



AGENDA

Rogers Planning Commission

November 3, 2025 - 7:00 PM

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

2. APPROVE AGENDA

Council members may add items to the agenda for discussion purposes or staff direction only. The Council will not normally take official action on items added to the agenda.

3. CONSENT AGENDA

These items are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the Consent Agenda and placed elsewhere on the agenda.

3.1 Approve Minutes from the October 6th, 2025 Meeting

4. PUBLIC HEARINGS

4.1 Consider Amendments to City of Rogers Sign Code

4.2 Consider Application by Miller Chevrolet for Variance to Sign Code to Replace a Pylon Sign with a larger Sign Face.

5. NEW BUSINESS

5.1 Consideration of a Concept Plan for the Redevelopment of the Property 21601 John Deere Lane into Multifamily Residential by Bader Companies and Ebert Companies

5.2 Consideration of a Site Plan Application for the Commerce Boulevard Small Bay Warehouse Development

6. OTHER BUSINESS

7. CORRESPONDENCE AND REPORTS

7.1 Past Planning Commission Items

8. ADJOURN



STAFF REPORT

Meeting Date: November 3, 2025

**ROGERS PLANNING
COMMISSION**

Agenda Item: 3.1

Subject: Approve Minutes from the October 6th, 2025 Meeting

Prepared By: Alec Henderson, City Planner

Overview / Background / Analysis

Staff Recommends approving the minutes from the previous meeting.

Staff Recommendation

Motion to approve the minutes from the October 6th meeting of the Rogers Planning Commission.

Financial Impact: NA

Source Fund: NA

Budgeted? N/A

Supporting Documentation

A. 10-06-2025 Planning Commission Minutes

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

The regular meeting of the Planning Commission of the City of Rogers was called to order by Chair Carlson with the City Council Present for a joint meeting on Monday, October 6, 2025, at 7:00 PM at Rogers Community Room, 21201 Memorial Drive, Rogers, MN, 55374 and online in the Zoom application.

Commission present: Brett Carlson, Clark Lohr, Peter Mullin, Aaron Sattersten, Adam Hunt, Todd Kussman, and Jan Cartwright

Council present: Mayor Klick, Councilmembers Amy Enga, Mark Elden, and Kevin Julie

Staff present: Steve Stahmer, Administrator; Brett Angell, Community Development Director; Alec Henderson, City Planner; and Patrick Brunner, Consultant.

2. APPROVE AGENDA

Commission Member Lohr moved, Commission Member Sattersten seconded a motion to approve the agenda. Motion carried 7-0.

3. CONSENT AGENDA

3.1 Approve Minutes from September 8th, 2025

Commission Member Hunt moved, Commission Member Sattersten seconded a motion to approve the Minutes from September 8th, 2025.. Motion carried 5-0. Carlson and Lohr abstain due to absence.

3.2 Capital Improvement Plan Review and Recommendation to Forward to the City Council

Commission Member Lohr moved, Commission Member Sattersten seconded a motion to forward the CIP to the City Council based on its conformance with the Comprehensive Plan. Motion carried 7-0.

4. PUBLIC HEARINGS

No hearings.

5. NEW BUSINESS

5.1 Main Street Master Plan Presentation and Discussion

Brunner summarized the project's purpose and current phase. The Main Street Master

Plan process is in the end Step 1 (Understanding/Outreach), followed by Step 2 (Exploration) with Step 3 (Final Plan Development) forthcoming.

He reviewed key trends and findings from public outreach and the open house.

Commission and Council Discussion

Desired Amenities and Uses:

- **Cartwright:** Emphasized need for more retail opportunities.
- **Brunner:** Noted desire for spaces that “activate” Main Street.
- **Enga:** Questioned whether pedestrian and bicycle improvements focus only *on* Main Street or also *to* Main Street.
- **Brunner:** Clarified the plan will consider safer pedestrian and biking access both *to* and *along* Main Street.
- **Lohr:** Suggested exploring speed tables.
- **Brunner:** Confirmed traffic-calming measures will be evaluated.
- **Carlson:** Highlighted need for ample parking.
- **Klick:** Observed current parking chaos due to unpaved surfaces.

Land Use and Urban Form:

- **Angell:** Interpreted public preference for an active, mixed-use corridor supporting moderate density housing.
- **Klick:** Agreed with that interpretation.
- **Carlson:** Asked if there were studies on user demographics and travel modes.
- **Brunner:** Noted most visitors arrive by car; walkability standard is roughly a ¼-mile radius or “park-once” environment.

Design Considerations:

- **Julie:** Asked about typical street cross-sections and balancing width, parking, and amenities.
- **Carlson:** Asked if outreach indicated uses that are *not* desired.
- **Brunner:** Noted responses discouraging industrial or auto-oriented uses

downtown.

- **Enga & Carlson:** Agreed industrial and auto-oriented businesses should be located elsewhere.
- **Hunt:** Mentioned fast food is not a priority and asked about the railroad's influence.
- **Carlson:** Asked about potential for evening or adult-oriented uses.
- **Klick:** Encouraged locating synergistic small businesses (e.g., yoga studio near coffee shop).
- **Julie:** Stressed importance of connecting beyond Main Street and improving pedestrian crossings in adjacent industrial areas.
- **Carlson:** Asked whether the focus should be retaining residents or attracting visitors.
- **Klick:** Noted that sports complexes draw visiting families on weekends.
- **Hunt:** Expressed interest in creating a space to bring family and friends.
- **Carlson:** Requested comparable case studies illustrating successful redevelopment and investment patterns.

Councilmember Elden: Stated it was a good start to the planning effort.

6. OTHER BUSINESS

7. CORRESPONDENCE AND REPORTS

7.1 Past Planning Commission Items Review

8. ADJOURN

Commission Member Mullin moved, Commission Member Lohr seconded a motion to adjourn at 8:30 PM. Motion carried 7-0.

