN EXPOSED SOIL SLOPES ON FINAL PASS, LEAVING TRACK GROOVES PERPENDICULAR TO THE SLOPE. DO NOT BACK-BLADE. LEAVE A SURFACE ROUGH TO MINIMIZE EROSION.
16. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED FROM EROSION WITHIN 7 DAYS OF SUBSTANTIAL COMPLETION OF GRADING IN THAT AREA. TEMPORARY SEED AND MULCH SHALL COVER ALL EXPOSED SOILS IF GRADING COMPLETION IS DELAYED LONGER THAN 7 DAYS. PERMANENT SEED AND MULCH OR SOD IS REQUIRED WITHIN 3 DAYS OF COMPLETION OF FINAL GRADING.
17. GENERAL TEMPORARY SEED SHALL BE MNDOT MIX 22-112 @ 100 LBS. PER ACRE OR APPROVED EQUAL. PERMANENT SEED SHALL BE MNDOT MIX 25-151 @ 120 LBS. PER ACRE OR APPROVED EQUAL. (PLANTING DATES PER SPEC 2575) MULCH SHALL BE MNDOT TYPE 1 (CLEAN OAT STRAW) @ 2 TONS PER ACRE AND DISK ANCHORED IN PLACE OR APPROVED EQUAL. FERTILIZER SHALL BE 80-80-80 NPK PER ACRE (UNLESS P RESTRICTIONS APPLY) AND INCORPORATED INTO THE SEED BED.
18. POND AND BASIN AREAS SHALL BE SEEDDED IN ACCORDANCE WITH LANDSCAPE PLAN.
19. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
20. AN ALTERNATE EROSION & SEDIMENT CONTROL PLAN SHALL BE REQUIRED FOR LAND DISTURBANCES ON EACH LOT AS PART OF ANY FUTURE BUILDING PERMIT FOR THE CONSTRUCTION OF STRUCTURES AND DRIVEWAYS.

EROSION AND SEDIMENT CONTROL MAINTENANCE PROGRAM:

- 1. INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. IMMEDIATELY REPAIR FAILED OR FAILING SILT FENCE.
2. REPLACEMENT/REPAIR - BMP'S SHALL BE REPAIRED, REPLACED OR SUPPLEMENT OF NONFUNCTIONAL BMP'S WITH FUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN SECTION 11.5 OR 11.6.
3. SEDIMENT REMOVAL - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER. ANY SEDIMENT REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER FABRIC IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH EXISTING GRADE, PREPARED, AND SEEDDED WITH THE APPROPRIATE SEED MIX, OR SODDED AS DIRECTED BY THE ENGINEER.
4. REMOVAL OF SILT FENCE - SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPWARD SLOPING AREA HAS BEEN PERMANENTLY STABILIZED. IF THE UPWARD SLOPING AREA IS TO BE EXPOSED LONGER THAN SIX (6) MONTHS, THAT AREA SHALL BE COVERED WITH TEMPORARY VEGETATION WHEN FIRST EXPOSED.
5. THE CONTRACTOR MUST ROUTINELY INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. IF EVIDENCE OF EROSION AND SEDIMENT BMP DEPOSITION IS DISCOVERED CONTRACTOR MUST COMPLETE REMOVAL OR STABILIZATION WITHIN (7) CALENDAR DAYS OF DISCOVERY.
6. ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION MUST BE RECORDED IN WRITING AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP RECORDS OF EACH INSPECTION AND MAINTENANCE ACTIVITY SHALL INCLUDE:
A. DATE AND TIME OF INSPECTIONS;
B. NAME OF PERSON(S) CONDUCTING INSPECTIONS;
C. FINDINGS OF INSPECTIONS, INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTIONS;
D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES.
E. DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCH (0.5 INCHES) IN 24 HOURS;
F. DOCUMENTS OF CHANGES MADE TO THE SWPPP AS REQUIRED IN SECTION 6.
7. WHERE PARTS OF THE CONSTRUCTION SITE HAVE UNDERGONE FINAL STABILIZATION, BUT WORK REMAINS ON OTHER PARTS OF SITE, INSPECTIONS OF THE STABILIZED AREAS MAY BE REDUCED TO ONCE PER MONTH. WHERE WORK HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, THE REQUIRED INSPECTIONS AND MAINTENANCE MUST TAKE PLACE AS SOON AS RUNOFF OCCURS AT THE SITE OR PRIOR TO RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.

POLLUTION PREVENTION MANAGEMENT MEASURES:

- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:
1. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
2. HAZARDOUS MATERIAL: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
3. CONCRETE WASHOUT IS DONE TRUCK BY TRUCK WITH A MOBILE WASHOUT SYSTEM PROVIDED AND COMPLETED BY THE CONCRETE CONTRACTOR. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF.
4. NO ENGINE DEGREASING IS ALLOWED ON SITE.

PERMANENT COVER:

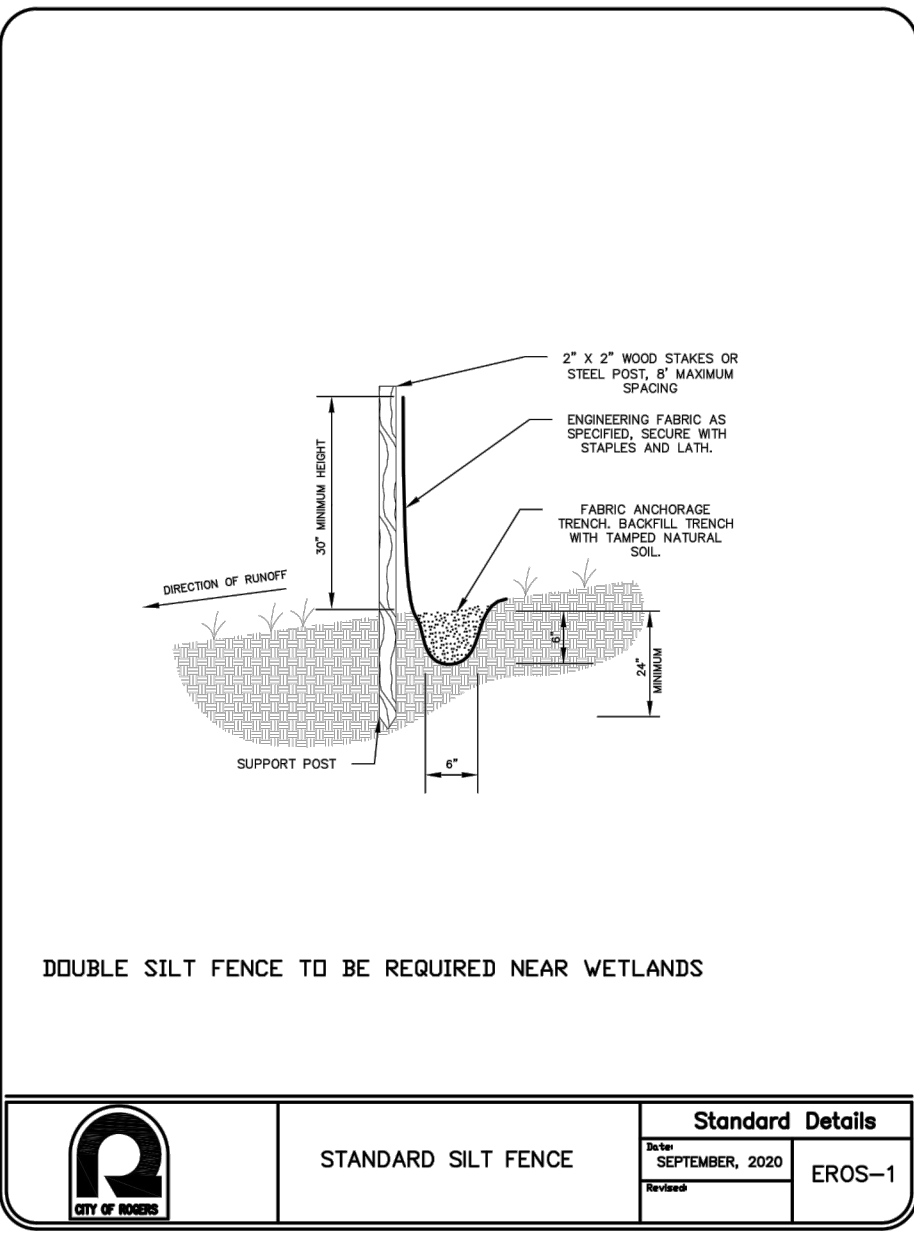
- THE CONTRACTOR MUST ENSURE COMPLETE COVER OF THE SITE. THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS AFTER PERMANENT COVER IS COMPLETE, OR ANOTHER OWNER/OPERATOR (PERMITTEE) HAS ASSUMED CONTROL OF ALL AREAS OF THE SITE THAT HAVE NOT UNDERGONE PERMANENT COVER. PERMANENT COVER CAN BE ACHIEVED IN THE FOLLOWING WAY:
ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OVER THE ENTIRE PERVIOUS SURFACE AREA, OR OTHER EQUIVALENT MEANS NECESSARY TO PREVENT SOIL FAILURE UNDER EROSION CONDITIONS AND:
A. ALL DRAINAGE DITCHES, CONSTRUCTED TO DRAIN WATER FROM THE SITE AFTER CONSTRUCTION IS COMPLETE, MUST BE STABILIZED TO PRECLUDE EROSION;
B. ALL TEMPORARY SYNTHETIC, AND STRUCTURAL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S (SUCH AS SILT FENCE) MUST BE REMOVED AS PART OF THE SITE PERMANENT COVER; AND
C. THE CONTRACTORS MUST CLEAN OUT ALL SEDIMENT FROM CONVEYANCES AND FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES OR DRAINAGE WAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEAN OUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
THE CITY OF ROGERS MUST INSPECT AND APPROVE ALL VEGETATION COVER FOR ACCEPTANCE.

DEWATERING:

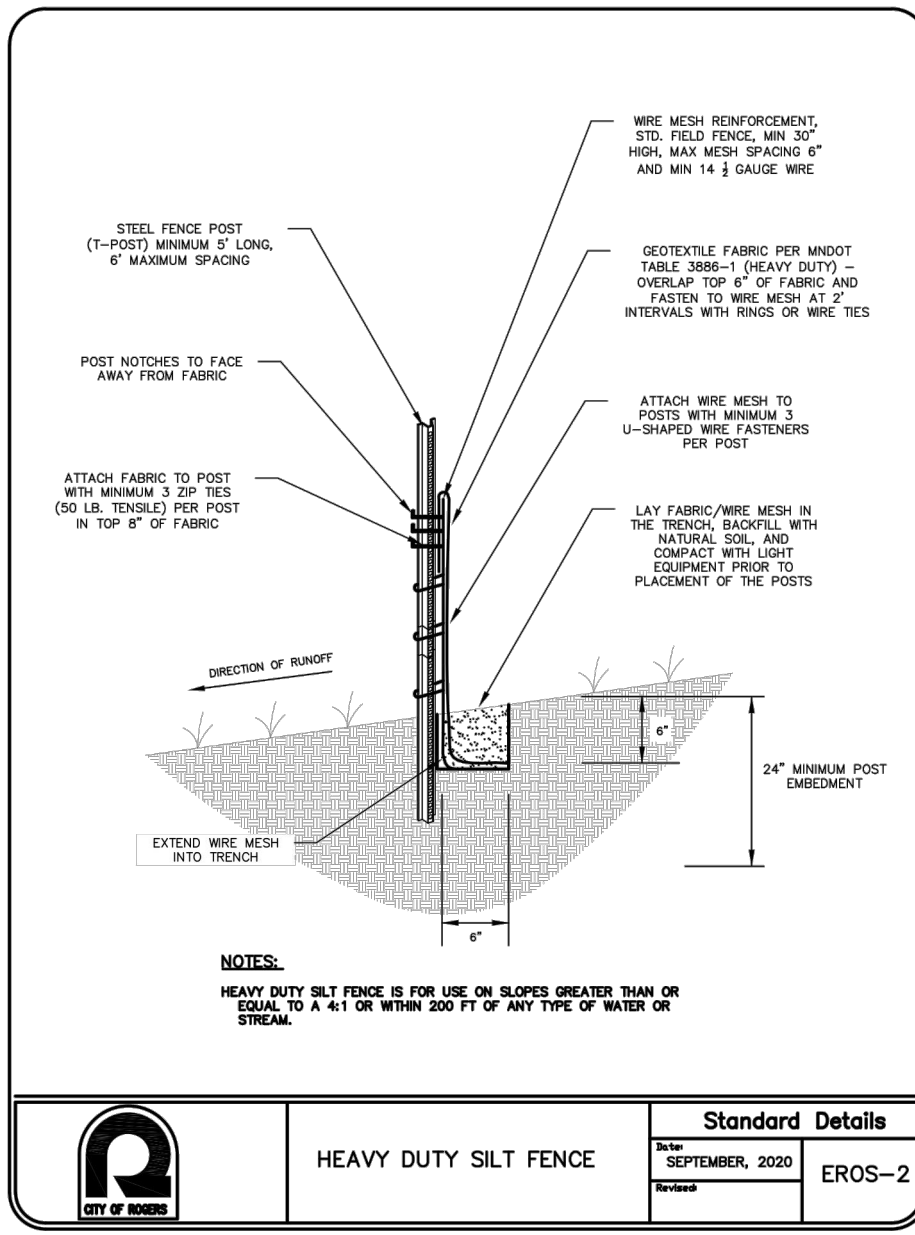
- IF UTILITY INSTALLATION WORK ENCOUNTERS GROUNDWATER, THE CONTRACTOR SHALL PROVIDE A PLAN TO THE CITY AND PROJECT ENGINEER FOR REVIEW. THE PLAN AT MINIMUM SHALL BE A DEWATERING PLAN INCLUDING WATER ROUTING, STORAGE, AND DISCHARGE LOCATION.
2. IF ANY TEMPORARY DEWATERING IS REQUIRED ON SITE THE CONTRACTOR SHALL DISPOSE OF STORMWATER OR GROUND WATER BY USE OF PUMPS AND HOSES TO ACCEPTABLE DISCHARGE POINTS APPROVED BY THE CITY AND PROJECT ENGINEER.
3. ANY ACCUMULATED SEDIMENT ALONG EXISTING CURB AND GUTTER THAT HAS COLLECTED AS A RESULT OF DISCHARGING DEWATERING HOSES SHALL BE IMMEDIATELY REMOVED AND PROPERLY DISPOSED OF AFTER EACH DISCHARGING EVENT.

FINAL STABILIZATION:

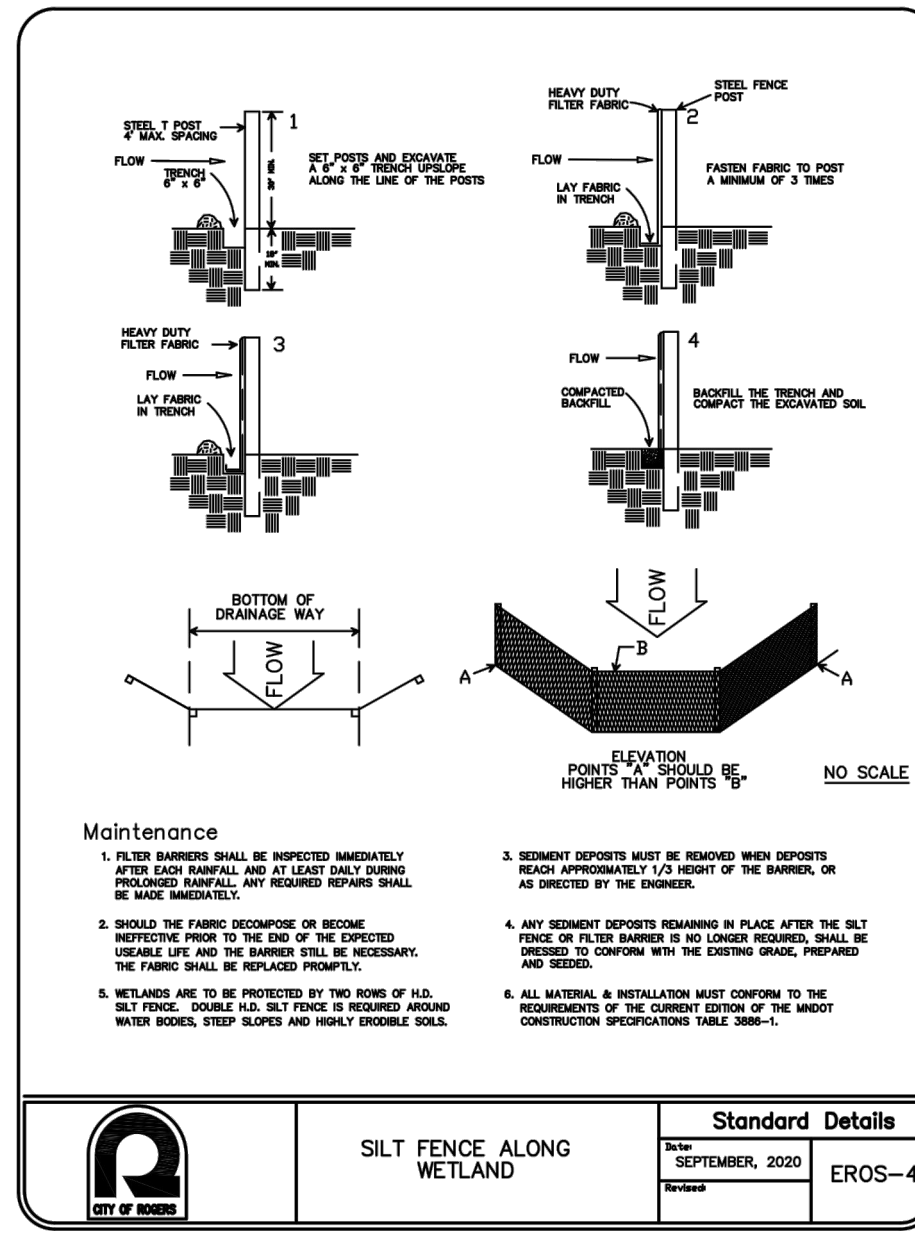
- THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE. THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE, OR ANOTHER OWNER/OPERATOR (PERMITTEE) HAS ASSUMED CONTROL OF ALL AREAS OF THE SITE THAT HAVE NOT UNDERGONE FINAL STABILIZATION. FINAL STABILIZATION CAN BE ACHIEVED IN THE FOLLOWING WAY:
ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OVER THE ENTIRE PERVIOUS SURFACE AREA, OR OTHER EQUIVALENT MEANS NECESSARY TO PREVENT SOIL FAILURE UNDER EROSION CONDITIONS AND:
A. ALL DRAINAGE DITCHES, CONSTRUCTED TO DRAIN WATER FROM THE SITE AFTER CONSTRUCTION IS COMPLETE, MUST BE STABILIZED TO PRECLUDE EROSION;
B. ALL TEMPORARY SYNTHETIC, AND STRUCTURAL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S (SUCH AS SILT FENCE) MUST BE REMOVED AS PART OF THE SITE FINAL STABILIZATION; AND
C. THE CONTRACTORS MUST CLEAN OUT ALL SEDIMENT FROM CONVEYANCES AND FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES OR DRAINAGE WAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEAN OUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.