Respectfully Submitted,

Alec Henderson, City Planner



STAFF REPORT

Meeting Date: November 3, 2025

ROGERS PLANNING COMMISSION

Agenda Item: 4.1

Subject: Consider Amendments to City of Rogers Sign Code

Prepared By: Alec Henderson, City Planner

Overview / Background / Analysis

On July 22nd, 2025, the City Council adopted Ordinance 2025-07 which repealed and replaced section 113 Signs. The ordinance completely reorganized and overhauled the sign code. During this process, it was communicated that digital signs (or electronic message centers) were intended to be permitted in our commercial districts, RC, LC, and GI districts, as well as the DT district. This was communicated in open houses and staff believes the initial intent. However, during the process and iterations, it appears that Table 1 found in section 113.05, shifted the allowed use over a column into the SB district. Staff believes this is an error and EMCs or digital signs should be permitted in the RC, LC, and GI districts rather than the SB district.

It should be noted that many of the commercial uses along 94 and 101 have EMCs and keeping the existing table would place them into a legal non-conforming status. This places existing EMCs in a gray area on whether replacing the cabinet or panel would be permitted and to what extent as it communicates the intent that static signs are the preference for these districts. The below table is what is proposed to be amended:

Sec 113-5

Table 1

TABLE 1. Sign Types	Zoning Districts	LC, RC, GI	SB	ND	DT²
Permanent	R-1, R-2, R-3, R-4, R-5, AG, OP				
Awning	NA	Allowed	Allowed	Allowed	Allowed
Canopy	NA	Allowed	Allowed	Allowed	Allowed
Electronic Message Center	NA	NA Allowed	Allowed NA	NA	Allowed
Freestanding	Allowed (monument only)	Allowed	Allowed	Allowed	Allowed
Internal Wayfinding	R-4, R-5 and OP only	Allowed	Allowed	Allowed	Allowed
Menu Board	NA	Allowed	Allowed	Allowed	Allowed
Projecting	NA	NA	NA	NA	Allowed
Wall	R-4, R-5 and OP	Allowed	Allowed	Allowed	Allowed

Window only	NA	Allowed	Allowed	Allowed	Allowed
Temporary (all types) ¹	Allowed	Allowed	Allowed	Allowed	Allowed
Notes:					
NA means "not allowed."					
¹ Refer to 113.09 for a list of temporary sign types.					
² Refer to 113.10 for sign standards.					

Staff Recommendation

Motion to recommend approval of Ordinance 2025-10, amending the sign code to allow electronic message centers (EMC) as a sign type in the RC, LC, and GI district and remove EMC as a sign type in the SB district.

Financial Impact: NA

Source Fund: NA

Budgeted? N/A

Supporting Documentation

A. Ord. 2025-10- Sign Code Update

**CITY OF ROGERS
ORDINANCE NO. 2025-10**

**AN ORDINANCE AMENDING THE CITY OF ROGERS CITY CODE
CHAPTER 113 SIGNS RELATED TO ELECTRONIC MESSAGE CENTERS**

THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, HEREBY ORDAINS:

SECTION 1. Chapter 113 (Signs), Section 113-5, Table 1 of the City Code is hereby amended remove Electronic Message Center as a permitted sign type from the SB district and to allow Electronic Message Center as a permitted sign type in the LC, RC, and GI districts. The ~~striketrough~~ text indicates removal of text and the underlined text indicates added text:

**Sec 113-5
Table 1**

TABLE 1.					
Sign Types	Zoning Districts				
Permanent	R-1, R-2, R-3, R-4, R-5, AG, OP	LC, RC, GI	SB	ND	DT²
Awning	NA	Allowed	Allowed	Allowed	Allowed
Canopy	NA	Allowed	Allowed	Allowed	Allowed
Electronic Message Center	NA	NA <u>Allowed</u>	Allowed <u>NA</u>	NA	Allowed
Freestanding	Allowed (monument only)	Allowed	Allowed	Allowed	Allowed
Internal Wayfinding	R-4, R-5 and OP only	Allowed	Allowed	Allowed	Allowed
Menu Board	NA	Allowed	Allowed	Allowed	Allowed
Projecting	NA	NA	NA	NA	Allowed
Wall	R-4, R-5 and OP only	Allowed	Allowed	Allowed	Allowed
Window	NA	Allowed	Allowed	Allowed	Allowed
Temporary (all types) ¹	Allowed	Allowed	Allowed	Allowed	Allowed
Notes: NA means "not allowed." ¹ Refer to 113.09 for a list of temporary sign types. ² Refer to 113.10 for sign standards.					

SECTION 2. This Ordinance shall take effect and be in force immediately after its passage and publication in accordance with applicable law.

Dated the 25th day of November, 2025.

Mayor

ATTEST:

City Clerk



STAFF REPORT

Meeting Date: November 3, 2025

ROGERS PLANNING COMMISSION

Agenda Item: 4.2

Subject: Consider Application by Miller Chevrolet for Variance to Sign Code to Replace a Pylon Sign with a larger Sign Face.

Prepared By: Alec Henderson, City Planner

Overview / Background / Analysis

Thomas Miller of Miller Chevrolet (Applicant) submitted a variance application for the property at 21150 John Milless Drive (Subject Property). The request is to replace an existing electronic message center (EMC) face on a freestanding sign. The existing sign is 126 square feet and currently 41 feet tall. The proposed new EMC panel measures 8'-5" by 25'-2" (211 square feet), which exceeds the City's 120-square-foot limit for sign faces in the LC district. Additionally, due to the sign face being taller, the total height would increase from 41 feet to 43 feet tall. The location of the sign is unchanged.

Variances are to be processed and considered based on section 125-42 and Minnesota Statute § 462.357. The applicant must adequately demonstrate "practical difficulties" in order to get relief from the code. The Planning Commission in this case unanimously recommended approval of the variances.

Primary Issues

1. Land Use and Zoning
2. Accessory Structure Standards
3. Criteria for Granting Approval

Analysis of Primary Issues

1. Land Use and Zoning

The Subject Property is the site of an auto sales use, Miller Chevrolet. The property is zoned Local Employment Center (LC). The 2040 Comprehensive Plan land use designation is Commercial. Signage is a typical commercial improvement.

The type of use is allowed by both the Comprehensive Plan and Zoning.