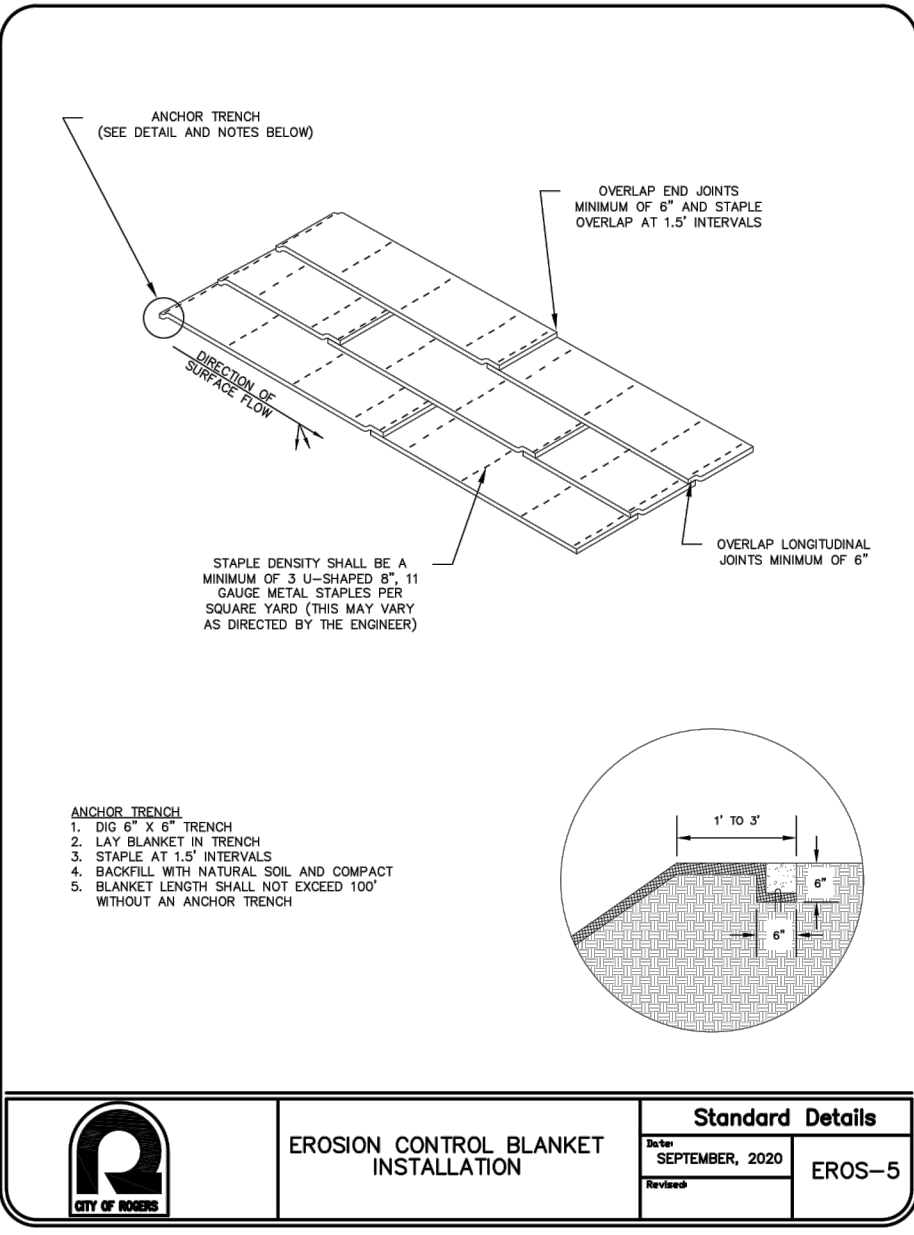
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STANDARD SILT FENCE
DATE: SEPTEMBER, 2020
REVISION:
EROS-1



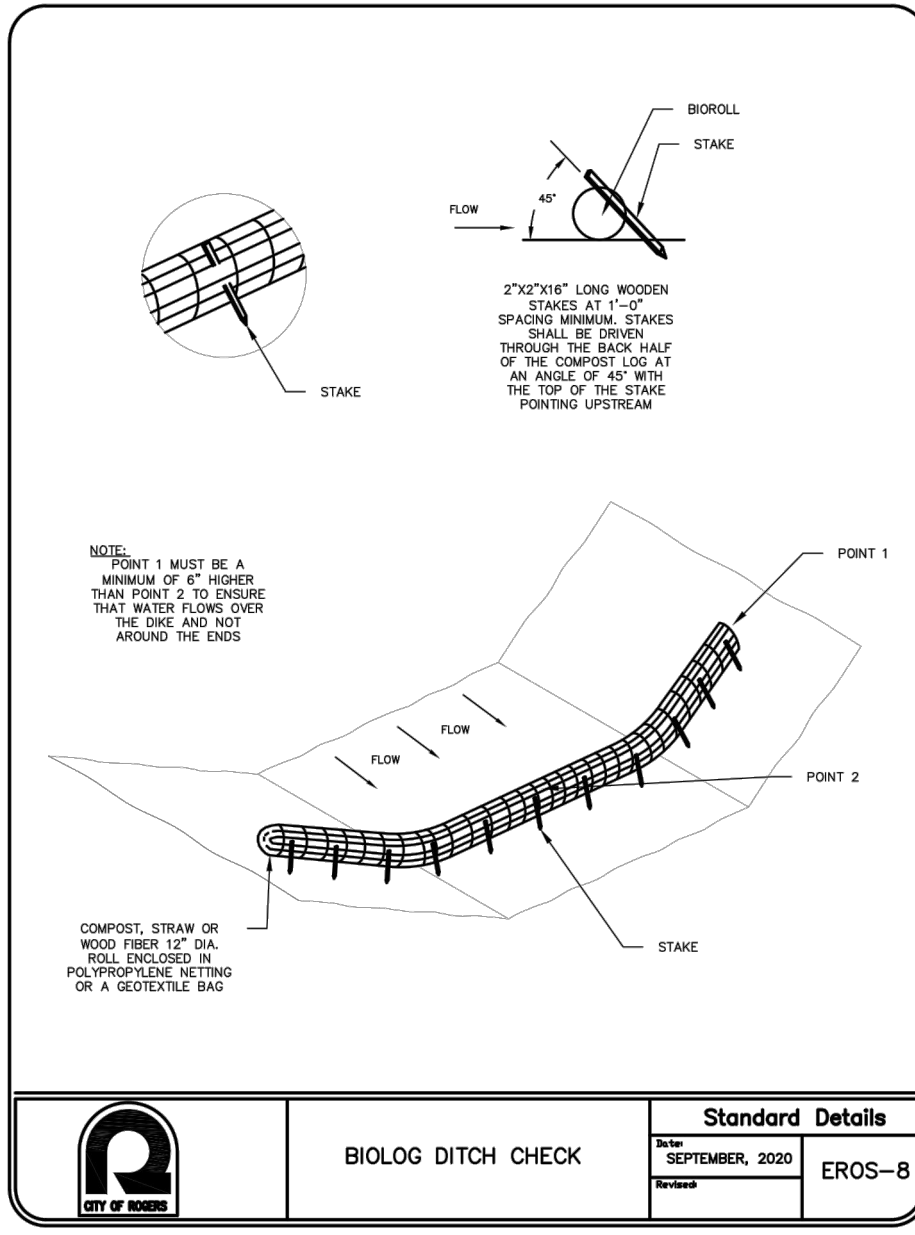
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HEAVY DUTY SILT FENCE
DATE: SEPTEMBER, 2020
REVISION:
EROS-2



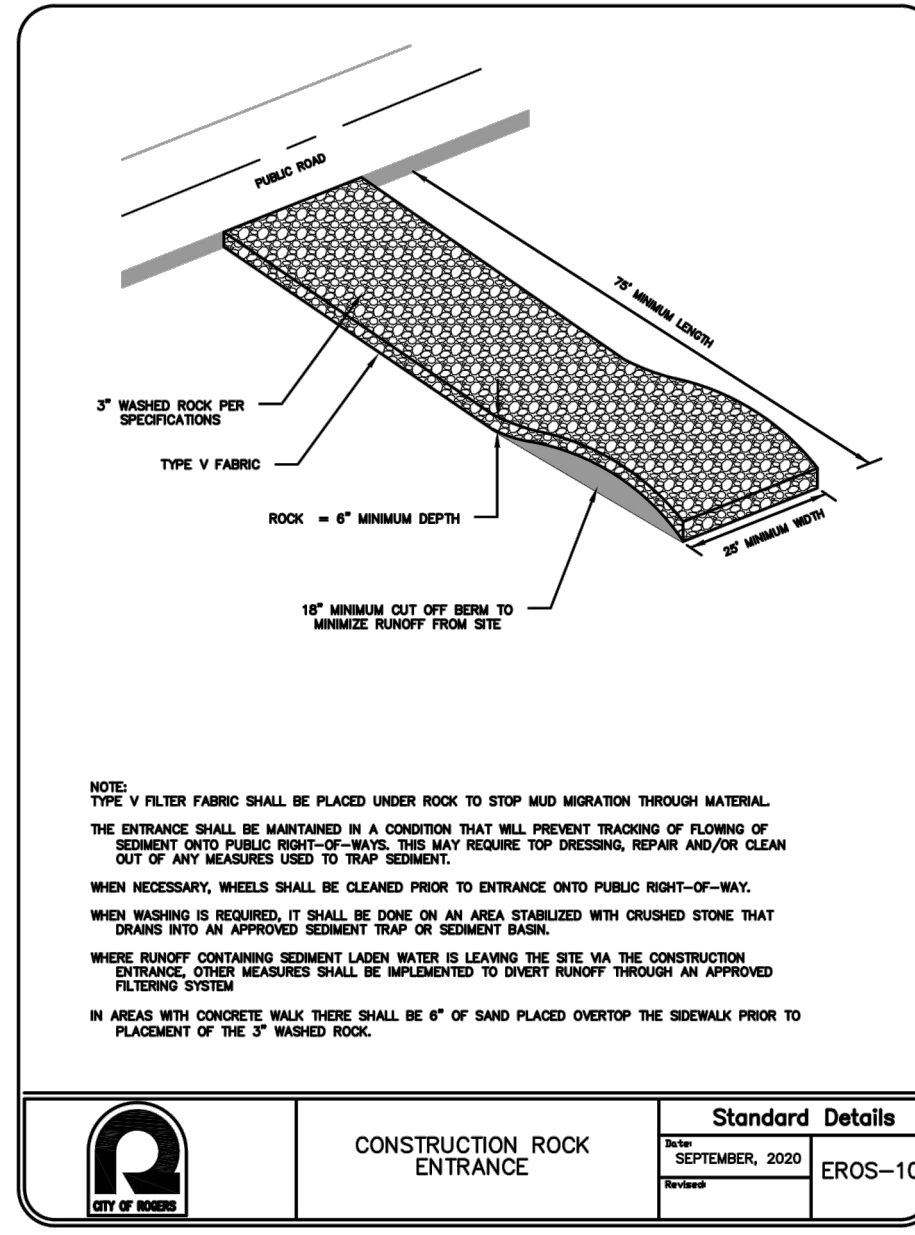
Standard Details
SILT FENCE ALONG WETLAND
DATE: SEPTEMBER, 2020
REVISION:
EROS-4



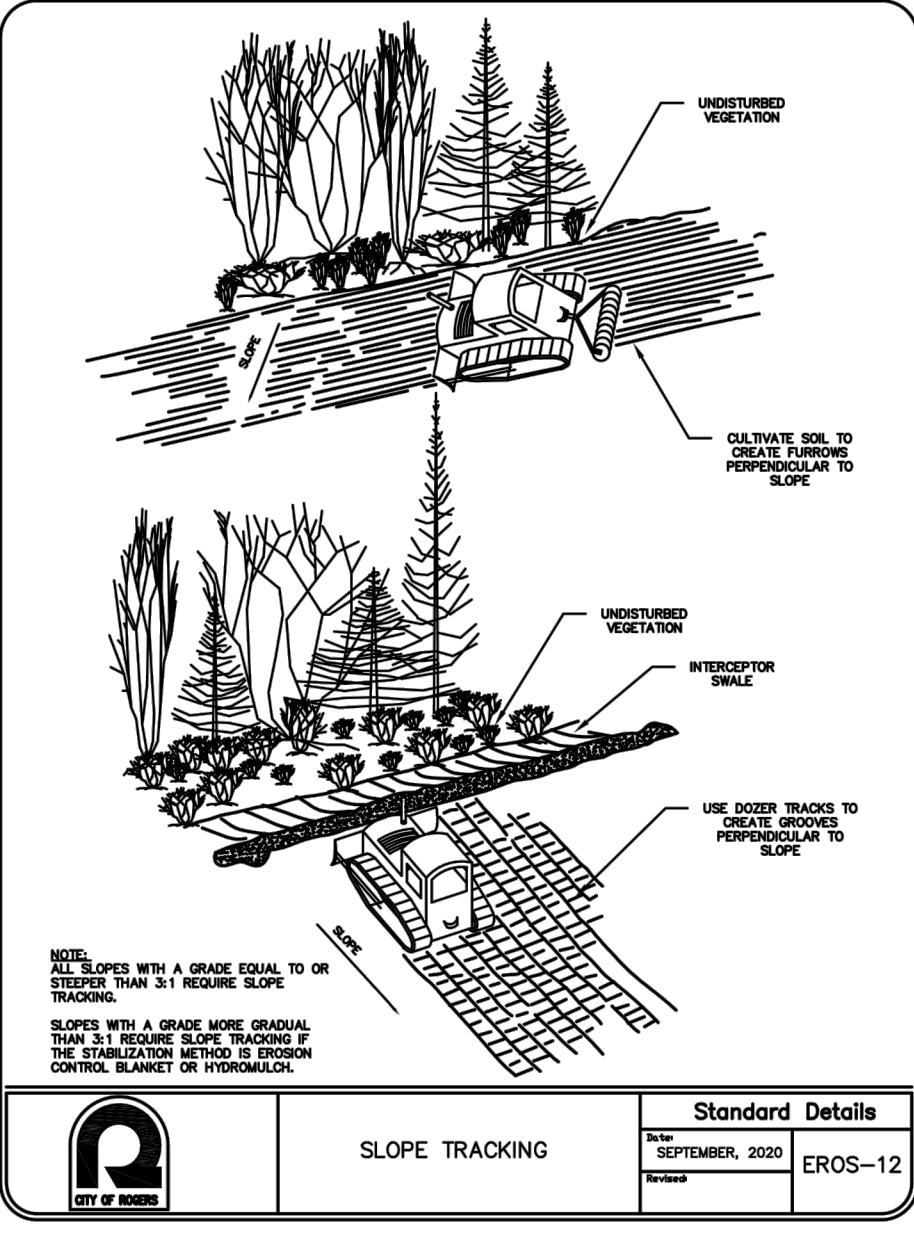
Standard Details
EROSION CONTROL BLANKET INSTALLATION
DATE: SEPTEMBER, 2020
REVISION:
EROS-5



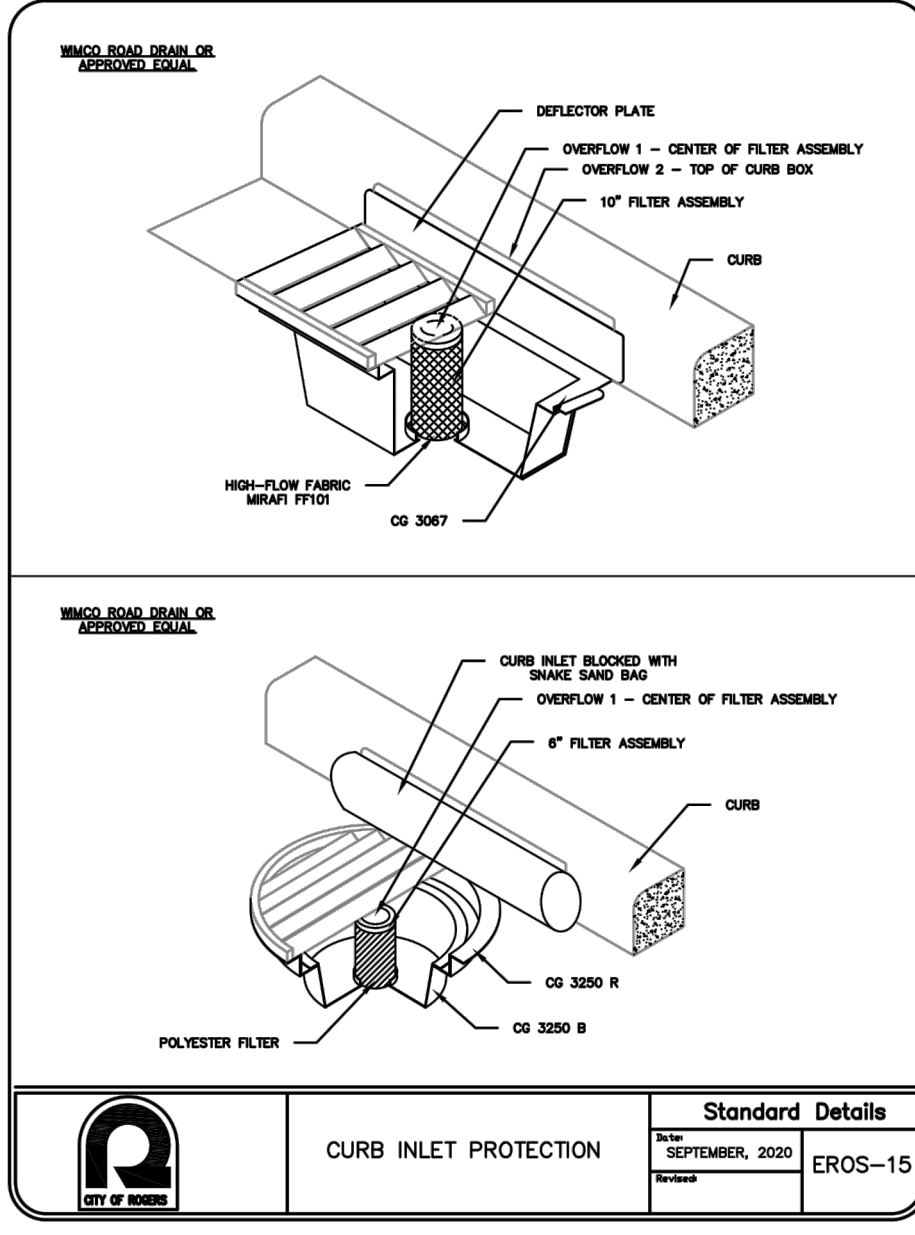
Standard Details
BIOLOG DITCH CHECK
DATE: SEPTEMBER, 2020
REVISION:
EROS-8



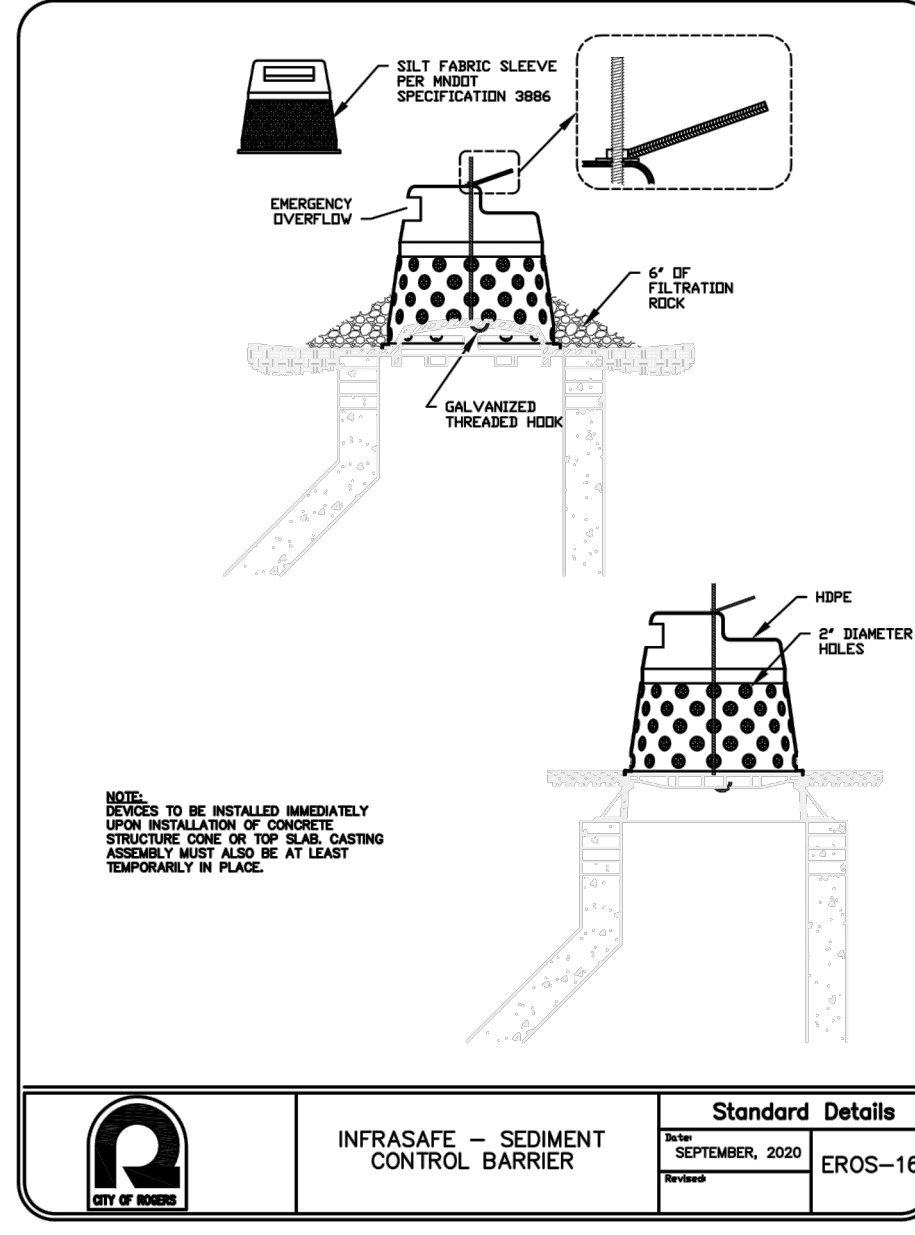
Standard Details
CONSTRUCTION ROCK ENTRANCE
DATE: SEPTEMBER, 2020
REVISION:
EROS-10



Standard Details
SLOPE TRACKING
DATE: SEPTEMBER, 2020
REVISION:
EROS-12



Standard Details
CURB INLET PROTECTION
DATE: SEPTEMBER, 2020
REVISION:
EROS-15



Standard Details
INFRASAFE - SEDIMENT CONTROL BARRIER
DATE: SEPTEMBER, 2020
REVISION:
EROS-16

DESCRIPTION: CITY SUBMITTAL, CITY RESUBMITTAL
DATE: 2/28/2025, 3/26/2025
CERTIFICATION: I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Civil Engineer under the laws of the State of Minnesota.
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION
QA/QC CHECK: DAVE NASH, Date
PROJECT TEAM DATA: Designed By: JP, Drafted By: JP, Project No.: 4000390
9
Page 18 of 44



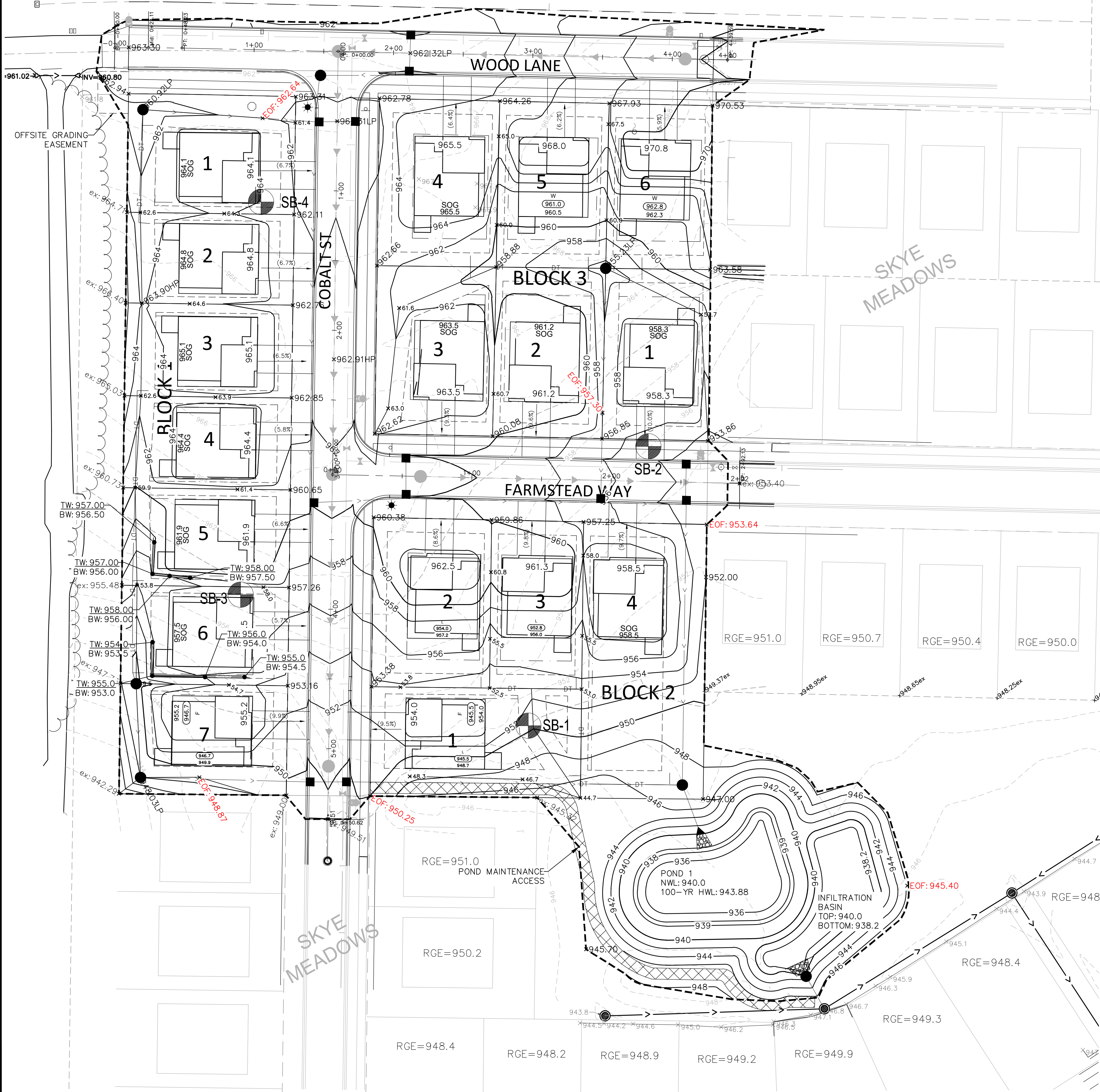
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ROGERS, MINNESOTA

GRADING PLAN



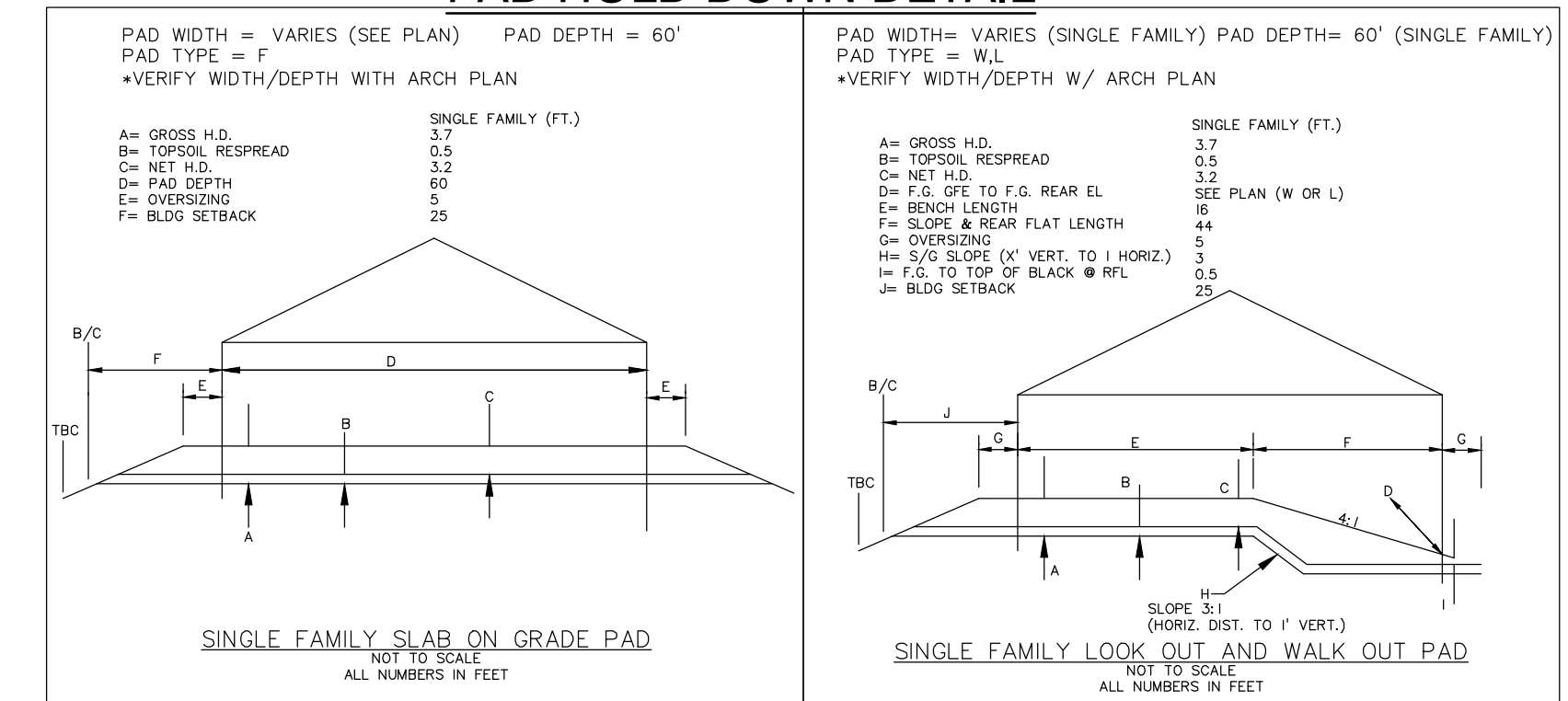
GRADING NOTES:

- 1. ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0%. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 2.00% UNLESS NOTED OTHERWISE.
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY, WATERSHED AND NPDES PERMIT.
3. NOTIFY GOPHER STATE ONE CALL AT (800) 252-1166 48 HOURS PRIOR TO START OF CONSTRUCTION.
4. ALL IMPROVEMENTS TO CONFORM WITH CITY OF ROGERS STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
5. ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
6. REFER TO GEOTECHNICAL REPORT AND PROJECT MANUAL FOR SOIL CORRECTION REQUIREMENTS AND TESTING REQUIREMENTS.
7. STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE. STOCKPILE PERIMETERS MUST BE PROTECTED WITH SILT FENCE. ON SITE TOPSOIL CAN BE USED IF IT MEETS CITY SPECIFICATIONS AS DETERMINED BY CITY ENGINEER OR THEIR REPRESENTATIVE.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
9. IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
10. THE GENERAL CONTRACTOR MUST DISCUSS DEWATERING PLANS WITH ALL SUBCONTRACTORS TO VERIFY NPDES PERMIT REQUIREMENTS. IF DEWATERING IS REQUIRED DURING CONSTRUCTION, CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
11. REFER TO GRADING AND DRAINAGE AND EROSION AND SEDIMENT CONTROL PLAN FOR ALL EROSION AND SEDIMENT CONTROL DEVICE LOCATIONS.
12. BUILDING PERMITS ARE REQUIRED FOR ALL RETAINING WALLS 4 FEET IN HEIGHT OR GREATER AND SHALL BE DESIGNED BY A STRUCTURAL ENGINEER AND THE DESIGN REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION. ALL WALLS EXCEEDING 30" IN HEIGHT REQUIRE THE INSTALLATION OF A 42" SAFETY RAILING.
13. PROPOSED DRIVEWAY GRADES ARE 3% MINIMUM AND 10% MAXIMUM.
14. ANY MODIFICATION TO HOMES AT TIME OF BUILDING PERMIT APPLICATION THAT DEVIATES FROM THIS GRADING PLAN MUST BE SUBMITTED TO AND APPROVED BY THE CITY OF ROGERS.
15. ONE STEP IS EQUAL TO 0.67 FEET.
16. GEOTECHNICAL ENGINEER TO BE PRESENT DURING EXCAVATION OF ALL PRETREATMENT AND FILTRATION BASINS. GEOTECHNICAL ENGINEER TO PROVIDE RECOMMENDATION FOR BASIN LINERS WHICH MAY EXCEED 2' MINIMUM OF ON-SITE CLAYS PER CIVIL ENGINEERING PLANS. GEOTECHNICAL ENGINEER TO NOTIFY THE CITY OF ROGERS AND CONTRACTOR IF ACTIVE KARST IS DISCOVERED DURING CONSTRUCTION AND PROVIDE APPROPRIATE RECOMMENDATION.
17. A GRADING AS-BUILT SURVEY MUST BE SUBMITTED TO CITY STAFF (PER LAND DISTURBANCE REQUIREMENTS) PRIOR TO ANY UTILITY AND STREET IMPROVEMENT CONSTRUCTION.
18. 4" OF TOPSOIL TO BE SPREAD OVER DISTURBED AREAS TO REDUCE LONG TERM WATER USE FOR IRRIGATION AND IMPROVE STORMWATER RUNOFF QUALITY.
19. PROPOSED FILTRATION AND PONDING AREAS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION TO PREVENT COMPACTION OF SOILS AND SEDIMENTATION.
20. ALL MASS SITE GRADING ACTIVITIES SHALL BE COMPLETED AND A GRADING AS-BUILT SURVEY SUBMITTED TO CITY STAFF AS OUTLINED IN THE LAND DISTURBANCE REQUIREMENTS PRIOR TO ANY UTILITY AND STREET IMPROVEMENTS BEING CONSTRUCTED ON SITE AND/OR RELEASE OF LAND DISTURBANCE SECURITIES.

RETAINING WALL NOTES:

- 1. ALL RETAINING WALLS SHALL BE ROUGH GRADED AT A 2:1 SLOPE WITH BASE OF SLOPE AT PROPOSED WALL FACE.
2. THE RETAINING WALL SLOPE AREAS ARE TO BE MAINTAINED UNTIL RETAINING WALL CONSTRUCTION OCCURS. ANY EROSION SHALL BE REMEDIATED AND RESTORED.
3. BUILDING PERMITS ARE REQUIRED FOR ALL RETAINING WALLS 4 FEET IN HEIGHT OR GREATER AND THE WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER WITH DESIGN REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION. ANY QUESTIONS REGARDING THE BUILDING PERMITS SHALL BE DIRECTED TO THE CITY BUILDING INSPECTOR.
4. INSTALL SAFETY RAILING ATOP ALL WALLS WHERE REQUIRED BY CODE.
5. RETAINING WALL CONTRACTOR AND/OR RETAINING WALL STRUCTURAL ENGINEER ARE RESPONSIBLE TO REVIEW CIVIL SITE ENGINEERING DRAWINGS. ANY OBSERVED CONCERNS WITH CIVIL SITE ENGINEERING DESIGN ELEMENTS RELATED TO RETAINING WALLS THAT REQUIRE MODIFICATION TO THE CIVIL SITE DESIGN IS THEIR RESPONSIBILITY TO COORDINATE WITH PROJECT OWNER AND CIVIL SITE ENGINEER. IF NO COORDINATION IS REQUESTED IT SHALL BE UNDERSTOOD THAT ALL CONDITIONS WITHIN THE CIVIL SITE DESIGN AND PLANS ARE ACCEPTABLE AND ABLE TO BE PROVIDED FOR IN THE RETAINING WALL DESIGN AND CONSTRUCTION.
6. RETAINING WALLS ARE TO BE FINAL DESIGNED AND PERMITTED BY OTHERS.

PAD HOLD DOWN DETAIL



LEGEND:

- FRONT OF PAD
GARAGE FLOOR ELEVATION
ADDITIONAL REQUIRED STEPS BEYOND TYPICAL 0.57' DIFF.
HOUSE PAD TYPE
LOWEST FLOOR ELEVATION
REAR ELEVATION
EXISTING CONTOUR
PROPOSED CONTOUR (BY OTHERS)
PROPOSED CONTOUR
EOF SPOT ELEVATION
DIRECTION OF DRAINAGE
SOIL BORING (SEE GEOTECHNICAL REPORT)



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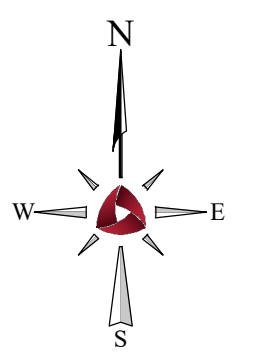
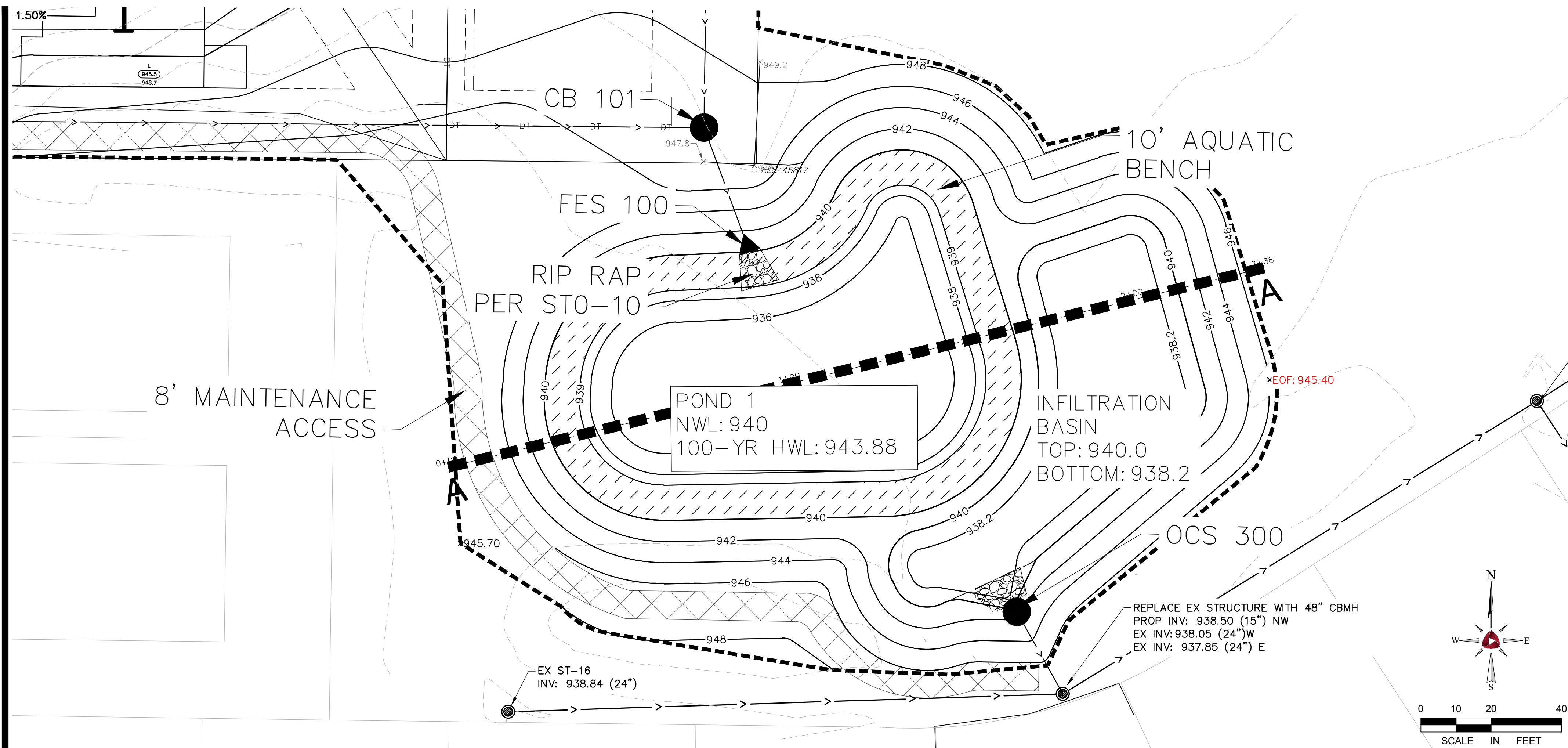


Table with columns: DATE, DESCRIPTION, CITY SUBMITTAL, CITY RESUBMITTAL. Includes dates 2/28/2025 and 3/26/2025.

CERTIFICATION
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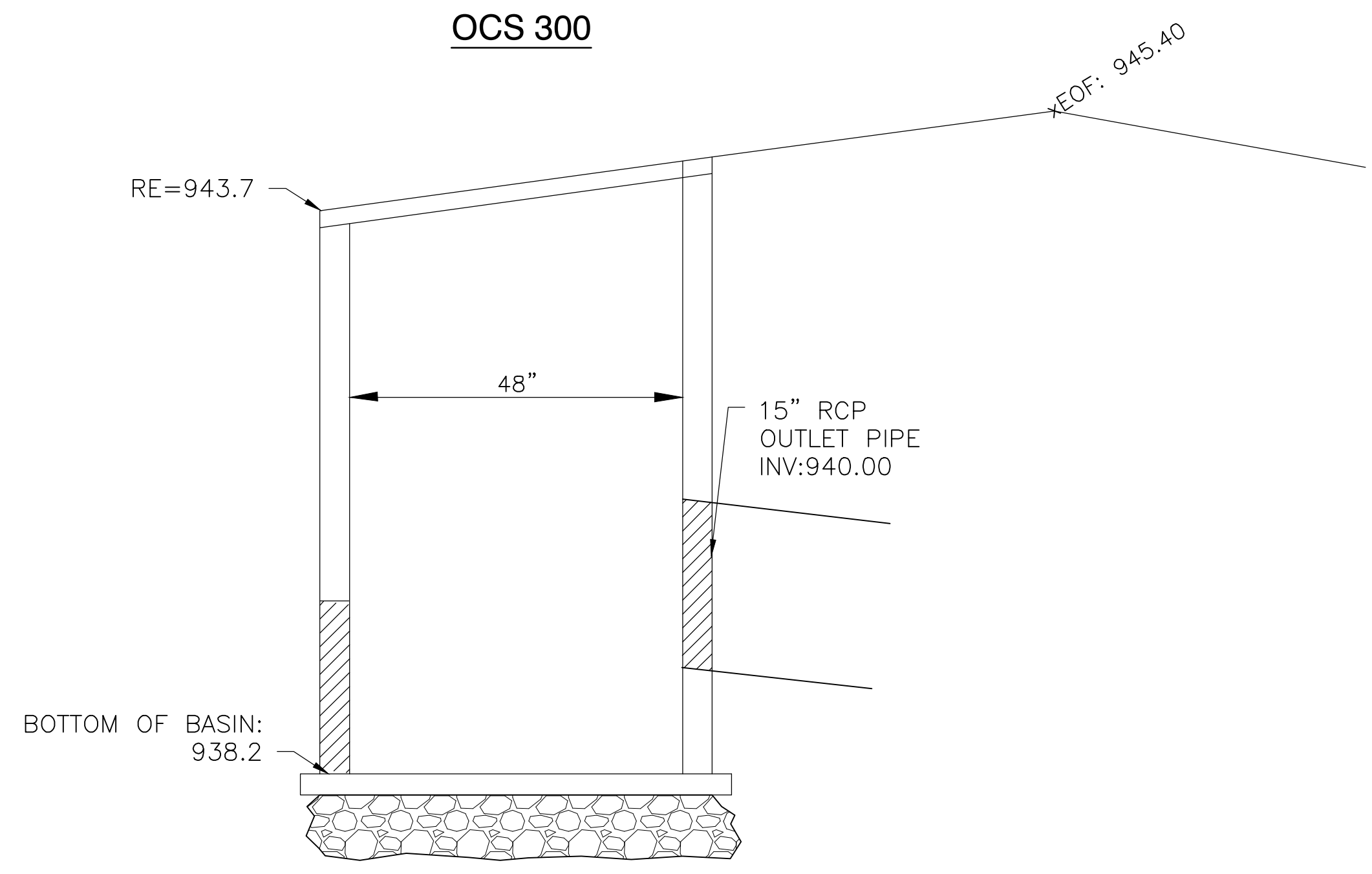
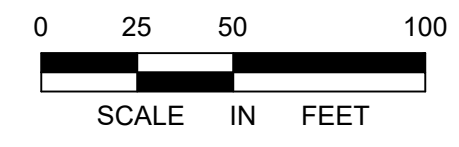
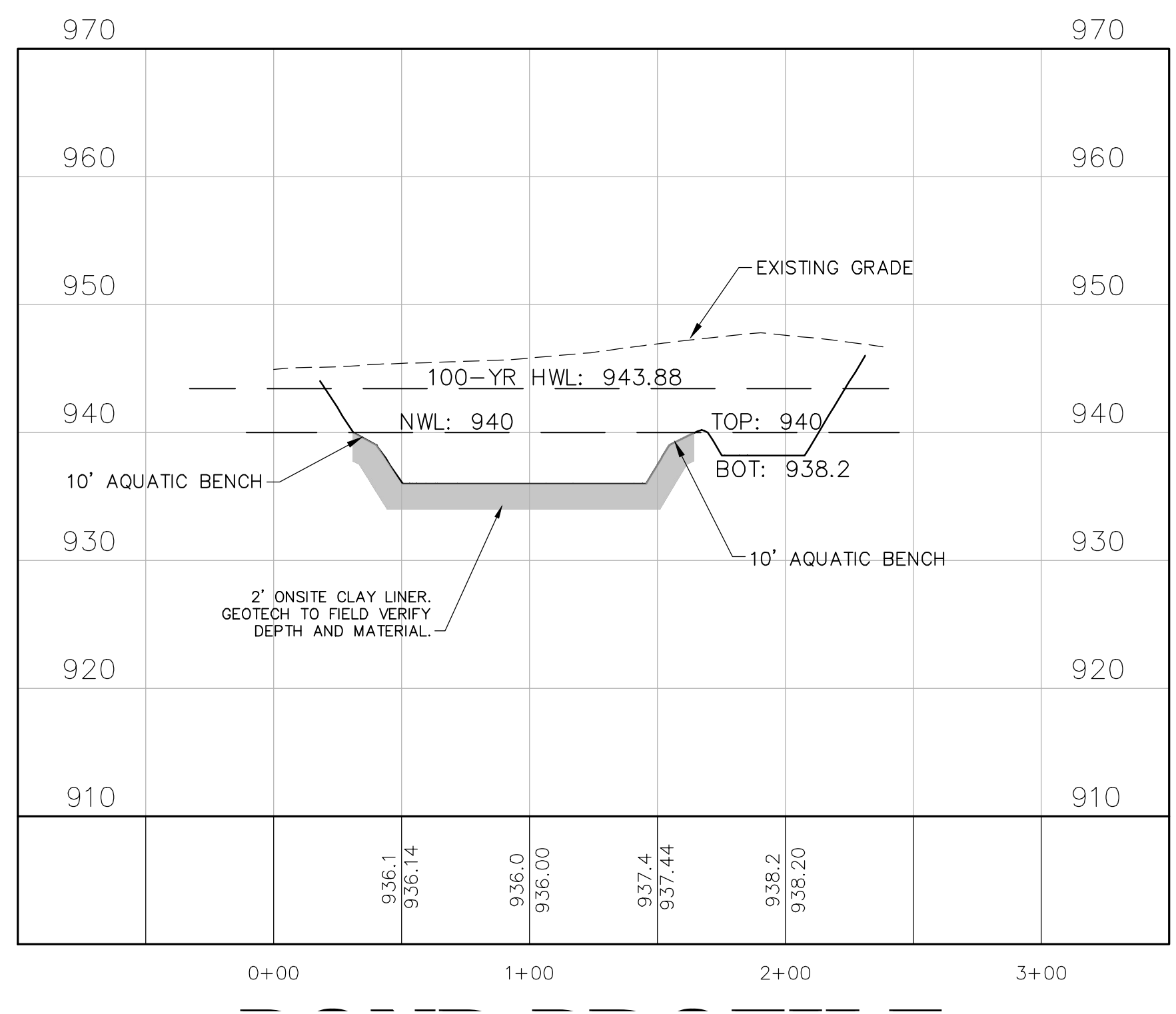
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QA/QC CHECK
DAVE NASH
By: Date:
PROJECT TEAM DATA
Designed By: JP
Drafted By: JP
Project No.: 4000390



REQUIRED MINIMUM INFILTRATION RATE:  
0.45IN/HR

POST-CONSTRUCTION INFILTRATION TESTING  
WILL BE COMPLETED TO CONFIRM  
INFILTRATION BASIN MEETS OR EXCEEDS  
DESIGN RATE.