2. Applicable Standards.

Chapter 113 (Signs) regulates size and height of freestanding and electronic message

center signs. Section 113 permits freestanding signs on freeway-adjacent parcels to a maximum of 30 feet in height and limits EMCs to 120 square feet in area. Section 125-42 (Variances) and Minnesota Statutes §462.357 establish variance criteria requiring harmony with the ordinance and Comprehensive Plan, the presence of practical difficulties, and protection of the area's essential character. The sign is currently considered legal non-conforming in height and sign face size per section 125-41 and requires a variance in order for the sign face to be expanded.

3. Criteria for Granting Variances

The Planning Commission shall make findings of fact that the proposed variance is pursuant, but not limited to the following considerations [§125-42(c)]:

- (1) Variances shall only be permitted when they are in harmony with the general purpose and intent of city code and consistent with the comprehensive plan.
- (2) Variances may only be permitted when the applicant establishes that there are non-economic practical difficulties in complying with the zoning ordinance, meaning the property owner proposes to use the lot or parcel in a reasonable manner not permitted by the zoning code.
- (3) The plight of the property owner must be due to circumstances that are unique to the lot or parcel and is not created by the property owner.
- (4) The variances must not alter the essential character of the locality including all zoning district and overlay district provisions.
Rogers code also includes the following variance standards (beyond state statute):
- (5) Under the circumstances, the public interest underlying the proposed variance outweighs the public interest underlying the particular regulation for which the variance is granted; and
- (6) The granting of the variance will not be injurious to other property and will not prevent the orderly subdivision of other property in the area in accordance with these regulations.

The requests are dealt with on its own merits. The Planning Commission should consider if the requests meet the variance criteria listed above. The following should be considered with determining the request. The key factors for approving a variance really come down to: 1. Does the proposal put property to use in a *reasonable manner*? 2. Are there *unique circumstances* to the property not created by the landowner? 3. Will the variance, if granted, alter the *essential character* of the locality? State statute specifically notes that economic considerations alone cannot create practical difficulties.

Applicants Reasoning:

The applicant provides details to his reasoning for the need of the variance in the attached application. Staff will summarize the applicants reasoning regarding 1. Reasonableness, 2. Unique Circumstances, 3. Essential Character.

1. The request is consistent with City Code and the Comprehensive plan. Signage

is a typical commercial improvement, especially in a highway corridor that relies on visual advertisements and the sign is related to the existing use on site.

2. Reasonableness. The request is reasonable due to the high speed of the adjacent interstate and the 500 yards of interstate frontage to increase legibility from both east and west bound motorists.
3. Unique Circumstances. The interstate and frontage, and large amount of high speed traffic (70+ miles an hour) is unique to the property and not created by the owner.
4. Essential Character. There is existing signage of similar size along the corridor and the 2-foot increase in height and increase in face improves legibility without introducing additional clutter.
5. Public Interest. Larger signage may enhance driver safety by improving readability at higher speeds. With an EMC meeting the requirements of code, impacts to surrounding property will be minimal.

Staff Recommendation

Should the commission recommend approval, staff suggests the following conditions:

1. Scope. This approval authorizes the replacement of the existing EMC face to a total digital display area of 211 square feet and an overall freestanding sign height not to exceed 43 feet.
2. Nonconforming Height and Face size. The existing sign is legally nonconforming; this variance authorizes an increase in height from 41 feet to 43 feet and increase of sign face to 211 square feet. Any future expansion or structural modification shall require separate review and approval.
3. Brightness and dimming. The sign shall include automatic brightness adjustment to comply with Chapter 113 brightness limits and shall not cause glare or visual distraction to motorists.
4. Display Behavior. Each digital message shall remain static for a minimum dwell time of ten (10) seconds, with transitions occurring instantaneously. Flashing, scrolling, or full-motion video shall be prohibited.
5. Malfunction Default. In the event of malfunction, the EMC shall default to a blank display.
6. Maintenance. The sign structure and display components shall be maintained in good repair, consistent with applicable codes.
7. Permits. A sign and electrical permit shall be obtained prior to installation, and the sign shall meet all applicable building and electrical codes.
8. Future Modifications. Any future increase in sign area, height, or additional sign cabinet components shall require City review and possible variance amendment.

Financial Impact: NA

Source Fund: NA

Budgeted? N/A

Supporting Documentation

- A. Resolution No. 2025-84 Miller Chev - Sign Variance
- B. MillerChevrolet-SignVarianceRequest

RESOLUTION NO. 2025-84

**A RESOLUTION GRANTING APPROVAL OF VARIANCES
TO ALLOW AN INCREASE IN ELECTRONIC MESSAGE CENTER SIGN FACE AND
SIGN HEIGHT AT 21150 JOHN MILLESS DRIVE (MILLER CHEVROLET)**

WHEREAS, Miller Chevrolet (“Applicant”) submitted an application to the City of Rogers (“City”), requesting approval of variances for the purpose replacing an existing electronic message center (EMC) (“Structure”) exceeding the allowable sign face square footage and height; and,

WHEREAS, the property is zoned Local Employment Center (“LC”), located at 21150 John Milles Dr (“Subject Property”) (PID: 2312023140013) on 10.4 acres of land; and,

WHEREAS, Rogers City Code Chapter 113 regulates sign area and height, providing that electronic message center signs shall not exceed 120 square feet in display area, and freestanding signs located on parcels abutting the Interstate 94 freeway may be constructed to a maximum height of 30 feet, provided they meet all other applicable standards; and,

WHEREAS, the existing freestanding sign on the subject parcel is legally nonconforming with a current height of approximately 41 feet and a total EMC area of 126 square feet, which is legally non-conforming; and,

WHEREAS, the applicant proposes to replace the EMC face with a larger 211-square-foot panel and increase the total sign height from 41 feet to approximately 43 feet to accommodate the new panel which requires a variance per Section 125-42; and,

WHEREAS, pursuant to Minnesota Statute §462.357 the Planning Commission (“Commission”) held a Public Hearing (“Hearing”) on September 9, 2024 to consider and receive public comment on said request; and,

WHEREAS, notice of the Hearing was posted, published in the City’s official newspaper, and mailed to any and all owners of affected properties, as required by State Statute; and,

WHEREAS, public comment was received and taken into consideration by the Commission; and,

WHEREAS, following the Hearing the Commission recommending approval of the said request for the located of the Structure was based on the following findings of fact:

FACTS

1. AMM Properties, LLC is the owner of and Miller Chevrolet is the business operating on the parcel of land located at 21150 John Milles Drive/20900 Church Ave, Rogers MN 55374; and,
2. The subject property where the sign is located is legally described as found on Exhibit A; and,

3. The Applicant has applied to the City for a variances to replace the EMC face with a larger 211-square-foot panel and increase the total sign height from 41 feet to approximately 43 feet to accommodate the new panel as shown in Exhibit B.
4. The proposal would variance from Chapter 113 Signs for the LC district in that sign exceeds 120 square feet in display area, and height of 30 ft (abutting I-94).
5. Following a public hearing on the application, the Rogers Planning Commission has recommended approval of the variance on November 3, 2025.
6. The City Council of the City of Rogers reviewed the requested variance at its November 11, 2025 meeting.

APPLICABLE LAW

7. Minnesota Statute Section 462.357, subd. 6 provides:
 - a. Variances shall only be permitted (a) when they are in harmony with the general purposes and intent of the ordinance and (b) when the variances are consistent with the comprehensive plan.
 - b. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance. "Practical difficulties," as used in connection with the granting of a variance, means that (a) the property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance; (b) the plight of the landowner is due to circumstances unique to the property not created by the landowner; and (c) the variance, if granted, will not alter the essential character of the locality.
8. City Ordinance Section 125-42(c) allows variances if:
 - a. Variances shall only be permitted when they are in harmony with the general purpose and intent of City code and consistent with the comprehensive plan.
 - b. Variances may only be permitted when the applicant establishes that there are non-economic undue hardship in complying with the zoning ordinance, meaning the property owner proposes to use the lot or parcel in a reasonable manner not permitted by the zoning code.
 - c. The plight of the property owner must be due to circumstances that are unique to the lot or parcel and is not created by the property owner.
 - d. The variances must not alter the essential character of the locality including all zoning district and overlay district provisions.
 - e. Under the circumstances, the public interest underlying the proposed variance outweighs the public interest underlying the particular regulation for which the variance is granted; and
 - f. The granting of the variance will not be injurious to other property and will not prevent the orderly subdivision of other property in the area in accordance with these regulations.

CONCLUSIONS OF LAW

9. The request is consistent with City Code and the Comprehensive plan. Signage is a typical commercial improvement, especially in a highway corridor that relies on visual advertisements and the sign is related to the existing use on site.
10. Reasonableness. The request is reasonable due to the high speed of the adjacent interstate and the 500 yards of interstate frontage to increase legibility from both east and west bound motorists.

11. Unique Circumstances. The interstate and frontage, and large amount of high-speed traffic (70+ miles an hour) is unique to the property and not created by the owner.
12. Essential Character. There is existing signage of similar size along the corridor and the 2-foot increase in height and increase in face improves legibility without introducing additional clutter.
13. Public Interest. Larger signage may enhance driver safety by improving readability at higher speeds. With an EMC meeting the requirements of code, impacts to surrounding property will be minimal.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the variance request by Miller Chevrolet to allow an increase in electronic message center display area from 120 square feet to 211 square feet, and to allow a total sign height of 43 feet on a legally nonconforming freestanding sign at 21150 John Milless Drive, is hereby APPROVED subject to the following conditions:

1. Scope. This approval authorizes the replacement of the existing EMC face to a total digital display area of 211 square feet and an overall freestanding sign height not to exceed 43 feet.
2. Nonconforming Height and Face size. The existing sign is legally nonconforming; this variance authorizes an increase in height from 41 feet to 43 feet and increase of sign face to 211 square feet. Any future expansion or structural modification shall require separate review and approval.
3. Brightness and dimming. The sign shall include automatic brightness adjustment to comply with Chapter 113 brightness limits and shall not cause glare or visual distraction to motorists.
4. Display Behavior. Each digital message shall remain static for a minimum dwell time of ten (10) seconds, with transitions occurring instantaneously. Flashing, scrolling, or full-motion video shall be prohibited.
5. Malfunction Default. In the event of malfunction, the EMC shall default to a blank display.
6. Maintenance. The sign structure and display components shall be maintained in good repair, consistent with applicable codes.
7. Permits. A sign and electrical permit shall be obtained prior to installation, and the sign shall meet all applicable building and electrical codes.
8. Future Modifications. Any future increase in sign area, height, or additional sign cabinet components shall require City review and possible variance request.

Moved by Councilmember _____, seconded by Councilmember _____

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the City Clerk dated this 11th day of November, 2025.

Shannon Klick, Mayor

ATTEST:

Stacie Brown, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

That part of Outlot A, Rogers Plaza, and that part of the Southeast Quarter of the Northeast Quarter (SE $\frac{1}{4}$ of NE $\frac{1}{4}$) of Section 23, Township 120 North, Range 23 West, Hennepin County, Minnesota, described as follows:

Commencing at the most westerly corner of Lot 11, Block 1, Rogers Plaza;
Thence South 51 degrees 21 minutes 39 seconds East, along the southwesterly line of said Lot 11, a distance of 73.69 feet;
Thence southeasterly along the southwesterly line of said Lot 11 and along the westerly line of said Outlot A, a distance of 191.28 feet to the actual point of beginning;
Thence North 38 degrees 38 minutes 21 seconds East, a distance of 289.46 feet to the southwesterly line of Interstate Highway No. 94;
Thence southeasterly along said southwesterly highway line to the south line of the Southeast Quarter of the Northeast Quarter of Section 23;
Thence westerly along said south line to the east corner of Rogers Plaza;
Thence northerly to the southeast corner of Outlot A, Rogers Plaza;
Thence westerly to the southwest corner thereof;
Thence northerly along the west line of said Outlot A to the point of beginning;
Except road.

Abstract Property.