WOOD LAKE VILLAS

ROGERS, MINNESOTA

Pond Detail

DATE	DESCRIPTION
2/28/2025	CITY SUBMITTAL
3/26/2025	CITY RESUBMITTAL

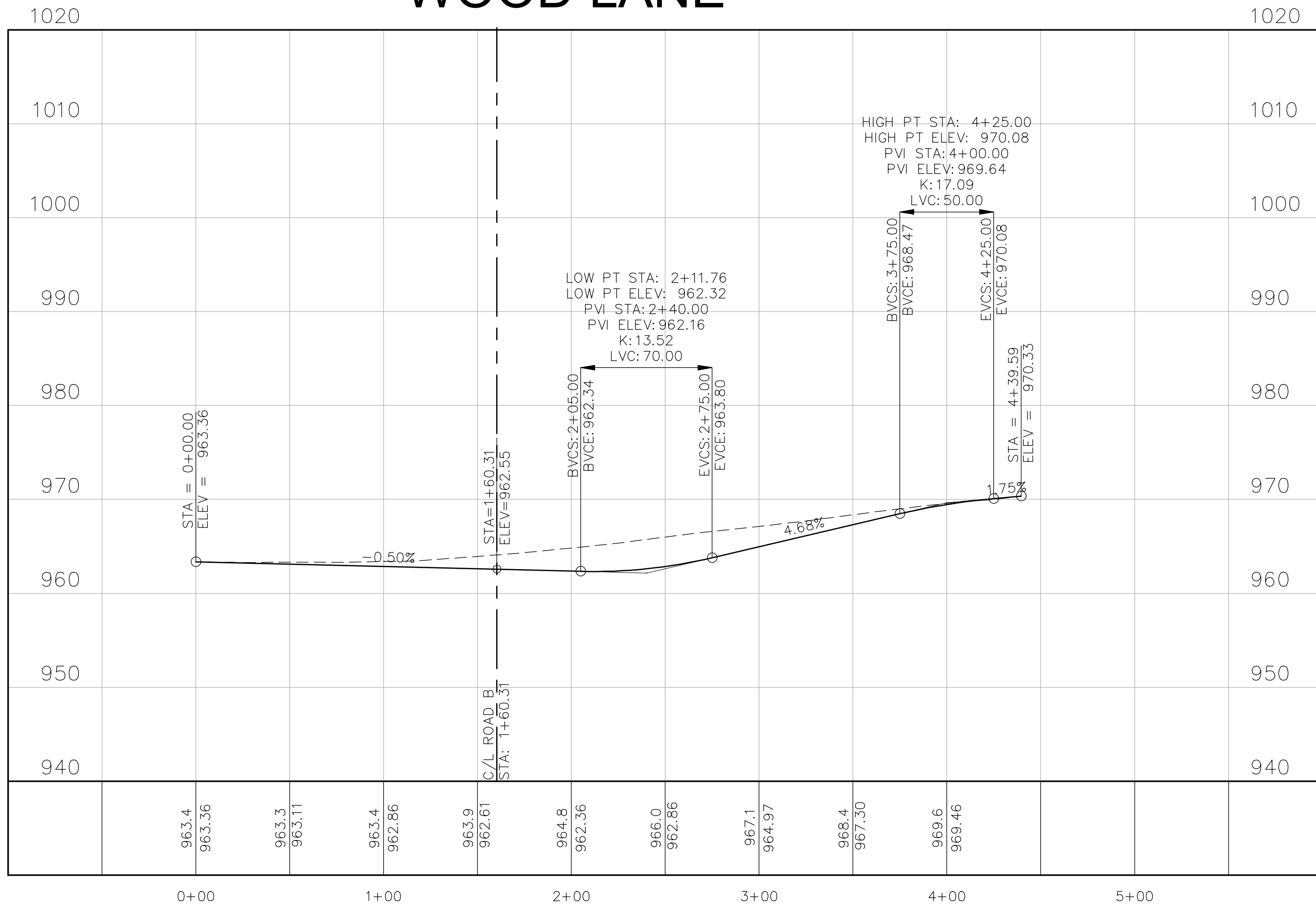
**CERTIFICATION**  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Civil Engineer under the laws of the State of Minnesota.

DATE: 3/26/2025  
 License no. 21836

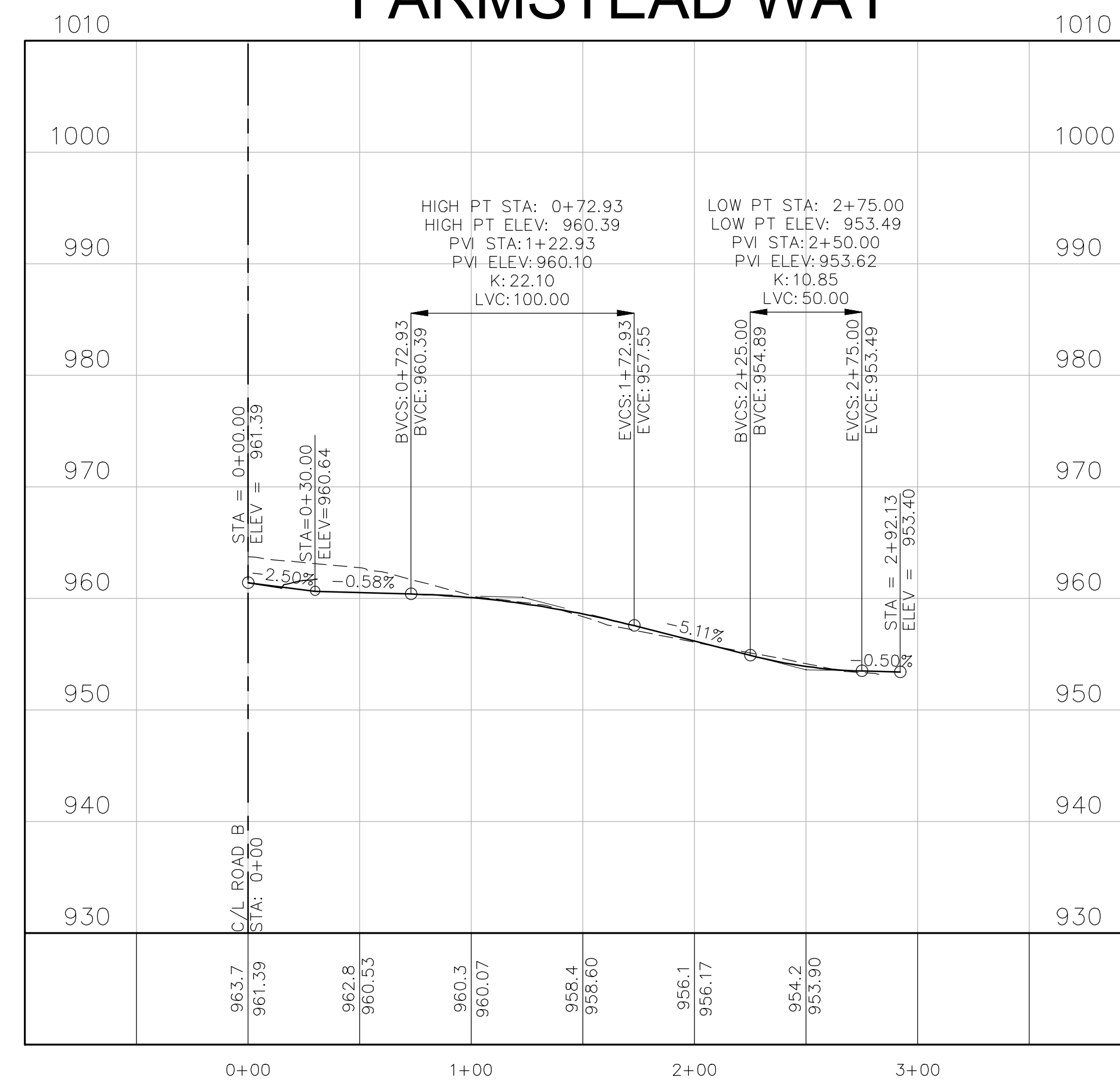
**QA/QC CHECK**  
 By: DAVE NASH  
 Date: \_\_\_\_\_

**PROJECT TEAM DATA**  
 Designed By: JP  
 Drafted By: JP  
 Project No.: 4000390

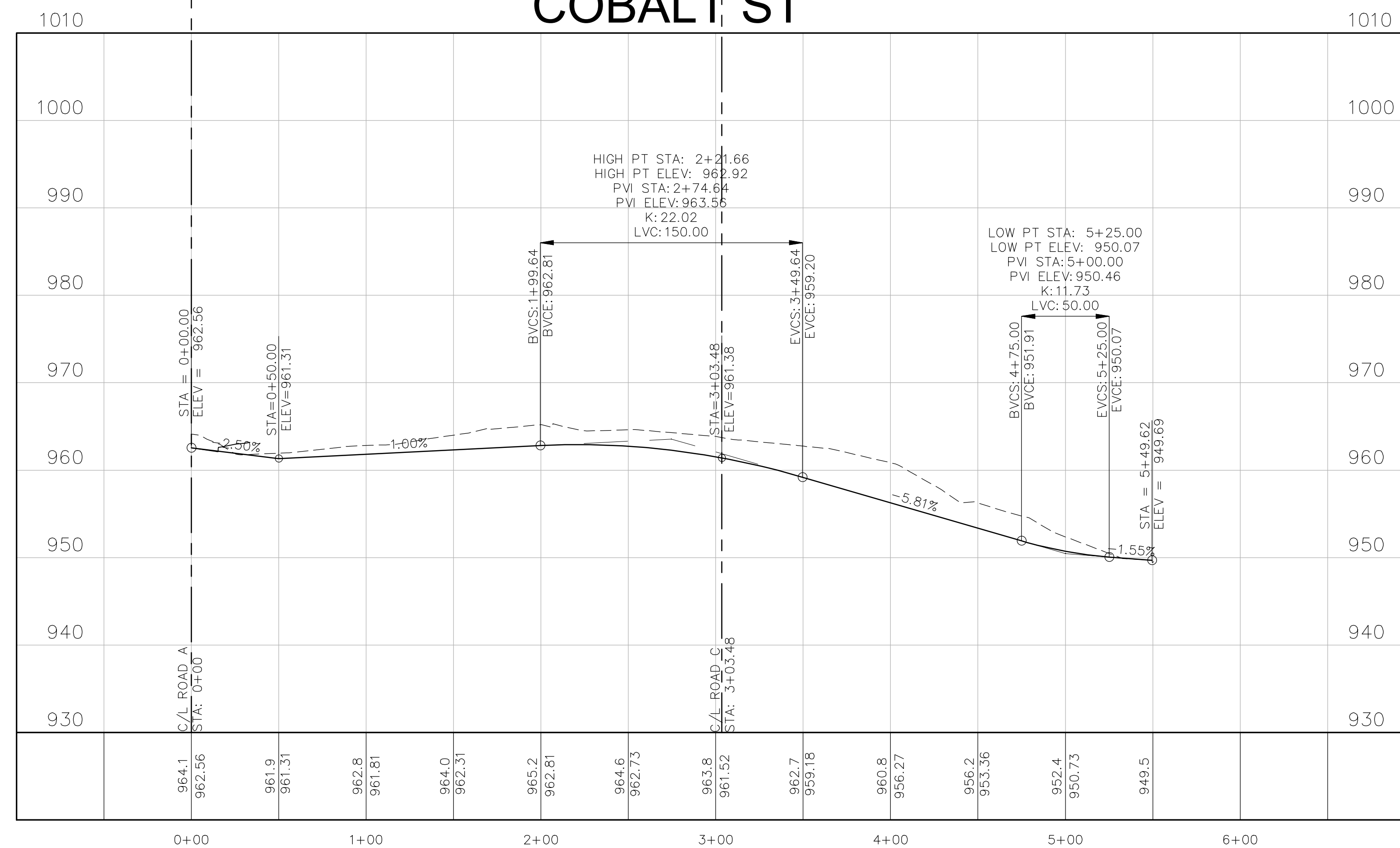
# WOOD LANE



# FARMSTEAD WAY



# COBALT ST



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**WOOD LANE VILLAS**  
ROGERS, MINNESOTA

**GRAD PROFILES**

DATE	DESCRIPTION
2/26/2025	CITY SUBMITTAL
3/26/2025	CITY RESUBMITTAL

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**PRELIMINARY**  
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DATE: 3/26/25  
By: [Signature]  
Date: 3/26/25  
License no. 21836

**QA/QC CHECK**  
By: DAVE NASH  
Date: [Blank]

**PROJECT TEAM DATA**  
Designed By: JP  
Drafted By: JP  
Project No.: 4000390

811 Know what's below. Call before you dig. Dial 811

SCALE IN FEET  
0 25 50 100

North Arrow

**UTILITY NOTES:**

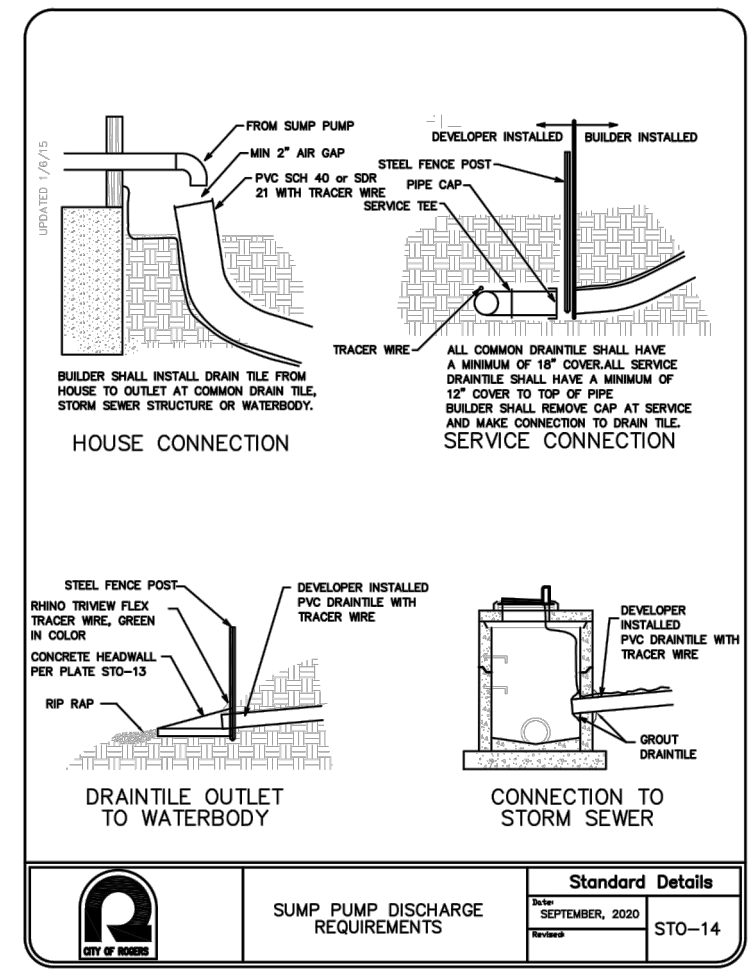
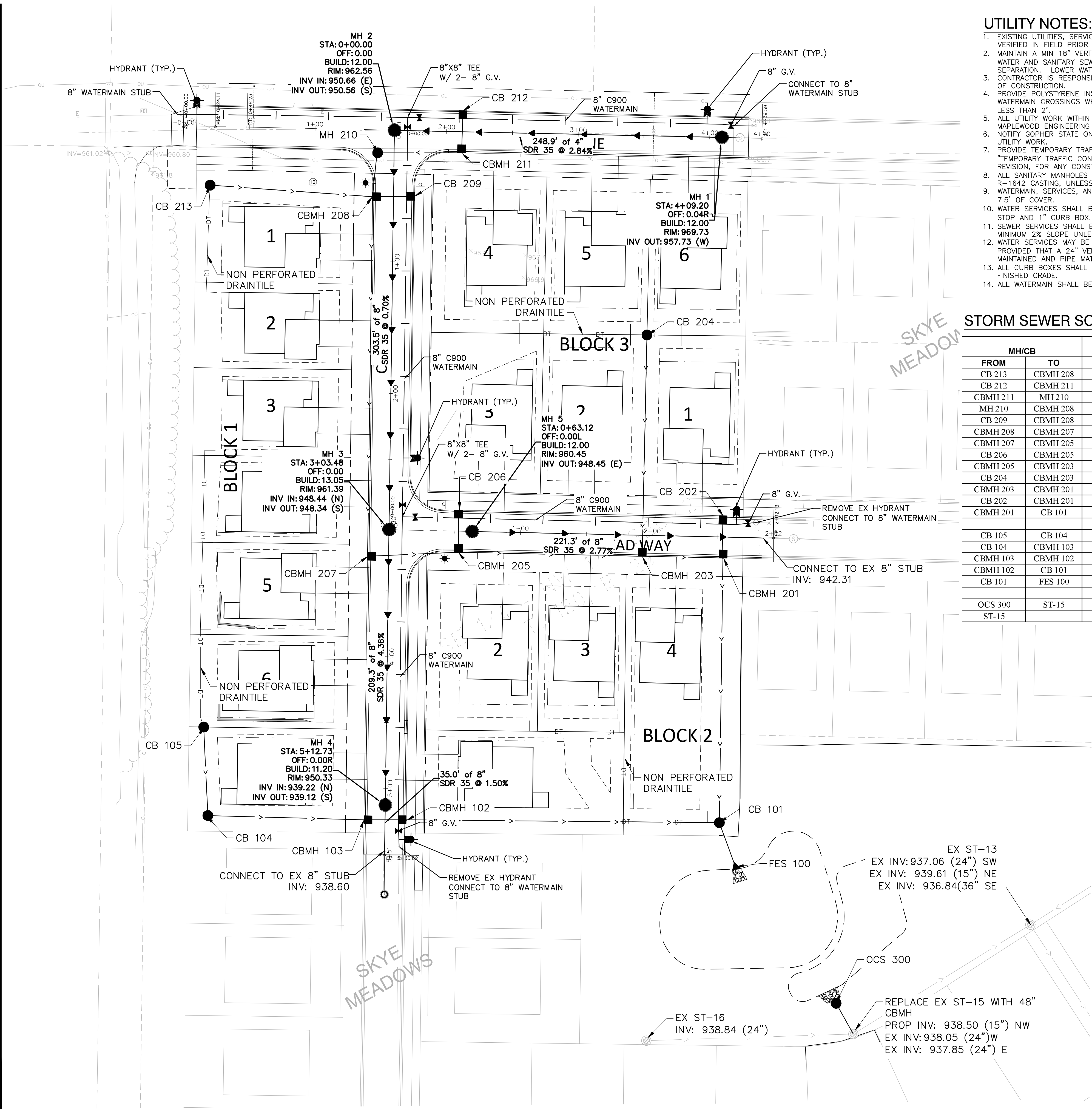
- EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- MAINTAIN A MIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS. WATER AND SANITARY SEWER LINES TO MAINTAIN 10" HORIZONTAL SEPARATION, LOWER WATERMAIN AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 2".
- ALL UTILITY WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF MAPLEWOOD ENGINEERING GUIDELINES.
- NOTIFY COPPER STATE ONE CALL 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
- PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" LATEST REVISION, FOR ANY CONSTRUCTION WITHIN PUBLIC R.O.W.
- ALL SANITARY MANHOLES TO BE 48" DIAMETER CONCRETE W/NEENAH R-1642 CASTING, UNLESS NOTED OTHERWISE.
- WATERMAIN, SERVICES, AND VALVES SHALL BE INSTALLED WITH MINIMUM 7.5" OF COVER.
- WATER SERVICES SHALL BE 1" DIA. TYPE "K" COPPER W/ 1" CORP. STOP AND 1" CURB BOX.
- SEWER SERVICES SHALL BE 4" PVC, SCH 40, SDR 26, OR SDR 35 MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS.
- WATER SERVICES MAY BE PLACED IN SAME TRENCH AS SEWER SERVICES PROVIDED THAT A 24" VERTICAL & A 36" HORIZONTAL SEPARATION ARE MAINTAINED AND PIPE MATERIALS MEET THE CITY AND BUILDING CODES.
- ALL CURB BOXES SHALL BE ADJUSTED TO AN ELEVATION OF 1" BELOW FINISHED GRADE.
- ALL WATERMAIN SHALL BE 8" C900 PVC.

**LEGEND**

- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED STORM SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED RETAINING WALL

**STORM SEWER SCHEDULE**

FROM	TO	P. DIA [IN]	P. SLOPE [FT/FT]	PIPE MAT'L	PIPE LENGTH [FT]	PIPE VEL. [FT/S]	FROM INVERT	TO INVERT	RIM ELEV.	STR. TYPE	CAST TYPE	BUILD [FT]
CB 213	CBMH 208	15	0.0033	HDPE	114.70	3.28	954.65	954.27	959.60	27"	R-4342	4.95
CB 212	CBMH 211	15	0.0033	RCP	31.99	3.02	956.99	956.88	961.94	2x3	R-3067VB	4.95
CBMH 211	MH 210	15	0.0050	RCP	64.17	3.72	956.88	956.56	961.94	48"	R-3067VB	5.06
MH 210	CBMH 208	15	0.0050	RCP	33.50	3.72	956.56	956.40	962.88	48"	R-1642	6.32
CB 209	CBMH 208	15	0.0033	RCP	31.99	3.02	955.75	955.64	960.70	2x3	R-3067VB	4.95
CBMH 208	CBMH 207	18	0.0058	RCP	273.18	4.53	954.02	952.44	960.71	48"	R-3067VB	6.69
CBMH 207	CBMH 205	18	0.0065	RCP	69.09	4.79	952.44	951.99	959.94	48"	R-3067V	7.50
CB 206	CBMH 205	15	0.0033	RCP	32.03	3.02	955.96	955.85	960.91	2x3	R-3067V	4.95
CBMH 205	CBMH 203	18	0.0070	RCP	136.66	4.97	951.99	951.03	959.91	48"	R-3067V	7.92
CB 204	CBMH 203	15	0.0033	RCP	168.14	3.02	950.53	949.98	955.23	27"	R-4342	6.70
CBMH 203	CBMH 201	18	0.0210	RCP	61.36	8.61	949.73	948.44	956.10	48"	R-3501-TR	4.37
CB 202	CBMH 201	15	0.0033	RCP	32.41	3.02	947.76	947.65	953.21	2x3	R-3067V	5.45
CBMH 201	CB 101	18	0.0250	RCP	201.15	9.40	947.40	942.37	953.19	48"	R-3067V	5.79
CB 105	CB 104	15	0.0060	HDPE	67.32	4.42	944.80	944.40	949.50	27"	R-4342	4.70
CB 104	CBMH 103	15	0.0033	RCP	118.70	3.02	944.40	944.00	948.03	48"	R-4342	3.63
CBMH 103	CBMH 102	15	0.0033	RCP	32.00	3.02	943.00	942.90	949.48	48"	R-3067V	6.48
CBMH 102	CB 101	15	0.0033	RCP	238.00	3.02	941.90	941.11	949.49	48"	R-3067V	7.59
CB 101	FES 100	27	0.0029	RCP	37.45	4.19	940.11	940.00	947.31	60"	R-4342	7.20
OCS 300	ST-15	15	0.0577	RCP	26.00	12.64	940.00	938.50	943.70	48"	OCS	3.70
ST-15							938.50	937.85	946.67	48"	R-4342	



**CITY OF ROGERS MINIMUM DRAIN TILE REQUIREMENTS**  
(REQUIREMENTS FOR ALL NEW HOMES AS OF JANUARY, 2016)

- PIPE SIZE - 4" PVC
- TYPE OF PIPE - SCH 40 OR ASTM 1185, OR SDR 21
- DEPTH OF PIPE - 12" TO TOP OF PIPE FROM FINISH GRADE
- TRACER WIRE - MINIMUM GAUGE #12 COPPERHEAD COPPER CLAD STEEL TRACER WIRE, GREEN IN COLOR.

**NOTE:** ALL STORM SEWER PIPE CROSSINGS THAT PENETRATE THE TYPICAL SECTION SHALL INCLUDE DRAIN TILE THAT RUNS PARALLEL TO THE CROSSING. THIS DRAIN TILE SHALL BE INSTALLED PARALLEL TO AND BE PLACED AT THE BOTTOM OF THE PIPE TRENCH.

**NOTE:** CORRECT FITTINGS MUST BE USED WITH ALL PIPE. NO TAPPING OR SPLINGING WILL BE ACCEPTED. A TRACER WIRE SHALL BE INSTALLED ALONG WITH THE PIPE. THIS WIRE MUST BE COPPERHEAD #12 AND OCS #1230HS COMPLYING WITH ASTM-D-1248, 30 VOLT RATING BE EXPOSED A MINIMUM LENGTH OF 12 INCHES AT THE HOUSE AND SHALL DEAD END AT THE CONNECTION OR TILE DISCHARGE. NO WIRE SHALL BE ACCEPTED EXCEPT AS SPECIFIED ABOVE.

**NOTE:** THE TRENCH MUST BE LEFT OPEN AT ALL CONNECTIONS FOR INSPECTION PURPOSES. IF A TILE LINE IS TO DEAD END INTO A POND OR NET LAND A FENCE POST SHALL CLEARLY MARK ITS END. ALL INSPECTIONS SHALL REQUIRE A 24 HOUR NOTICE. ALL TRENCHES MUST BE BACK FILLED WITHIN 24 HOURS. IT IS RECOMMENDED THAT A REPRESENTATIVE OF THE BUILDER BE PRESENT AT ALL INSPECTIONS.

	Standard Details
SUMP PUMP DISCHARGE REQUIREMENTS	STO-14A

**DESCRIPTION**  
CITY SUBMITTAL  
CITY RESUBMITTAL

**DATE**  
2/26/2025  
3/26/2025

**CERTIFICATION**  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
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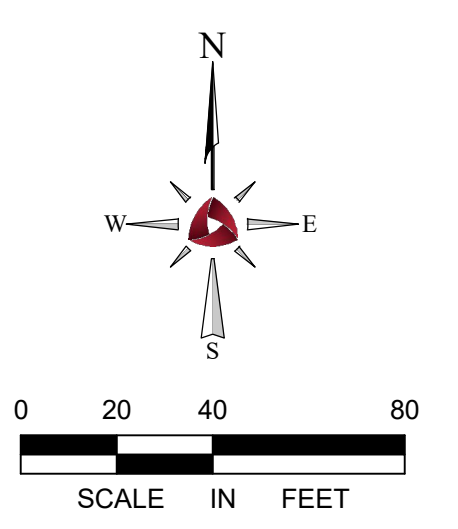
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**QA/QC CHECK**  
DAVE NASH  
By: \_\_\_\_\_ Date: \_\_\_\_\_

**PROJECT TEAM DATA**  
Designed By: JP  
Drafted By: JP  
Project No.: 4000390



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### LANDSCAPE REQUIREMENTS:

-ALL OPEN AREAS OF DEVELOPED LOTS WHICH ARE NOT DEVOTED TO BUILDINGS, PATIOS, OFF-STREET PARKING, LOADING AND DRIVING AREAS SHALL BE IRRIGATED AND LANDSCAPED WITH GRASS, GROUNDCOVER, TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL.

REQUIRED TREES: 21 LOT TREES (1 PER LOT, 2 PER CORNER LOT)

PROPOSED: 21 TREES

### PLANTING NOTES:

- INSTALL 4" MIN. TOP SOIL TO ALL SOD AND SEED AREAS. FINE GRADE ALL SOD AND SEED AREAS.
- STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- INSTALL 4-6" DEPTH SHREDED HARDWOOD MULCH AROUND ROOT SAUCER OF ALL TREES ISOLATED FROM PLANT BEDS.
- PLANTING SOIL SHALL CONSIST OF 1:1:1 SELECT LOAMY TOPSOIL, PEAT MOSS, PIT RUN SAND.
- COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERMEN.
- ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
- CALL GOPHER STATE ONE CALL AT 651-454-0002 FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK.
- MAINTAIN ALL PLANT MATERIALS, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE.
- COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- STAKING AND GUYING OF TREES OPTIONAL; MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
- BLEND AREAS OF CONSTRUCTION LIMITS AT PROPERTY LINES.
- CONTRACTOR TO SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION PLAN WITH 100% COVERAGE FOR DESIGNED SOD AND SHRUB AREAS. SOD AND SHRUB AREAS TO BE ON SEPARATE ZONES. USE RAIN BIRD OR APPROVED EQUAL. INSTALL SEPARATE METER FOR IRRIGATION SYSTEM. COORDINATE WITH GENERAL CONTRACTOR. NATIVE SEED AREAS SHALL BE ON SEPARATE ZONES. IRRIGATION RUN TIMES IN SEEDED AREAS SHOULD BE REDUCED FOR THE ZONE SHUTS DOWN AFTER THE FIRST 2 YEARS OF ESTABLISHMENT.
- SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- GENERAL CONTRACTOR SHALL FOLLOW THE COUNTY/STATE SOIL & EROSION CONTROL SPECIFICATION FOR DISTURBED AREA STABILIZATION.

### LANDSCAPE SCHEDULE:

TOTAL	KEY	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE / ROOT TYPE	NOTES
<b>DECIDUOUS OVERSTORY TREES</b>					
5	CH	Common Hackberry	Celtis occidentalis	2.5" cal. B&B	Straight Trunk, No V-Crotch
5	HL	Skyline Honeylocust	Gleditsia tricanthos 'Skycole'	2.5" cal. B&B	Straight Trunk, No V-Crotch
5	NF	Northern Flare Maple	Acer saccharum 'sisseton'	2.5" cal. B&B	Straight Trunk, No V-Crotch
6	RO	Red Oak	Quercus rubra	2.5" cal. B&B	Straight Trunk, No V-Crotch

Note: - Quantities on plan supersede list quantities in a discrepancy.

### SEEDING NOTES

**TURF SEED MIX:** MN STATE SEED MIX 25-131 (LOW MAINTENANCE TURF MIX) SEEDING RATE TO BE 220 LBS/ACRE (PURE LIVE SEED)

**POND SIDE SLOPE SEED MIX:** MN STATE SEED MIX 33-261 (STORM WATER NORTHEAST MIX). SEEDING RATE TO BE 35 LBS/ACRE.

**APPLY SEED PER THE FOLLOWING:** MULCH SEEDED AREAS WITH MNDOT TYPE 3 (MCIA CERTIFIED WEED FREE) MULCH AT A RATE OF 1 TON PER ACRE WITHIN 48 HOURS OF SEEDING. MULCH SHOULD THEN BE DISC ANCHORED TO KEEP IT FROM BLOWING AWAY.

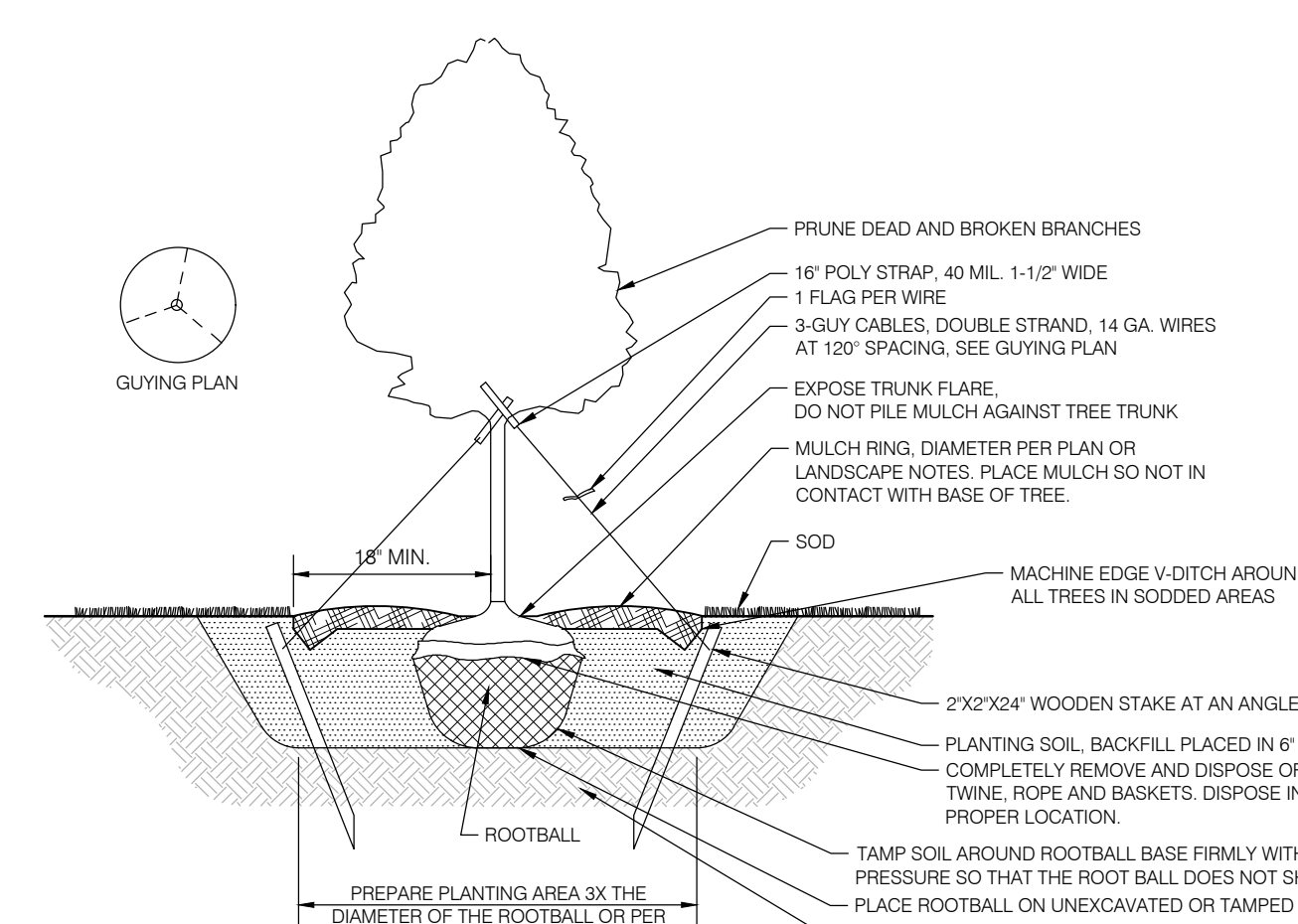
SEEDING SHALL BE APPLIED FROM APRIL 1 - JUNE 30 OR NOV. 1 - FREEZE UP. IF HYDROSEEDING UTILIZE APPROXIMATELY 500 GALLONS OF WATER PER ACRE. REFER TO MN/DOT SPEC 3884 FOR PROPER INSTALLATION OF HYDRO-SEED. ALL NATIVE SEEDS USED ON THIS PROJECT SHALL BE CERTIFIED TO BE OF MINNESOTA ORIGIN BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MCIA). SITE TO BE PREPARED BY LOOSENING TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES. THE SITE TO BE HARROWED OR RAKED FOLLOWING SEEDING, AND THEN PACKED USING A CULTI-PACKER OR EQUIVALENT. SEE MNDOT SEEDING MANUAL FOR REFERENCE.

MAINTAIN SEEDED AREAS BY WATERING, REMULCHING AND REPLANTING AS NECESSARY TO ESTABLISH A UNIFORMLY DENSE STAND OF THE SPECIFIED GRASSES UNTIL ACCEPTED. ANY AREAS FAILING TO ESTABLISH A STAND SHALL BE RESEED, REFERTILIZED AND REMULCHED (UNLESS OTHERWISE SPECIFIED) WHENEVER 70% VEGETATIVE COVER IS NOT ACHIEVED. RESEEDING SHALL CONFORM IN ALL RESPECTS TO THESE SPECIFICATIONS. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE WORK AREAS RESULTING FROM EROSION AND/OR EQUIPMENT. THE CONTRACTOR SHALL REPAIR DAMAGE, INCLUDING REGRADING, RESEEDING, ETC. AS NECESSARY, BEFORE SIGNIFICANT DAMAGE OCCURS.

REFER TO MN STATE SEED MIX MANUAL. REFER TO O&M DOCUMENT FOR FURTHER DETAILS REGARDING INSPECTION AND MAINTENANCE PRACTICES.

### LEGEND:

- OVERSTORY DECIDUOUS TREES
- CONIFEROUS TREES
- TURFSEED MIX (MN STATE MIX 25-131)
- POND SIDE SLOPE SEED MIX (MN STATE MIX 33-261)



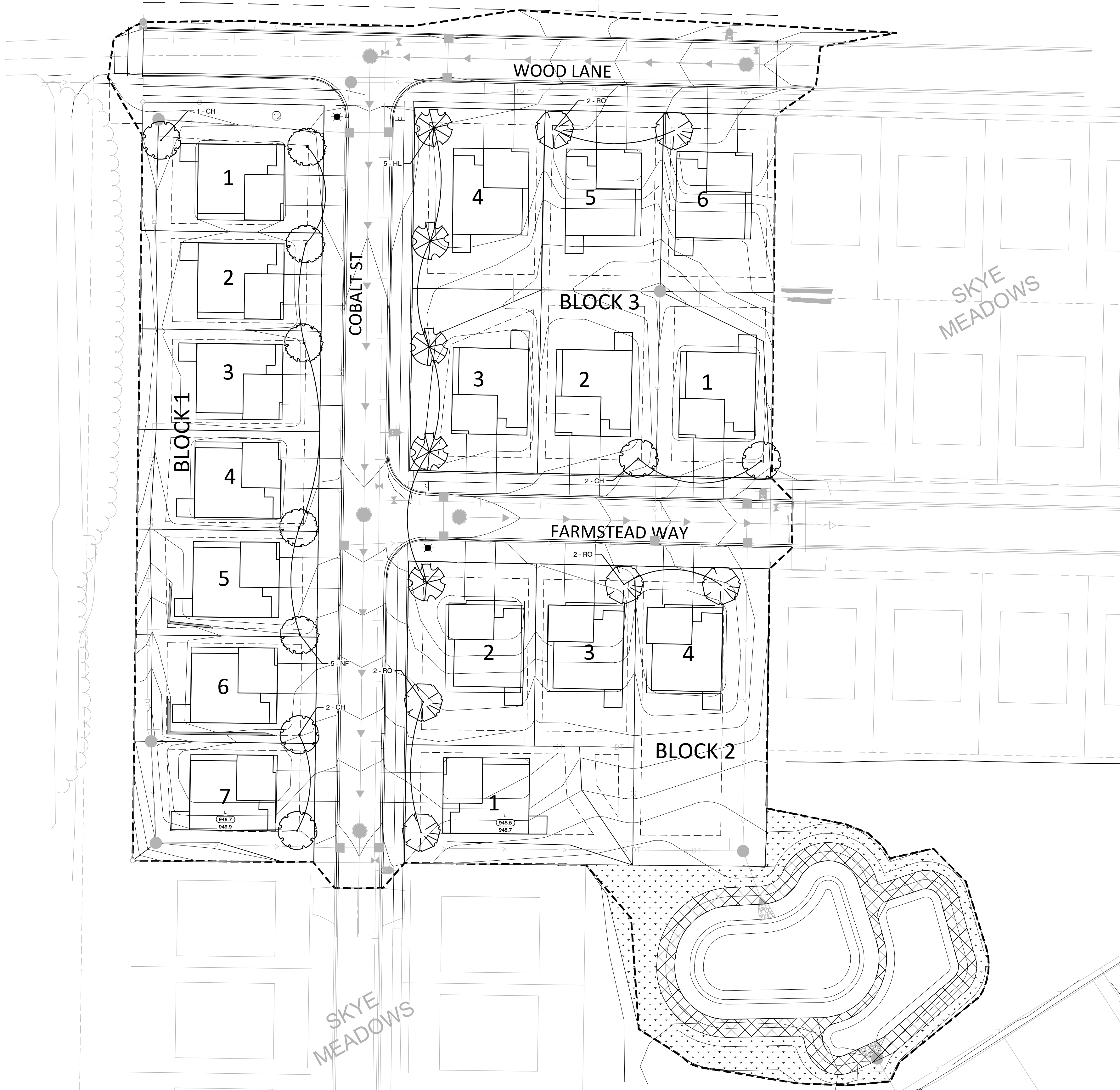
- NOTES:
- TREE STAKING IS OPTIONAL.
  - DO NOT PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES.
  - FOR TREES IN CONTAINERS, REMOVE CONTAINER PRIOR TO PLANTING. FOR BARE ROOT TREES, PLACE TREE IN MIDDLE OF PLANTING HOLE. SPREAD ROOTS OUT RADIALLY FROM THE TRUNK AROUND THE PREPARED HOLE.

### 1 TREE PLANTING

NOT TO SCALE



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WOOD LANE VILLAS  
ROGERS, MINNESOTA

LANDSCAPE PLAN

DATE	DESCRIPTION
2/26/2025	CITY SUBMITTAL
3/26/2025	CITY RESUBMITTAL

**CERTIFICATION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed and in good standing Landscape Architect for the State of Minnesota.

**PRELIMINARY**

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NOT FOR CONSTRUCTION

Project No.: 4000390

License no.: 59233

Date: \_\_\_\_\_

**QA/QC CHECK**

By: \_\_\_\_\_ Date: \_\_\_\_\_

**PROJECT TEAM DATA**

Designed By: \_\_\_\_\_

Drafted By: TLM

Project No.: 4000390



# MAJESTIC

OPEN FLOOR PLAN. 3 BEDROOMS. 2 BATHROOMS.