PID # 23-120-23-14-0013

EXHIBIT B
VARIANCE REQUEST



ZONING & LAND USE APPLICATION
VARIANCE

PROPERTY INFORMATION	
Property Address	21150 John Milless Drive, Rogers MN 55374
Parcel ID Number	

APPLICANT INFORMATION	
Name	Thomas Miller
Address	21150 John Milless Dr. Rogers MN 55374
Phone	Work: 763-515-5148
Email	tomm@millerchev.com

OWNER INFORMATION	
Name	Thomas Miller
Address	21150 John Milless Dr. Rogers MN 55374
Phone	Work: 763-515-5148
Email	tomm@millerchev.com

VARIANCE REQUEST
Please provide specific detail regarding the specific deviations and requested variances on the worksheet below. If there is not enough room, please provide a separate narrative. Staff may request additional information.

FEES			
Application	\$400	Escrow	\$0

ACKNOWLEDGEMENT

APPLICANT STATEMENT

This application should be processed in my name, and I am the party whom the City of Rogers should contact about this application. I have completed all of the applicable filing requirements and, to the best of my knowledge, the documents and information I have submitted are true and correct.

Applicant Signature

9/25/25
Date

OWNER STATEMENT

I am the owner of the above described property and I agree to this application. By signing this application, I certify that all fees, charges, utility bills, taxes, special assessments and other debts or obligations due to the City of Rogers by me or for this property have been paid. I further certify that I am in compliance with all ordinance requirements and conditions regarding other city approvals that have been granted to me for any matter. (If the owner is a corporation or partnership, a resolution authorizing this action on behalf of the board or partnership must be attached.)

Owner Signature

9/25/25
Date

VARIANCE WORKSHEET

<p>1. Detail specifically the deviation(s) from code proposed (e.g. code requires X ft setback, requesting X ft setback).</p> <p>The City of Rogers sign code allows 120 sqft for digital signage. We are requesting a variance to allow a 211 sqft sign. No other deviations besides the allowed square footage of digital signage is being requested.</p>
<p>2. Describe how the request is in harmony with the general purpose and intent of zoning for the property.</p> <p>Our dealership sits along I-94, where higher traveling speeds require clear, legible signage for safe navigation. A larger sign ensures motorists can identify our location and information presented to them while making safe driving decisions, from either side of the highway. The design compliments the commercial corridor, avoids visual clutter, and remains consistent with the overall intent of the zoning code.</p>
<p>3. Describe how the request is consistent with the Comprehensive Plan.</p> <p>The larger digital sign supports the Comprehensive Plan by enhancing visibility along I-94, a key regional corridor, and promoting safe recognition of our business at highway speeds. It strengthens Rogers' commercial corridor by supporting a long-standing dealership, helping sustain jobs, investment, and tax base. The sign will be modern and professional, consistent with the character of other highway-oriented businesses.</p>
<p>4. Describe why the proposed use is reasonable.</p> <p>Our previous sign to our current one was much larger. We are making no structural changes to the current sign structure. We are only looking to replace the digital signage hosted by the structure. We believe 211sqft is reasonable for the 500yd+ of I-94 frontage, and is necessary for legibility from both east-bound and west-bound motorists. Our property used to host two tall on-site signs right alongside 94, with one being taken down years ago.</p>
<p>5. Describe the following: <i>circumstances unique to the property, why the need for the variance was not created by the property owner, and why the need is not solely based on economic considerations.</i></p> <p>Our property is located directly off of interstate 94, with thousands of vehicles passing by daily at speeds of 70mph. Accesibility to read signage at these speeds is crucial for safety of drivers on the interstate.</p>
<p>6. Describe why the variance would not alter the essential character of the neighborhood.</p> <p>We are replacing a pre-existing sign with this proposed sign, and there would be no residential disturbance with an increase in size.</p>

Miller Chevrolet of Rogers Sign Variance Request

Miller Chevrolet of Rogers is requesting a variance from the City of Rogers sign code, which currently limits digital signage to 120 square feet. We are applying for approval of a **211 square foot digital sign**.

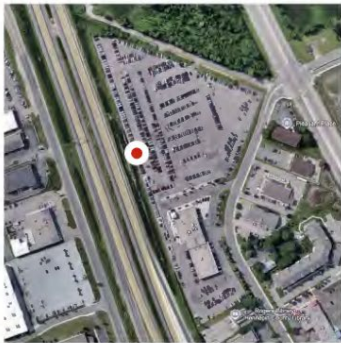
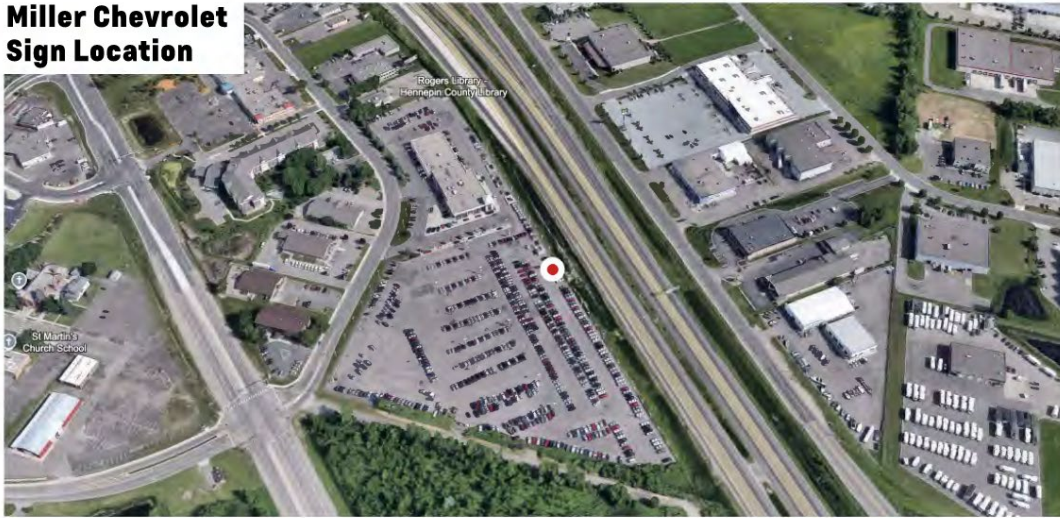
Our dealership is located immediately west of Interstate 94, where thousands of vehicles travel past our property every day at speeds up to 70 miles per hour. At these speeds, motorists require larger, clearer signage to safely and effectively identify businesses in time to make navigation decisions. A sign limited to 120 square feet does not provide adequate visibility for drivers traveling at highway speeds, especially given the distance between the interstate and our property. The proposed sign ensures legibility, reduces last-minute maneuvers, and promotes safer traffic flow.