**2121 SF**

+ 196 SF SUNROOM

+ 224 SF 3-SEASON PORCH

**2541 SF**

+ 78 SF FRONT PORCH

+ 878 SF GARAGE

**3497 Square Feet Total Under Roof**

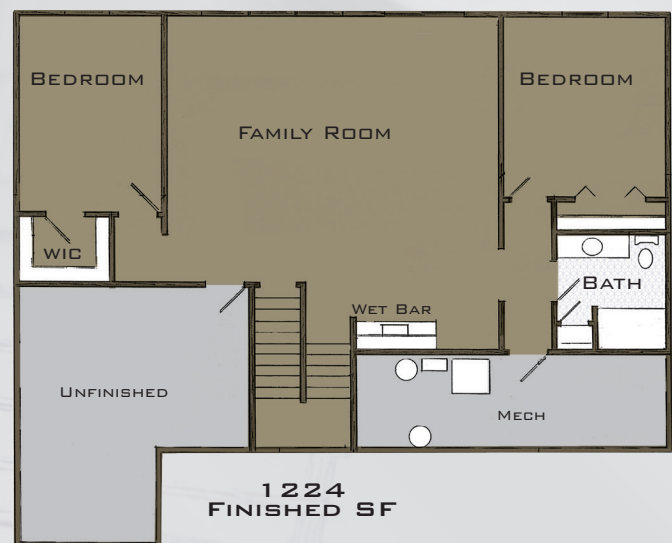
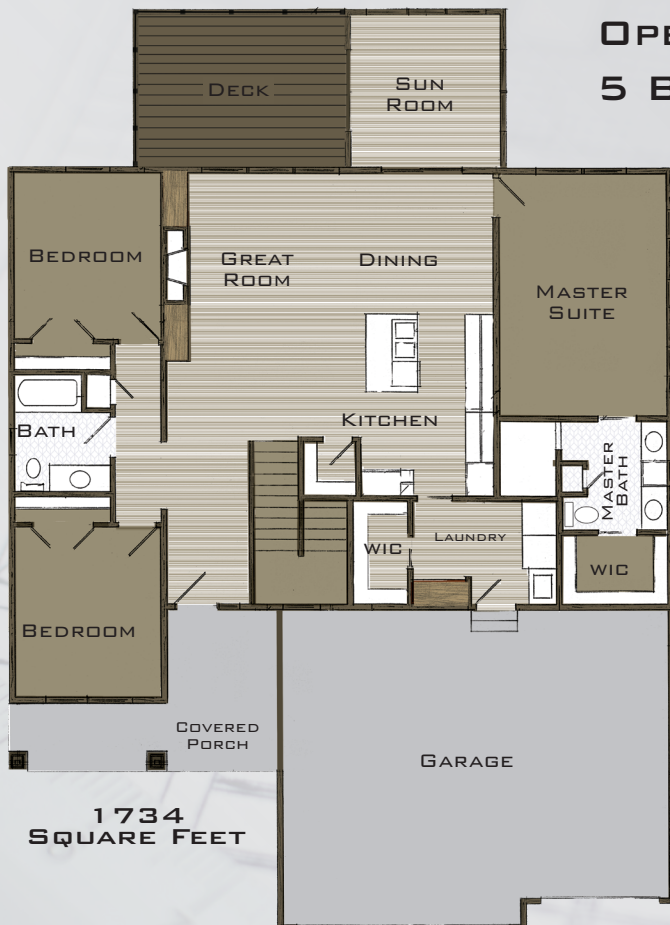


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# MADISON

**OPEN FLOOR PLAN.  
5 BEDROOMS. 3 BATHROOMS.**



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## STAFF REPORT

### ROGERS PLANNING COMMISSION

Meeting Date: May 5, 2025

Agenda Item: 4.2

**Subject:** Consideration of the Main Street Center 2nd Addition Preliminary and Final Plat by Duffy Development (Main Street Senior Affordable Development)

**Prepared By:** Brett Angell, Community Development Director

---

### Recommended Council Action

#### Overview / Background / Analysis

Beginning in 2019, the City of Rogers began conversations with Duffy Development related to the redevelopment of the former Senior Center and city-owned properties at 13001 Main Street. On January 24th, 2023, the city approved the site plan for the mixed-use development which featured a new 40-unit senior affordable apartment building with commercial space and a public senior center. Since the time of approval of the site plan (and the time leading up to the site plan approval), city staff have worked extensively with Duffy Development to ensure the site design meets all requirements. The proposed request is a preliminary and final plat related to the previously approved development and adjustment of lot lines around the Canfield property.

#### Subject Property

The property, PIDs 2312023240051 and 2312023240050, is approximately 2.27 acres in size and located along Main Street and John Deere Blvd. The property was previously multiple properties but was re-platted under the Main Street Center Addition plat as two parcels to make way for the proposed development and sales. Lot 1, Block 1, Main Street Center is the former Canfield building which was sold to W&W properties previously. Lot 2, Block 1, Main Street Center is the property on which the Duffy development is proposing to take place. The properties are zoned and guided as Downtown Mixed-Use.

#### Proposed Plat

The Main Street Center 2nd Addition proposed plat would re-plat the existing two parcels and create three (3) lots and one outlot (all under Block 1). Lot 1 would be the former Canfield building with minor adjustments to the lot lines to incorporate the existing conditions into the lot. Lot 2 would be the senior apartments and senior center building and a portion of the parking area. Lot 3 would be the future commercial use. Outlot A would be the alley and a portion of the parking lot which would be deeded to the city in the future for the purposes of public parking. The requirement for the re-plat ties to the developer's lender requirements and what is eligible for funding from each funding source.

There are no proposed changes to the development as part of the preliminary and final plat request.

**Staff Recommendation**

Motion to open the public hearing on the proposed preliminary plat.

Motion to recommend approval of the Main Street Center 2nd Addition preliminary and final plat, subject to the conditions as listed in the draft resolution.

*A draft of Resolution 2025-34 is included with this item.*

**Financial Impact:** Not Applicable.                      **Source Fund:** Not Applicable.

**Budgeted?** N/A

**Supporting Documentation**

- A. Draft Resolution No. 2025-34 Main Street Center
- B. Location Map
- C. Main Street Center 2nd Addition Preliminary Plat
- D. Main Street Center 2nd Addition Final Plat
- E. Simplified Plat Exhibit

**RESOLUTION NO. 2025-34**

**A RESOLUTION GRANTING APPROVAL OF THE  
PRELIMINARY AND FINAL PLAT FOR  
MAIN STREET CENTER 2<sup>ND</sup> ADDITION**

**WHEREAS**, the Duffy Development (“Applicant”) submitted an application requesting approval of a Preliminary Plat and Final Plat for Main Street Center 2<sup>nd</sup> Addition (“Plat”) for the parcels at 13001 Main Street and 12905 Main Street with the PIDs 2312023240050 and 2312023240051 and legally described on Exhibit A (the “Subject Property/Property”); and,

**WHEREAS**, the Applicant is proposing to replat the property into three (3) lots and one outlot to accommodate future development of the area as shown in Exhibit B; and,

**WHEREAS**, the Subject Property contains approximately 2.27 acres is guided as Downtown Mixed Use in the 2040 Comprehensive Plan and within the Downtown (DT) zoning district; and

**WHEREAS**, the proposed Preliminary Plat and Final Plat are consistent with 2040 Comprehensive Plan and current zoning regulations for the City; and

**WHEREAS**, pursuant to Minnesota Statute §462.357 the Planning Commission (“Commission”) conducted a public hearing to receive public comment on the proposed Plat on April 5th, 2025; and

**WHEREAS**, notice of the Hearing was posted, published in the City’s official newspaper, and mailed to nearby properties, as required by State Statute; and,

**WHEREAS**, written and verbal comment were received and considered by the Commission; and,

**WHEREAS**, following the Hearing, the Commission recommended approval of the Main Street Center 2<sup>nd</sup> Addition preliminary and final plat.

**NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA**, that the Preliminary Plat and Final Plat for Main Street Center 2<sup>nd</sup> Addition is hereby approved subject to the following conditions:

1. Subject to the review and revisions as deemed necessary from the City of Rogers Engineering and Community Development Departments.
2. The Applicant shall comply with the plat opinion and complete revisions to the Plat as may be required by the City Attorney prior to the recording of the plat.
3. Subject to the review and comments by Hennepin County.

Moved by Councilmember \_\_\_\_\_, seconded by Councilmember \_\_\_\_\_

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 13<sup>th</sup> day of May, 2025.

---

Shannon Klick, Mayor

ATTEST:

---

Stacie Brown, City Clerk

**EXHIBIT A**

**LEGAL DESCRIPTION**

Existing Legal Description

Lot 1, Block 1, Uptown Rogers Addition, Hennepin County, Minnesota

AND

Outlot A, Uptown Rogers 2<sup>nd</sup> Addition, Hennepin County, Minnesota

AND

Lot 1, Block 1, Uptown Rogers 2<sup>nd</sup> Addition, Hennepin County, Minnesota

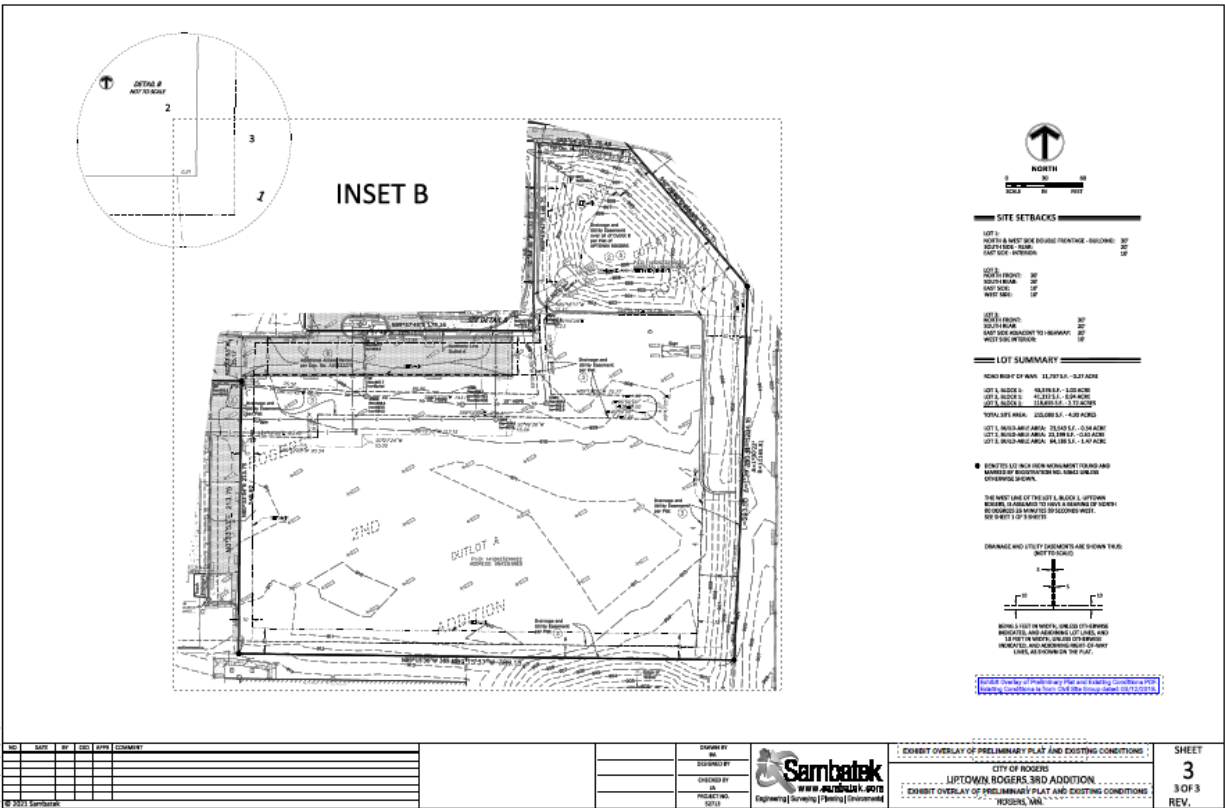
AND

Outlot B, Uptown Rogers Addition, Hennepin County, Minnesota

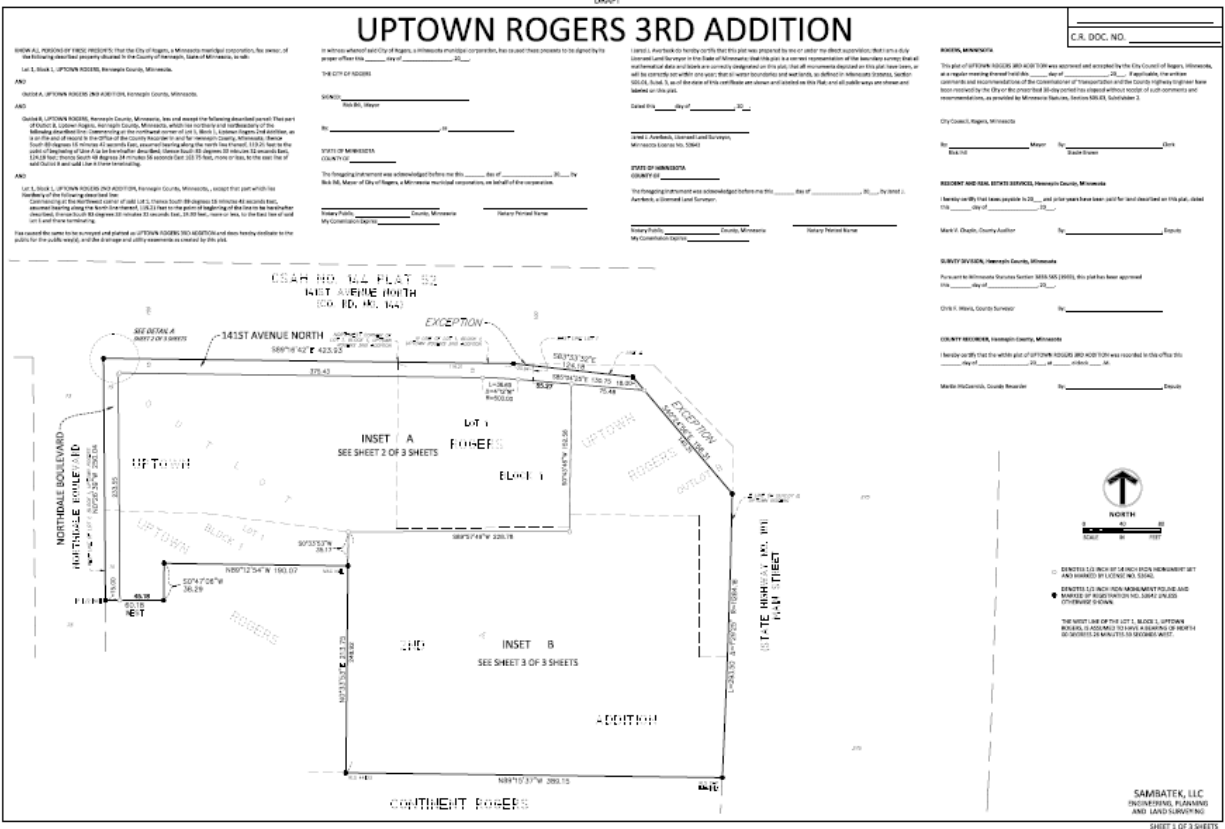
Proposed Legal Description

UPTOWN ROGERS 3<sup>rd</sup> ADDITION, Hennepin County, Minnesota, according to the plat thereof.





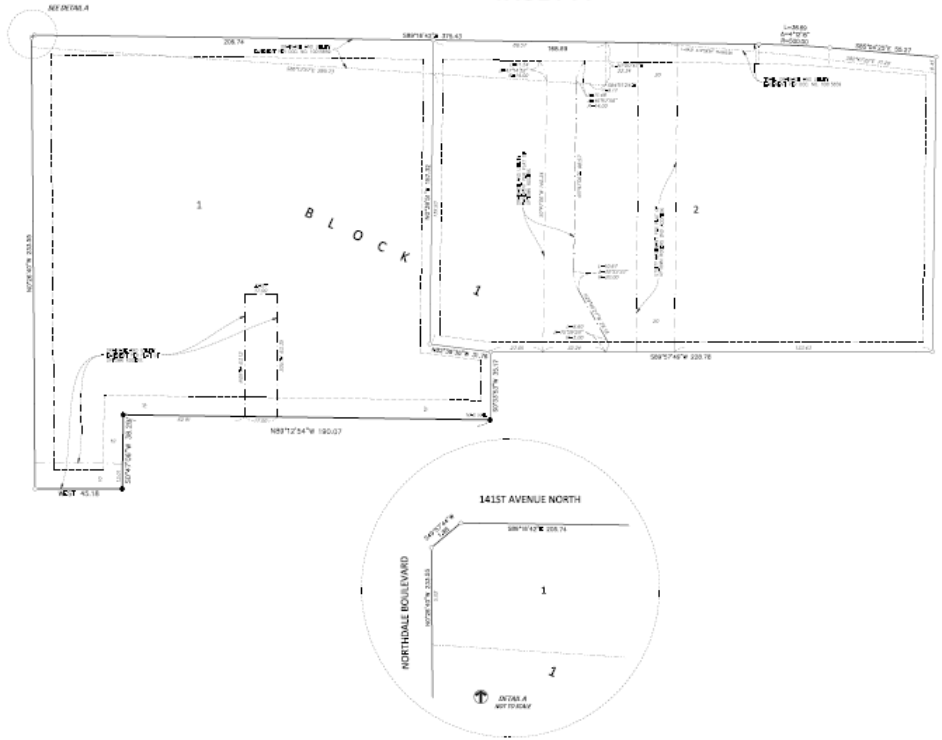
**FINAL PLAT**



DRAFT

# UPTOWN ROGERS 3RD ADDITION INSET A

C.R. DOC. NO. \_\_\_\_\_



○ EXISTING 1/2" RICH IRON MONUMENT SET AND FINISHED BY LINDSAY W. STONE

● EXISTING 1/2" RICH IRON MONUMENT POLICE AND FINISHED BY LINDSAY W. STONE (UNLESS OTHERWISE SHOWN)

THE WEST LINE OF THE LOT 1, BLOCK 1, UPTOWN WHEELS IS DESIGNATED TO BE A BOUNDARY OF NORTH QUARTER SECTION 28 AND TO BE SECURED AS SET BY SHEET 2 OF 3 SHEETS

SEWER AND UTILITY SUBSTRUCTS ARE SHOWN THIS PLAN TO SCALE

SEWER LINE IN NORTH QUARTER SECTION 28 INDICATED AND LOCATION OF UTILITY LINE SHEET IN NORTH QUARTER SECTION 28 INDICATED AND LOCATION OF UTILITY LINE AS SHOWN ON THE PLAN

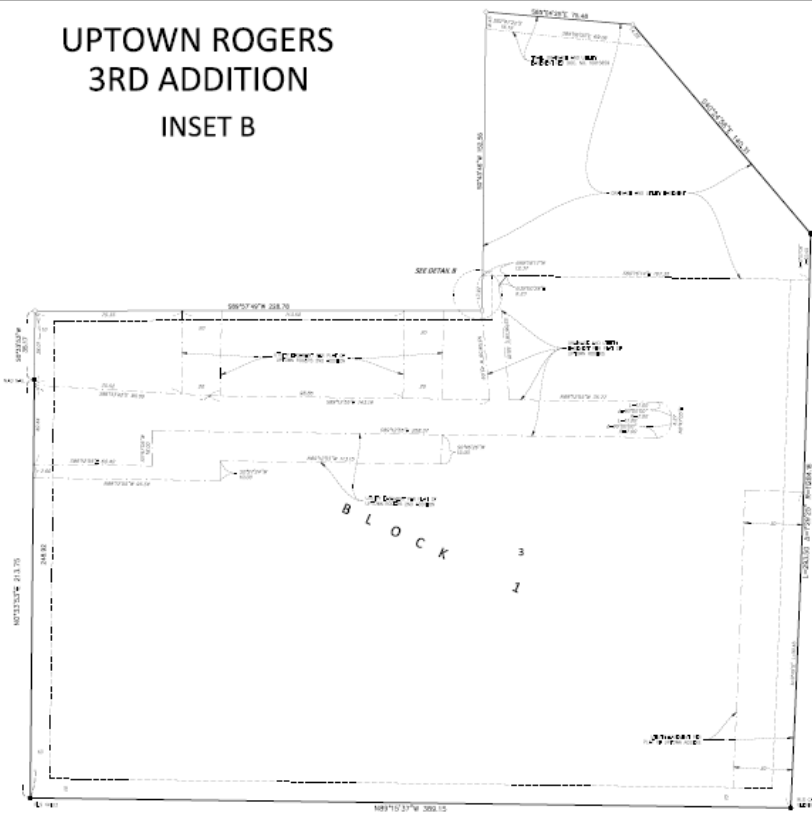
SAMBATEK, LLC  
ENGINEERING, PLANNING  
AND LAND SURVEYING

SHEET 2 OF 3 SHEETS

DRAFT

# UPTOWN ROGERS 3RD ADDITION INSET B

C.R. DOC. NO. \_\_\_\_\_



○ EXISTING 1/2" RICH IRON MONUMENT SET AND FINISHED BY LINDSAY W. STONE

● EXISTING 1/2" RICH IRON MONUMENT POLICE AND FINISHED BY LINDSAY W. STONE (UNLESS OTHERWISE SHOWN)

THE WEST LINE OF THE LOT 1, BLOCK 1, UPTOWN WHEELS IS DESIGNATED TO BE A BOUNDARY OF NORTH QUARTER SECTION 28 AND TO BE SECURED AS SET BY SHEET 2 OF 3 SHEETS

SEWER AND UTILITY SUBSTRUCTS ARE SHOWN THIS PLAN TO SCALE

SEWER LINE IN NORTH QUARTER SECTION 28 INDICATED AND LOCATION OF UTILITY LINE SHEET IN NORTH QUARTER SECTION 28 INDICATED AND LOCATION OF UTILITY LINE AS SHOWN ON THE PLAN

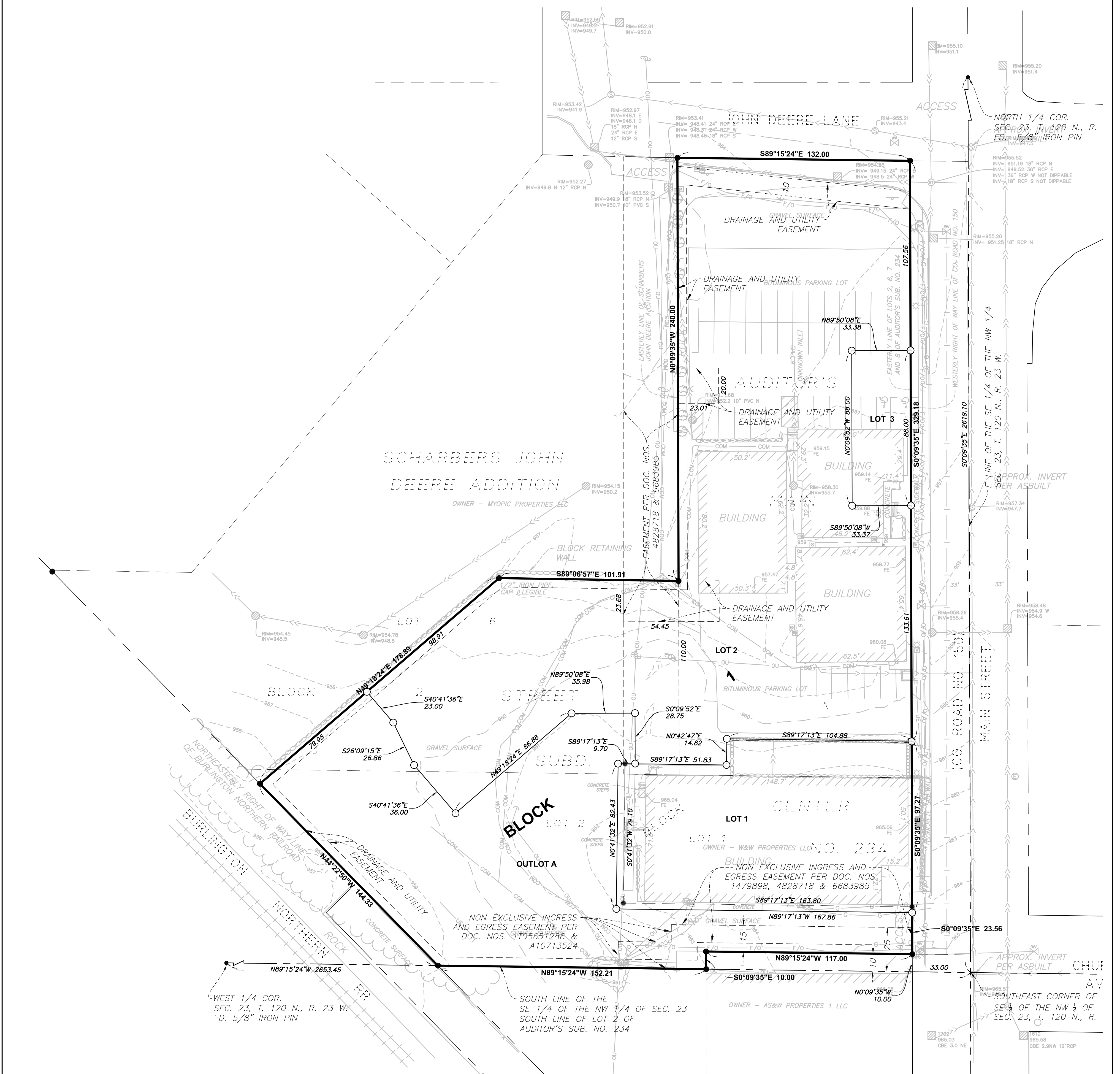
SAMBATEK, LLC  
ENGINEERING, PLANNING  
AND LAND SURVEYING

SHEET 3 OF 3 SHEETS



# LOCATION MAP





# PRELIMINARY PLAT OF MAIN STREET CENTER 2ND ADDITION

## LEGAL DESCRIPTION OF PROPERTY TO BE PLATTED

Lot 2 and Lot 1, Block 1, Main Street Center, Hennepin County, Minnesota.

Abstract and Torrens Property

## PRESENT ADDRESS

THE SUBJECT PROPERTY ADDRESS:  
ADDRESS PENDING, ROGERS, MN 55374  
PROPERTY IDS - 2312023240051, 2312023240050

## TAXPAYER / PROPERTY OWNER

DUFFY DEVELOPMENT COMPANY, INC. (PID 2312023240051)  
W&W PROPERTIES, LLC (PID 2312023240050)

## LAND SURVEYOR

STANTEC  
2080 WOODDALE DRIVE, SUITE 100  
WOODBURY, MN 55125  
KYLE A. DOMEK  
MN. LICENSE NUMBER 62734

## DATE OF PRELIMINARY PLAT

APRIL 22, 2025

## PLATTED AREAS

GROSS LAND AREA TO BE PLATTED = 98,741.23± OR 2.27 ± ACRES  
LOT 1, BLOCK 1 = 15,301.56± S.F. OR 0.35± ACRES  
LOT 2, BLOCK 1 = 55,773.88± S.F. OR 1.28± ACRES  
LOT 3, BLOCK 1 = 2,936.74± S.F. OR 0.07± ACRES  
OUTLOT A, BLOCK 1 = 24,729.05± S.F. OR 0.57± ACRES  
DEDICATED RIGHT-OF WAY = 0± S.F. OR 0± ACRES

## SURVEYORS CERTIFICATION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

## LEGEND

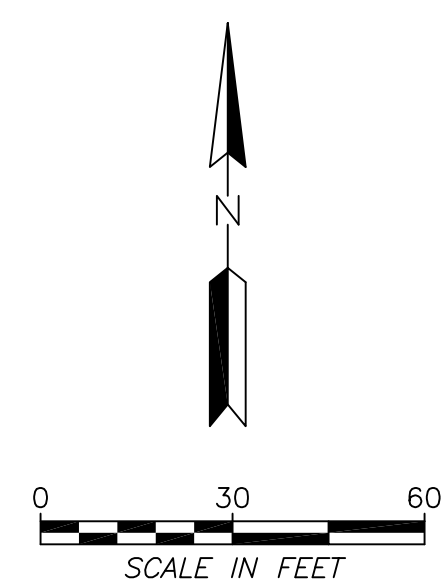
- |                                                                                                                        |                          |                            |                                        |
|------------------------------------------------------------------------------------------------------------------------|--------------------------|----------------------------|----------------------------------------|
| ● FOUND 3/4" IRON PIPE WITH PLASTIC CAP 43055 UNLESS OTHERWISE NOTED                                                   | ⊠ ELECTRIC METER         | ⊠ HAND HOLE                | — X — FENCE LINE                       |
| ○ DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET WITH PLASTIC CAP MARKED BY LICENSE NO. 62734 UNLESS OTHERWISE INDICATED | ⊠ ELECTRIC TRANSFORMER   | ⊠ IRRIGATION CONTROL VALVE | — >> — STORM SEWER                     |
| ⊙ SANITARY SEWER MANHOLE                                                                                               | — TRAFFIC SIGN           | ⊙ DECIDUOUS TREE           | — > — SANITARY SEWER                   |
| ⊙ STORM SEWER MANHOLE                                                                                                  | • BOLLARD/POST           | ⊙ WATER VALVE              | —   — WATERMAIN                        |
| ⊙ STORM SEWER INLET                                                                                                    | ⊙ UTILITY POLE           | ⊙ GAS METER                | — G — UNDERGROUND GAS LINE             |
| ⊙ STORM SEWER INLET HYDRANT                                                                                            | ⊙ ANCHOR CABLE           | ⊙ COMMUNICATIONS PEDESTAL  | — COM — UNDERGROUND COMMUNICATION LINE |
| ⊙ AUTO SPRINKLER                                                                                                       | ⊙ LIGHT POLE             | ⊙ ELECTRIC MANHOLE         | — OU — OVERHEAD UTILITY LINE           |
|                                                                                                                        | ⊙ HANDICAP PARKING SPACE | ⊙ DECORATIVE LIGHT         | —   — TREE LINE                        |
|                                                                                                                        |                          | ⊙ MAILBOX                  | ▨ BUILDING                             |

## LEGEND

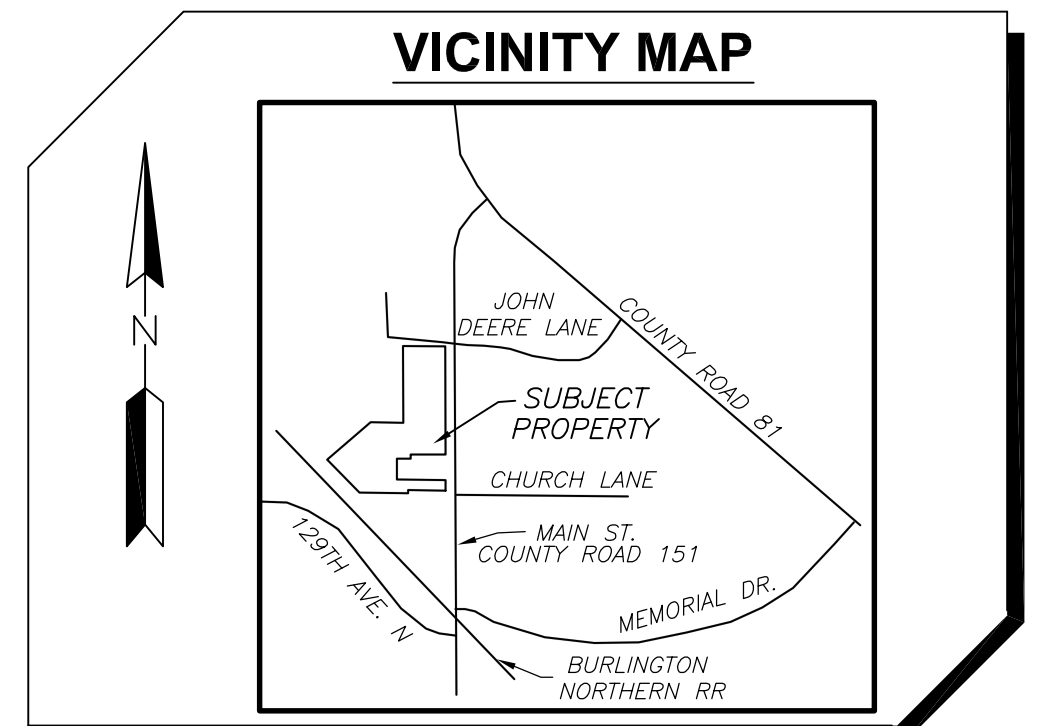
- DENOTES IRON MONUMENT FOUND
- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET WITH PLASTIC CAP MARKED BY LICENSE NO. 62734 UNLESS OTHERWISE INDICATED

## GENERAL NOTES

1. Bearings shown hereon are based on the Hennepin County Coordinate System relative to the NAD83(11) control adjustment.
2. Elevations and contours shown hereon were established with GPS and are relative to the NAVD88 vertical datum.



## VICINITY MAP



DRAFT COPY

4/22/2025

Kyle A. Domek  
MN LS 62734

Date



CLIENT NAME

DUFFY DEVELOPMENT  
COMPANY, INC.

PROJECT TITLE

PRELIMINARY PLAT

DWN BY KAD	CHK'D JRN	APP'D KAD	DWG DATE SCALE	SEE CERT. SEE SCALE BAR
---------------	--------------	--------------	-------------------	----------------------------

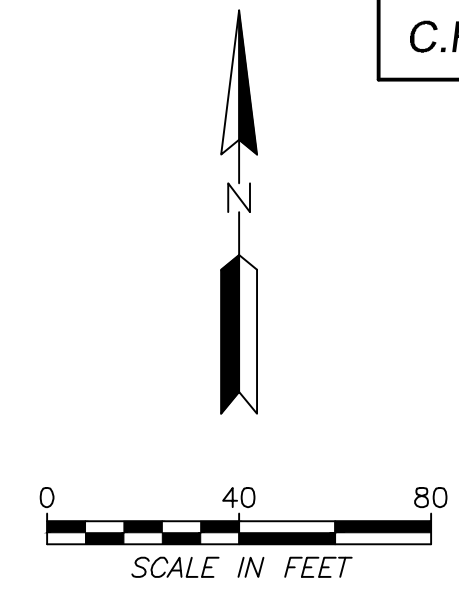
PROJECT NO.  
193804938

SHEET NO.  
1 OF 1

# MAIN STREET CENTER 2ND ADDITION

R.T. DOC. NO. \_\_\_\_\_

C.R. DOC. NO. \_\_\_\_\_



KNOW ALL PERSONS BY THESE PRESENTS: That W&W Properties, LLC, a Minnesota limited liability company, owner of the following described property situated in the County of Hennepin, State of Minnesota to wit:

Lot 1, Block 1, Main Street Center, Hennepin County, Minnesota.

Abstract and Torrens Property

Has caused the same to be surveyed and platted as MAIN STREET CENTER 2ND ADDITION and does hereby dedicate to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said W&W Properties, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: W&W Properties, LLC

By: \_\_\_\_\_ Its: Chief Manager

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_, the Chief Manager of W&W Properties, LLC, a Minnesota limited liability company, on behalf of the company.

(Notary's Signature) (Notary's Name Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My Commission Expires: \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS: That Duffy Development Company, Inc., a Minnesota limited liability company, owner of the following described property situated in the County of Hennepin, State of Minnesota to wit:

Lot 2, Block 1, Main Street Center, Hennepin County, Minnesota.

Abstract and Torrens Property

Has caused the same to be surveyed and platted as MAIN STREET CENTER 2ND ADDITION and does hereby dedicate to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said Duffy Development Company, Inc., a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: Duffy Development Company, Inc.

By: \_\_\_\_\_ Its: President

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_, the President of Duffy Development Company, Inc., a Minnesota limited liability company, on behalf of the company.

(Notary's Signature) (Notary's Name Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My Commission Expires: \_\_\_\_\_

**SURVEYOR CERTIFICATE**

I Kyle A. Domek do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Kyle A. Domek, Licensed Land Surveyor  
Minnesota License No. 62734

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Kyle A. Domek.

(Notary's Signature) (Notary's Name Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My Commission Expires: \_\_\_\_\_

**CITY COUNCIL, CITY OF MINNETONKA, MINNESOTA**

This plat of XXXXXXXXXXXX was approved and accepted by the City Council of the City of Rogers, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 2025, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Rogers, Minnesota

By: \_\_\_\_\_ By: \_\_\_\_\_  
Mayor Clerk

**RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota**

I hereby certify that taxes payable in 20\_\_\_\_ and prior years have been paid for land described on this plat, dated this \_\_\_\_ day of \_\_\_\_\_, 2025.

Mark V. Chapin, County Auditor By \_\_\_\_\_ Deputy

**SURVEY DIVISION, Hennepin County, Minnesota**

Pursuant to MN. STAT. Sec. 383B.565 (1969) this plat has been approved this \_\_\_\_ day of \_\_\_\_\_, 2025.

Chris F. Mavis, County Surveyor By \_\_\_\_\_

**REGISTRAR OF TITLES, Hennepin County, Minnesota**

I hereby certify that the within plat of XXXXXXXXXXXX was filed in this office this \_\_\_\_ day of \_\_\_\_\_, 2025, at \_\_\_\_ o'clock \_\_\_\_ M.

Amber Bougie, Registrar of Titles By \_\_\_\_\_ Deputy

**COUNTY RECORDER, Hennepin County, Minnesota**

I hereby certify that the within plat of XXXXXXXXXXXX was recorded in this office this \_\_\_\_ day of \_\_\_\_\_, 2025, at \_\_\_\_ o'clock \_\_\_\_ M.

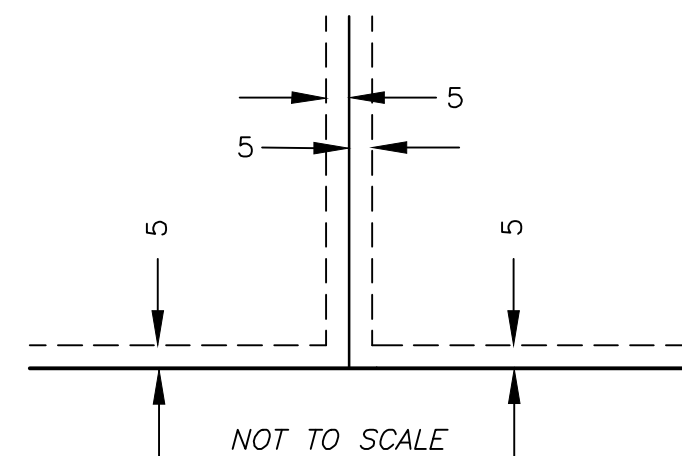
Amber Bougie, County Recorder By \_\_\_\_\_ Deputy

**LEGEND**

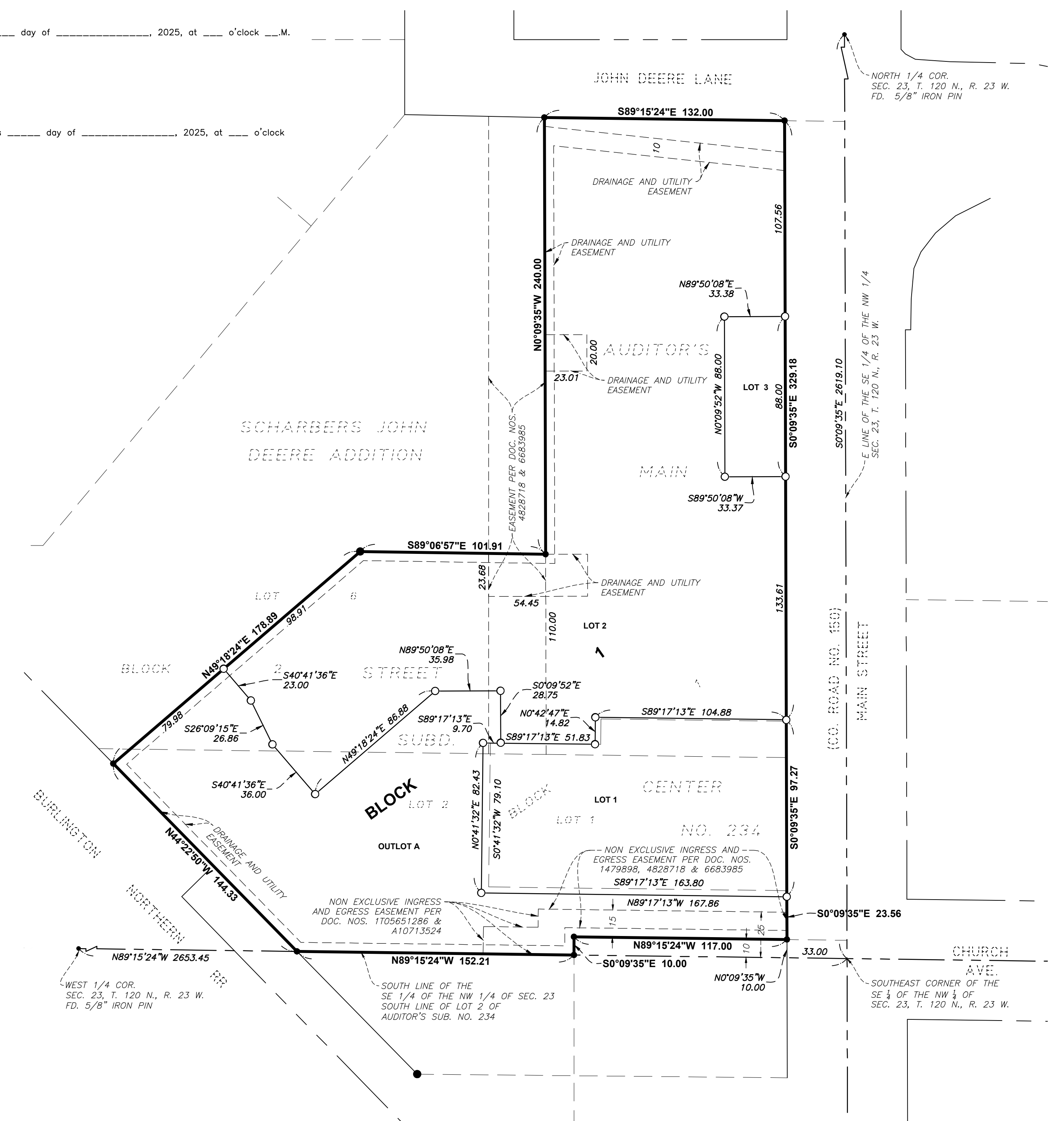
- SET 3/4 INCH O.D. x 15 INCH IRON PIPE WITH PLASTIC CAP MARKED 62734
- FOUND MONUMENT AS DESCRIBED
- EASEMENT LINE

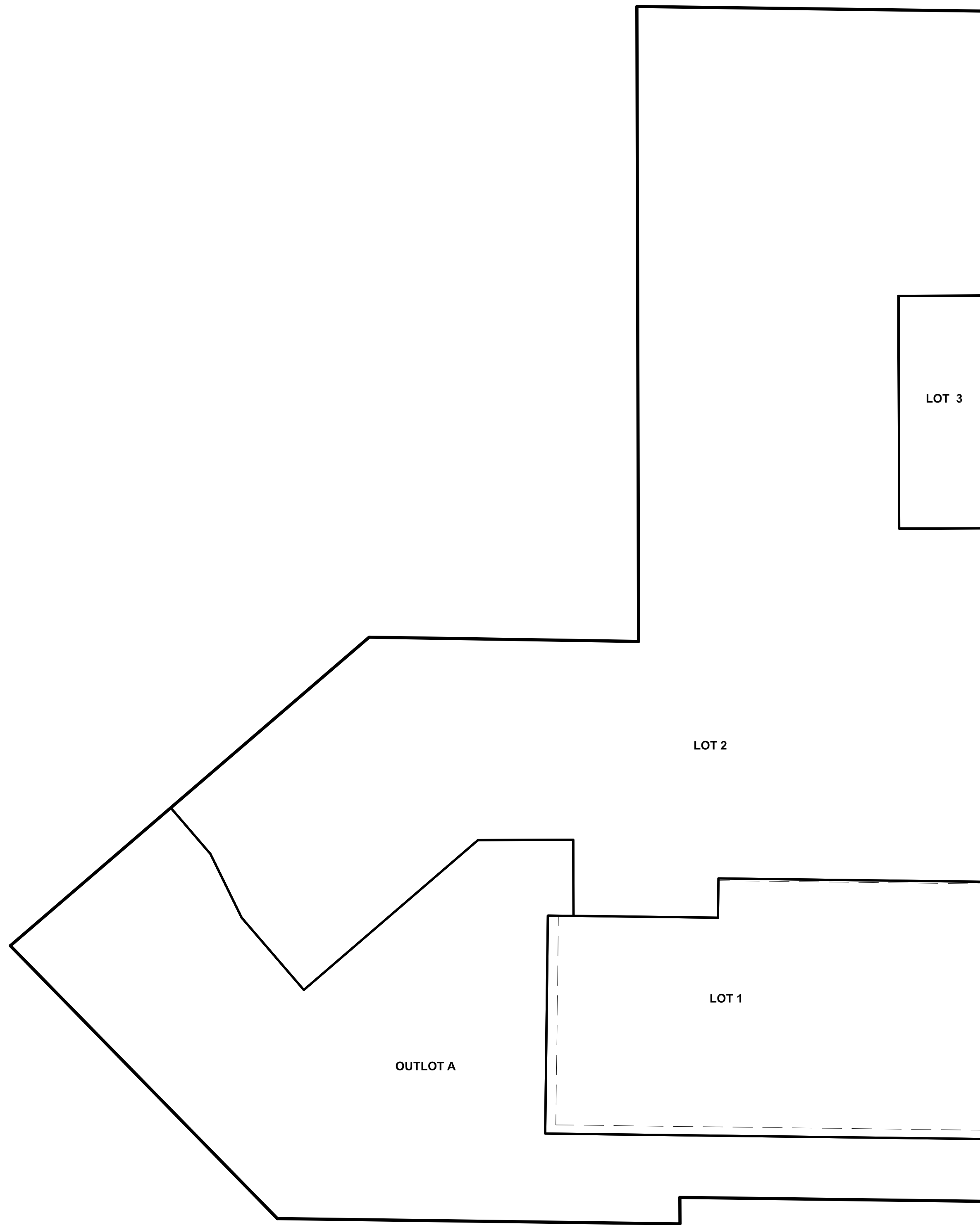
BEARINGS ARE BASED ON THE SOUTH LINE OF THE NW 1/4, SEC. 23, T. 120 N., R. 23 W., WHICH IS ASSUMED TO BEAR N89°15'24"W

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH ON ADJOINING LOT LINES AND REAR LOT LINES, UNLESS OTHERWISE INDICATED ON THIS PLAT.