Historically, our dealership maintained two separate signs on the property to achieve this level of visibility. One of those signs has since been removed, leaving us with a single sign to serve the same function. In addition, our previous sign prior to the current one was of a similar size to the proposed sign, making this request consistent with the property's past use and appearance.

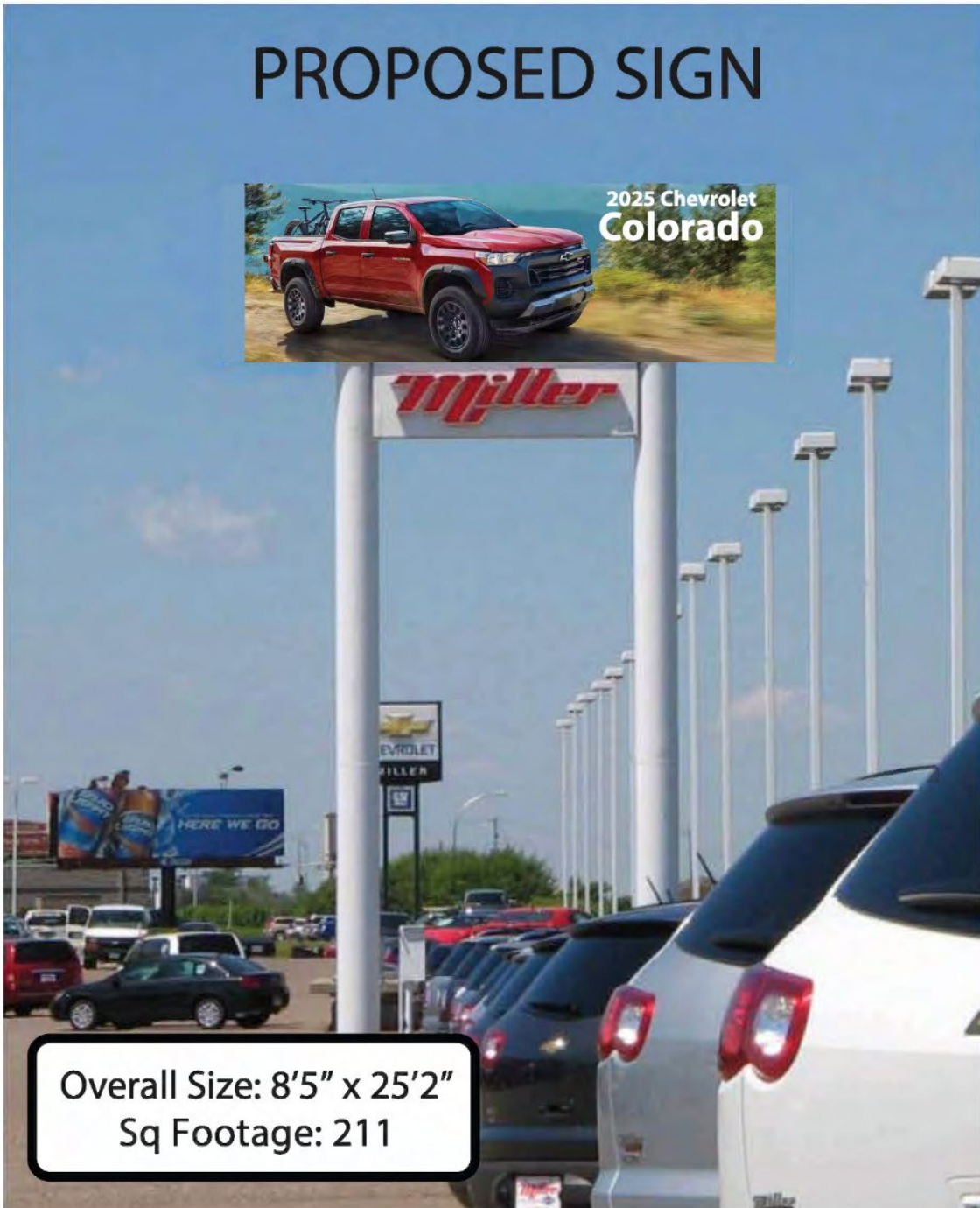
This variance does not include deviations for height, setbacks, or placement—only the face area. The enlarged sign will be professionally designed, in harmony with the appearance of surrounding commercial properties, and fully consistent with the goals of supporting economic vitality, safe transportation corridors, and a strong commercial identity along major routes.

Thank you,
Thomas Miller
Miller Chevrolet

Miller Chevrolet Sign Location



PROPOSED SIGN



Overall Size: 8'5" x 25'2"
Sq Footage: 211

RHL Inc. Mockup



ZONING & LAND USE APPLICATION

VARIANCE

PROPERTY INFORMATION	
Property Address	21150 John Milless Drive, Rogers MN 55374
Parcel ID Number	

APPLICANT INFORMATION	
Name	Thomas Miller
Address	21150 John Milless Dr. Rogers MN 55374
Phone	Work: 763-515-5148
Email	tomm@millerchev.com

OWNER INFORMATION	
Name	Thomas Miller
Address	21150 John Milless Dr. Rogers MN 55374
Phone	Work: 763-515-5148
Email	tomm@millerchev.com

VARIANCE REQUEST

Please provide specific detail regarding the specific deviations and requested variances on the worksheet below. If there is not enough room, please provide a separate narrative. Staff may request additional information.

FEES			
Application	\$400	Escrow	\$0

ACKNOWLEDGEMENT

APPLICANT STATEMENT

This application should be processed in my name, and I am the party whom the City of Rogers should contact about this application. I have completed all of the applicable filing requirements and, to the best of my knowledge, the documents and information I have submitted are true and correct.



 Applicant Signature

9/25/25

 Date

OWNER STATEMENT

I am the owner of the above described property and I agree to this application. By signing this application, I certify that all fees, charges, utility bills, taxes, special assessments and other debts or obligations due to the City of Rogers by me or for this property have been paid. I further certify that I am in compliance with all ordinance requirements and conditions regarding other city approvals that have been granted to me for any matter. (If the owner is a corporation or partnership, a resolution authorizing this action on behalf of the board or partnership must be attached.)



 Owner Signature

9/25/25

 Date

VARIANCE WORKSHEET

1. Detail specifically the deviation(s) from code proposed (e.g. code requires X ft setback, requesting X ft setback).

The City of Rogers sign code allows 120 sqft for digital signage. We are requesting a variance to allow a 211 sqft sign. No other deviations besides the allowed square footage of digital signage is being requested.

2. Describe how the request is in harmony with the general purpose and intent of zoning for the property.

Our dealership sits along I-94, where higher traveling speeds require clear, legible signage for safe navigation. A larger sign ensures motorists can identify our location and information presented to them while making safe driving decisions, from either side of the highway. The design compliments the commercial corridor, avoids visual clutter, and remains consistent with the overall intent of the zoning code.

3. Describe how the request is consistent with the Comprehensive Plan.

The larger digital sign supports the Comprehensive Plan by enhancing visibility along I-94, a key regional corridor, and promoting safe recognition of our business at highway speeds. It strengthens Rogers' commercial corridor by supporting a long-standing dealership, helping sustain jobs, investment, and tax base. The sign will be modern and professional, consistent with the character of other highway-oriented businesses.

4. Describe why the proposed use is reasonable.

Our previous sign to our current one was much larger. We are making no structural changes to the current sign structure. We are only looking to replace the digital signage hosted by the structure. We believe 211sqft is reasonable for the 500yd+ of I-94 frontage, and is necessary for legibility from both east-bound and west-bound motorists. Our property used to host two tall on-site signs right alongside 94, with one being taken down years ago.

5. Describe the following: *circumstances unique to the property, why the need for the variance was not created by the property owner, and why the need is not solely based on economic considerations.*

Our property is located directly off of interstate 94, with thousands of vehicles passing by daily at speeds of 70mph. Accessibility to read signage at these speeds is crucial for safety of drivers on the interstate.

6. Describe why the variance would not alter the essential character of the neighborhood.

We are replacing a pre-existing sign with this proposed sign, and there would be no residential disturbance with an increase in size.

Miller Chevrolet of Rogers Sign Variance Request

Miller Chevrolet of Rogers is requesting a variance from the City of Rogers sign code, which currently limits digital signage to 120 square feet. We are applying for approval of a **211 square foot digital sign**.

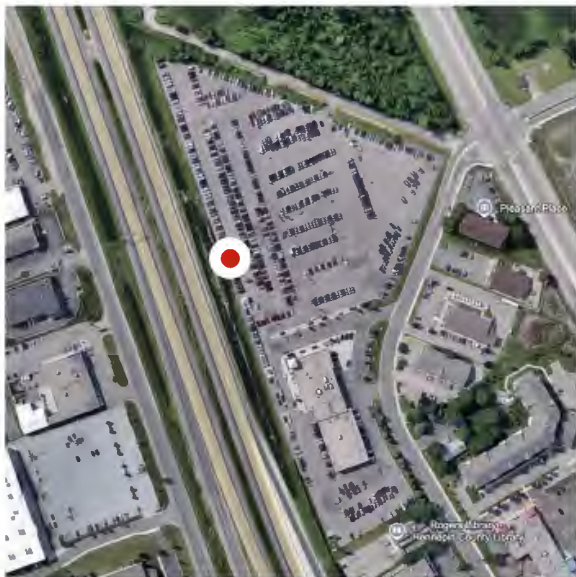
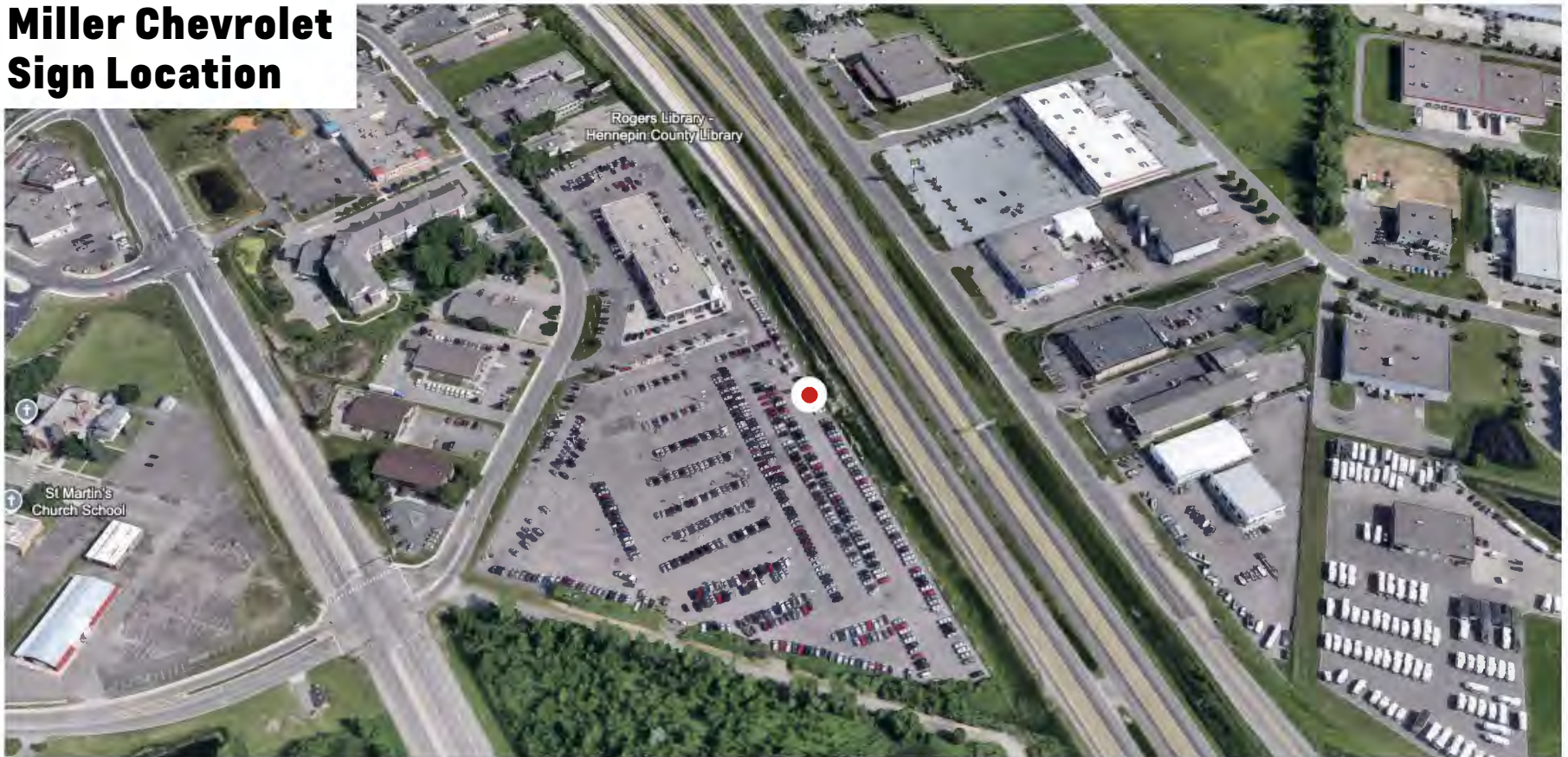
Our dealership is located immediately west of Interstate 94, where thousands of vehicles travel past our property every day at speeds up to 70 miles per hour. At these speeds, motorists require larger, clearer signage to safely and effectively identify businesses in time to make navigation decisions. A sign limited to 120 square feet does not provide adequate visibility for drivers traveling at highway speeds, especially given the distance between the interstate and our property. The proposed sign ensures legibility, reduces last-minute maneuvers, and promotes safer traffic flow.