## PRELIMINARY PLAT OF MAIN STREET CENTER 2ND ADDITION

### LEGAL DESCRIPTION OF PROPERTY TO BE PLATTED

Lot 2 and Lot 1, Block 1, Main Street Center, Hennepin County, Minnesota.

Abstract and Torrens Property

### PRESENT ADDRESS

THE SUBJECT PROPERTY ADDRESS:  
ADDRESS PENDING, ROGERS, MN 55374  
PROPERTY IDs - 2312023240051, 2312023240050

### TAXPAYER / PROPERTY OWNER

DUFFY DEVELOPMENT COMPANY, INC. (PID 2312023240051)  
W&W PROPERTIES, LLC (PID 2312023240050)

### LAND SURVEYOR

STANTEC  
2080 WOODDALE DRIVE, SUITE 100  
WOODBURY, MN 55125  
KYLE A. DOMEK  
MN. LICENSE NUMBER 62734

### DATE OF PRELIMINARY PLAT

MARCH 13, 2025

### PLATTED AREAS

GROSS LAND AREA TO BE PLATTED = 98,741.23± OR 2.27 ± ACRES  
LOT 1, BLOCK 1 = 15,301.56± S.F. OR 0.35± ACRES  
LOT 2, BLOCK 1 = 55,773.88± S.F. OR 1.28± ACRES  
LOT 3, BLOCK 1 = 2,936.74± S.F. OR 0.07± ACRES  
OUTLOT A, BLOCK 1 = 24,729.05± S.F. OR 0.57± ACRES  
DEDICATED RIGHT-OF WAY = 0± S.F. OR 0± ACRES

### SURVEYORS CERTIFICATION

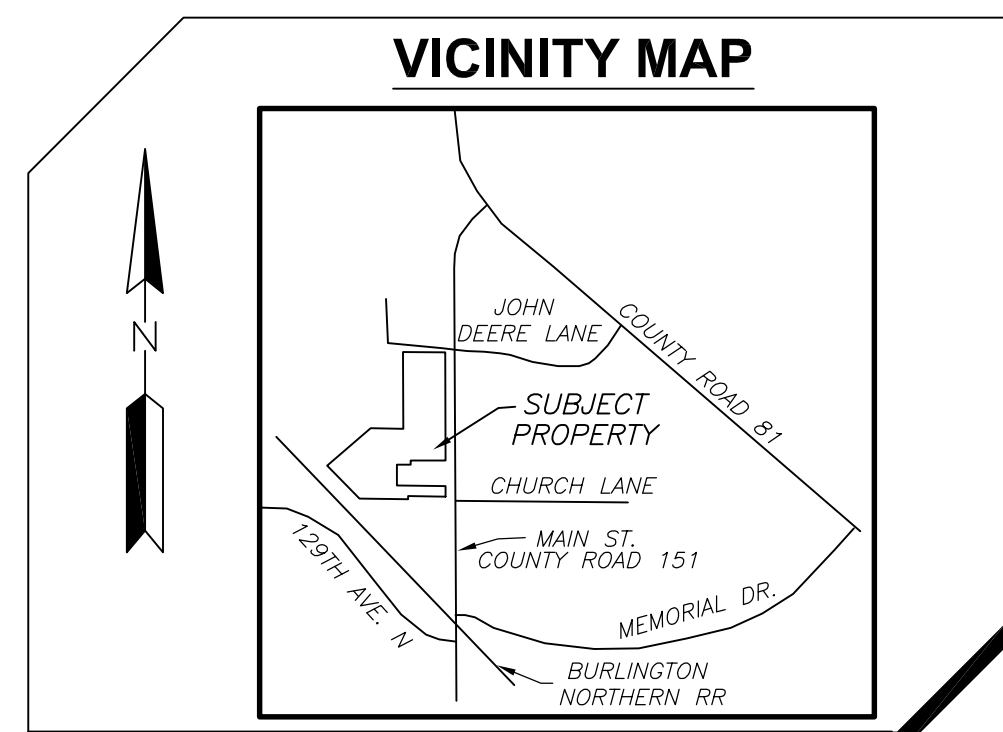
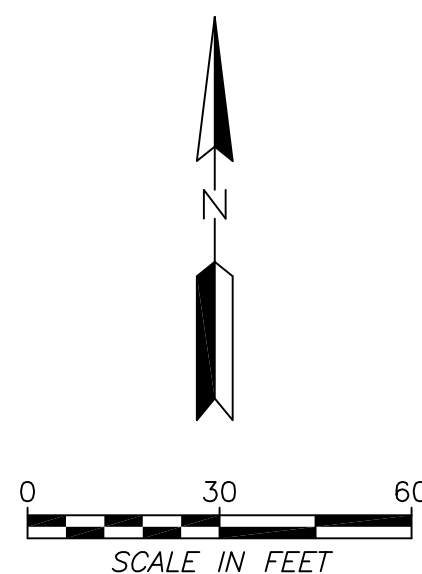
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

DRAFT COPY

3/13/2025

Kyle A. Domek  
MN LS 62734

Date



	CLIENT NAME		PROJECT TITLE	
	DUFFY DEVELOPMENT COMPANY, INC.		PRELIMINARY PLAT	
	DWN BY KAD	CHK'D JRN	APP'D KAD	DWG DATE SCALE SEE
PROJECT NO. 193804938		SHEET NO. 1 OF 1		



**STAFF REPORT**  
**ROGERS PLANNING  
COMMISSION**

**Meeting Date:** May 5, 2025

**Agenda Item:** 5.1

**Subject:** Elm Creek Watershed 4th Generation Management Plan Presentation  
**Prepared By:** Mike Albers, Assistant City Engineer

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**Recommended Council Action**

**Overview / Background / Analysis**

Watershed management plans and municipal comprehensive plans are guiding documents for watersheds and cities which cover a 10-year period. The Elm Creek Watershed is developing their 4th Generation Management Plan which sets watershed priorities for surface water management throughout the seven communities which make up the watershed. After the 4th Generation Management Plan approval, each City will update their own Comprehensive Plan. Surface water management is included as a chapter in the Comprehensive Plan which will align with the watershed plan.

As part of the Elm Creek Watershed 4th Generation Management Plan public outreach, the technical advisory commission of the watershed elected not to establish a separate Citizens Advisory Committee (CAC), but for each city to designate one of its existing citizen commissions (i.e., planning, parks and rec, environmental, etc.) to serve. The role of the CAC is to review and provide input. Staff from Elm Creek Watershed will present on their 4th Generation Management Plan and take questions, comments, and concerns on the plan from the Planning Commission.

**Staff Recommendation**

Receive presentation from the watershed.

**Financial Impact:** Not applicable.

**Source Fund:** Not applicable.

**Budgeted?** N/A

**Supporting Documentation**

- A. Elm Creek Watershed Stakeholder Letter
- B. Elm Creek Watershed Overview

# elm creek Watershed Management Commission

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ADMINISTRATIVE OFFICE  
3235 Fernbrook Lane • Plymouth, MN 55447

PH: 763.553.1144 | email: [judie@jass.biz](mailto:judie@jass.biz)  
[elmcreekwatershed.org](http://elmcreekwatershed.org)

Elm Creek WMO Member Cities  
Citizen Advisory Committees

Dear Stakeholder:

Your City is a member of the Joint Powers Organization, the Elm Creek Watershed Management Commission. Watershed Management Organizations (WMOs) within the Metro Area, such as Elm Creek, provide management and oversight of lakes, streams, and rivers within their respective drainage areas. State law requires each WMO to have a plan in place that establishes goals, policies, and actions to protect and improve those waters, and that plan must be updated every ten years. The Elm Creek Commission has been working for the past year to update what will be its fourth management plan and would appreciate review and comments from residents and property owners in the watershed.

Rather than establish a special separate Citizens Advisory Committee (CAC), the Commission has asked each of its member cities to designate one of its existing citizen commissions (i.e., parks and rec, environmental, planning, etc.) to serve. The role of the CAC is to provide input and review, starting with a presentation on the general goals and actions in the Fourth Gen Plan at one of your regular meetings and an opportunity to review and provide comment on the overall draft plan either at a subsequent meeting or on your own.

Attached to this letter is a brief overview of the Commission, what we do, and what is planned for the next ten years. At your upcoming meetings, Commission and City staff will expand on that information and how it relates to your city. In the next few years all cities in the Metro area will be updating their Comprehensive Plans, including their own Local Stormwater Management Plans. The goals and actions proposed in the Watershed's Plan will need to be addressed in your Local Plan and the Comp Plan, so this is the start of a multi-year planning process.

Prior to our upcoming meeting, we hope you will be able to learn more about the Commission and what we do at [www.elmcreekwatershed.org](http://www.elmcreekwatershed.org). On the home page is a link to a page dedicated to the Fourth Generation Plan. There you will find the latest draft of the Plan and supporting material, more information about the process and timeline, and an opportunity to submit comments online. You can also submit comments to City staff. There will be more opportunities to review and submit comments during several upcoming public comment periods and a public hearing later this year.

We appreciate your time and input and look forward to meeting with you. We hope you find this information and process illuminating and helpful as you provide input and advice to your City Council on matters related to water resources in your community.

Sincerely,

Doug Baines  
Chair, City of Dayton

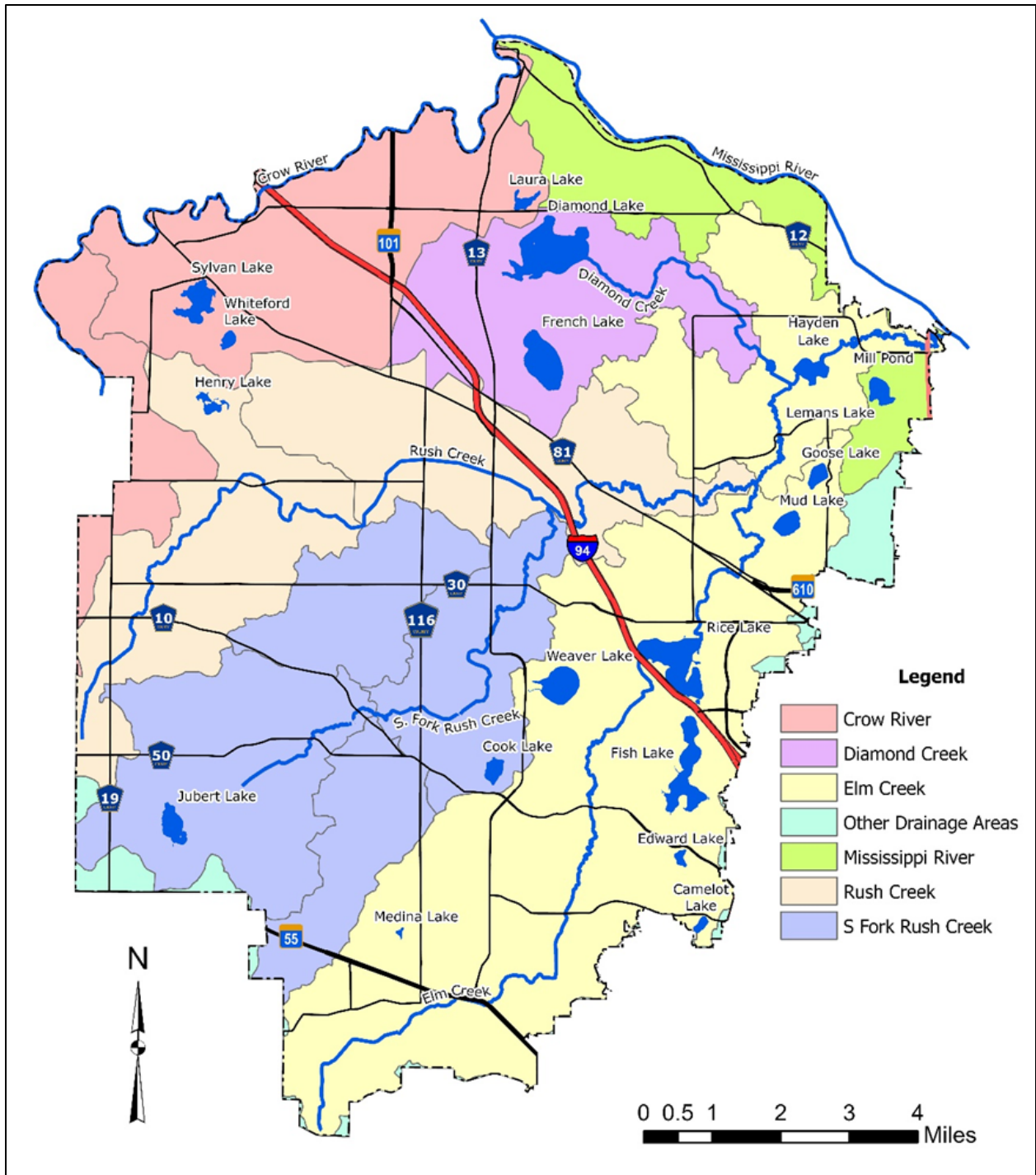


Figure 1. Elm Creek drainage system.

# Elm Creek Watershed Fourth Generation Management Plan



## What is the role of the Watershed Commission?

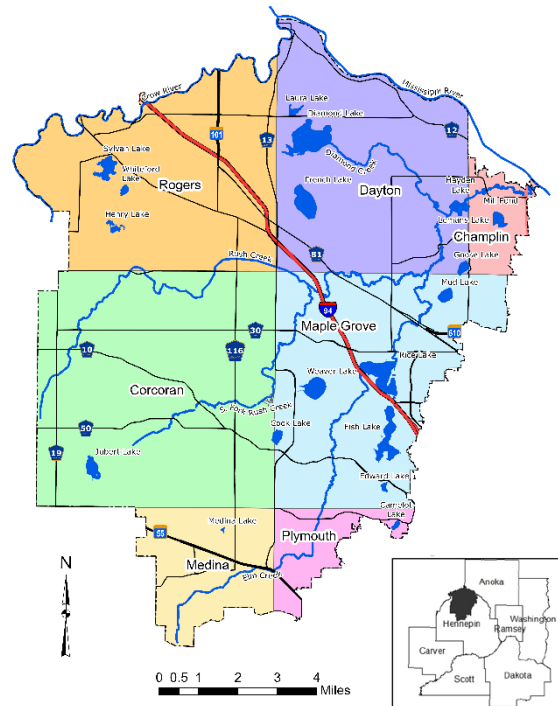
We partner with cities, property owners, and others to protect and improve lakes, streams, and wetlands in the 130 square mile Elm Creek watershed. This includes all or parts of seven cities that drain into Rush Creek, Diamond Creek, and Elm Creek and then to the Mississippi River. It also includes areas in those cities that drain directly into the Crow River or the Mississippi River .

We are a joint powers organization governed by a citizen board and advised by a technical committee of key city staff.

The Commission sets policies and establishes goals for the water resources in the watershed and implements programs to achieve those goals. These policies help guide city actions as we work toward common goals.

## What is the history of the Commission?

The Commission was established on February 1, 1973, when several cities and the Hennepin Conservation District formed a Joint Powers Organization. The Town of Hassan and City of Rogers later joined, and the City of Greenfield withdrew. The parties saw an opportunity in jointly managing the watershed through common standards, water quality monitoring, and evaluations of flooding potential. In 1982 the Minnesota Surface Water Management Act required the Metro area to be divided into drainage areas under the planning and oversight of watershed management organizations (WMOs) based on drainage boundaries rather than county or municipal boundaries. The Elm Creek Commission fulfills this statutory role.



## What does the Commission do?

As required by statute, every 10 years the Commission prepares a new Watershed Management Plan of goals and actions. This will be our fourth, or “Fourth Generation” Plan.

- Sets policy and standards to protect and improve lakes, streams, and wetlands.
- Maintains Rules and Standards for development and redevelopment and reviews proposals to be sure impacts to downstream waters are minimized.
- Monitors water quality in lakes and streams.
- Provides education and outreach programming .
- Completes special studies for potential projects.
- Leverages grant funding and partnerships to move projects forward.

***Read more about our accomplishments!***



## What is our focus for 2025-2034?

The Commission has established four priorities of focus for the Fourth Generation Plan:

1. Protect, maintain, and improve the water quality and ecological integrity of the water and natural resources within the watersheds and the downstream receiving waters.
2. Reduce stormwater runoff rates and volumes to limit flood risk, protect conveyance systems, protect surficial groundwater, and reduce or mitigate impacts that have already occurred.
3. Educate and engage all stakeholders in the watershed on surface water issues and opportunities.
4. Anticipate and proactively work to withstand adverse impacts from changing land use/cover and environmental and climate conditions.

## Celebrate!

The Commission and partners Three Rivers Park District, City of Maple Grove, the lake association, and others worked together on projects that improved Fish Lake water quality so much that it was removed from the state's list of Impaired Waters.

## We partner with other WMOs to expand our reach and resources.

The West Metro Water Alliance (WMWA) is a partnership between the Elm Creek, Shingle Creek/West Mississippi and Bassett Creek WMOs. WMWA pools resources to offer education and outreach throughout the four watersheds. A notable program is Watershed PREP that provides classroom instruction to fourth graders. *Over 22,000 students have participated.*

More information can be found on the Commission's website  
[www.elmcreekwatershed.org](http://www.elmcreekwatershed.org)

This education partnership was recently expanded to include Hennepin County and the Richfield-Bloomington WMO, who help fund a shared education coordinator dedicated to developing and delivering common messaging and coordination.

## What are some of our projects?

Over the last 10 years, the Commission was awarded over \$1.2 million in grants for water quality improvement projects and provided \$3.6 million in cost-share funds to help cities undertake 22 projects. Notable projects are: restoration of 9,100 feet of Elm Creek in Champlin, 8,700 feet of Elm Creek in Plymouth, 7,000 feet of Rush Creek in Maple Grove, and 5,100 feet of South Fork Rush Creek in Maple Grove.

The Commission shared in the cost of an alum treatment and carp removals on Fish Lake and fishery and other improvements on the Mill Pond. The Commission also partners with Hennepin County Board Conservationists to identify and implement improvements on lands used for agriculture and animal husbandry.

## What's coming up?

Some exciting city/watershed actions planned or underway are:

- Continued invasive carp management in Fish and Rice Lakes.
- Additional stream restoration projects on Rush Creek and South Fork Rush Creek in Maple Grove.
- Nutrient management in Diamond Lake, including potential alum treatments to reduce phosphorus release from sediments.
- Continued engagement with the agricultural community.
- Increased emphasis on reducing chloride and bacteria pollution in our waters.
- An ongoing assessment of climate vulnerabilities and resiliency actions.



## STAFF REPORT

### ROGERS PLANNING COMMISSION

Meeting Date: May 5, 2025

Agenda Item: 6.1

**Subject:** Past Planning Commission Items Review

**Prepared By:** Brett Angell, Community Development Director

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### Recommended Council Action

#### Overview / Background / Analysis

The Planning Commission last met on Monday, April 7th and held three public hearings related to different land use requests. Said items went to the City Council in late April and the information below is reflective of the council's action on each of the items.

#### Take 5 Oil Change - Site Plan and Variances - 13510 Rogers Drive

The Planning Commission reviewed a request from T5 Rogers, LLC to make a 1,600-square-foot addition to the building at 13510 Rogers Drive (former Wells Fargo) and amendments to the parking lot area. The variance request was with regard to parking setbacks and impervious surface coverage. The Planning Commission unanimously recommended approval of these requests. The City Council reviewed this item at the April 22nd meeting and unanimously recommended approval of the site plan and variance requests. It is anticipated that construction will begin within the coming months on the addition. Additionally, there are multiple quick-service restaurant users which are in negotiations for a space on the property.

#### Cowley Lake Preserve - 169-lot subdivision - PUD and Preliminary Plat Request

The Planning Commission reviewed a planned unit development and preliminary plat request from Rachel Development. The proposed development included 169 lots along the south edge of Cowley Lake and featured four lot type variations. The Commission recommended approval of the PUD and preliminary plat request on a 5-2 vote. The City Council reviewed this item at the April 22nd meeting and voiced concerns related to the potential traffic increases of the development. Ultimately, the City Council tabled the item until May 27th, the next meeting at which the full council is expected to be in attendance.

#### Creative Lawn and Landscapes - Site Plan and CUP - 14005 Northdale Blvd

The Planning Commission reviewed a site plan and conditional use permit request from Creative Lawns and Landscapes for site improvements at their property at 14005 Northdale Blvd. Site improvements include alterations to the impervious surface and storage areas, and new stormwater ponding. The Commission unanimously recommended approval of this item. This item was on the consent agenda for the City Council at the April 22nd meeting and was approved.

## **Other Relevant Items**

Some other relevant items as it pertains to planning items which have recently been acted upon by the city are as follows.

### Retention of Zoning Authority Ordinance

The City Council passed a resolution supporting the retention of zoning authority for the city at the April 8th meeting. This resolution was in response to and in opposition to a few bills that are currently under consideration by the state legislature. The bills (four total) have various provisions that directly impact how cities are able to plan for their growth. Provisions of these bills include allowing for higher densities on all single-family lots, reduction or removal of the ability to have parking minimums, allowance for multi-family developments to be built on all commercially zoned properties, reduced ability to set architectural standards, and a reduced approval process. The bills were initiated as a means to create more affordable housing options but create numerous concerns from a city standpoint.

### 22000 Industrial Blvd - Parking Lot Expansion

The large industrial building located at 22000 Industrial Blvd submitted a site plan application to do a minor parking lot expansion of their property to accommodate a new tenant in the building. Due to the small nature of this project, it qualified for an administrative approval process. The proposed parking lot expansion was approved and will begin in the near future.

## **Staff Recommendation**

No action required.

**Financial Impact:** Not applicable.

**Source Fund:** Not applicable.

**Budgeted?** N/A

## **Supporting Documentation**

None