Historically, our dealership maintained two separate signs on the property to achieve this level of visibility. One of those signs has since been removed, leaving us with a single sign to serve the same function. In addition, our previous sign prior to the current one was of a similar size to the proposed sign, making this request consistent with the property's past use and appearance.

This variance does not include deviations for height, setbacks, or placement—only the face area. The enlarged sign will be professionally designed, in harmony with the appearance of surrounding commercial properties, and fully consistent with the goals of supporting economic vitality, safe transportation corridors, and a strong commercial identity along major routes.

Thank you,
Thomas Miller
Miller Chevrolet

Miller Chevrolet Sign Location



PROPOSED SIGN



Overall Size: 8'5" x 25'2"
Sq Footage: 211

RHL Inc. Mockup



STAFF REPORT

Meeting Date: November 3, 2025

**ROGERS PLANNING
COMMISSION**

Agenda Item: 5.1

Subject: Consideration of a Concept Plan for the Redevelopment of the Property 21601 John Deere Lane into Multifamily Residential by Bader Companies and Ebert Companies

Prepared By: Brett Angell, Community Development Director

Overview / Background / Analysis

Bader Companies and Ebert Companies (collectively referred to as the "Developer") have submitted a concept plan application for the property located at 21601 John Deere Lane. The Developer is proposing to re-develop the existing industrial property into a market-rate multifamily residential development featuring 181 units and amenity features. The concept plan application allows for the Planning Commission and City Council to provide feedback on the proposed design prior to the finalization of the plans. There is no official action that is being taken with concept plans.

Site Information

21601 John Deere Lane ("Subject Property") is an approximately 4.6-acre parcel that is currently, and historically, being used for industrial purposes of heavy truck repair and service, as well as tire sales. The property is currently two parcels. The property features a steel building of approximately 12,500 and the rest of the property primarily is an unimproved class-5 area used for parking and storage. The site does have soil contamination from its past uses which would be remediated as part of a redevelopment.

The Subject Property is zoned and guided as DT- Downtown Mixed Use. This zoning and guidance is a mixed-use district which allows for a variety of uses, including primarily residential, office, and commercial use types. Per the previous Main Street/Downtown planning efforts the city has completed, the Subject Property has been shown as high-density residential. The proposed zoning and guidance allows for up to 40 units per acre. The proposed use for the redevelopment is consistent with the zoning and guidance for the property. The intention of the previous planning efforts to seek multifamily residential in this area was to further support the commercial uses nearby on Main Street.

Adjacent uses to the proposed site include industrial to the west, the railroad tracks to the south, commercial and industrial to the east, and the future civic campus site to the north. Much of the existing industrial in the nearby area is legally nonconforming and planned for future redevelopment.

Site Plan Review

The proposed site plan includes 181 units of market-rate residential with corresponding amenity features for residents. The proposed unit mix includes 22 alcove units, 18 studio units, 58 1-bedrooms, 12 1-bedroom + den, 62 2-bedrooms, and 9 3-bedrooms. The building is fairly centralized on the site in a somewhat H design. There is a centralized courtyard in the middle ground level with a pool and clubhouse for residents. The proposed development meets all code requirements as it pertains to setbacks.

The building ranges from three (3) stories abutting John Deere Lane to approximately 3.5-stories in height abutting the railroad track. Additionally, there is a level of underground parking in the development. The site currently slopes slightly down, explaining the reasoning for the height variation. The overall height is approximately 31 feet at the front, which is below the maximum height of 60 feet for the DT zoning district.

Parking and Access

The proposed site plan includes a total of 358 spaces. This consists of 195 enclosed spaces in the underground ground with an additional 163 surface level spaces. The proposed number of spaces is very slightly below the 2 spaces per unit requirement of City Code. Staff are very comfortable with the proposed number of parking spaces for the proposed development, especially taking into consideration the variety of units proposed, which are studio, alcove and 1-bedroom units. Additionally, the proposed parking plan exceeds the number of enclosed spaces which would be required.

Access to the proposed development would be served off of John Deere Lane in two locations. John Deere Lane is currently a dead-end, so those coming to and from the site would utilize Main Street to access to John Deere Lane. Based on the current structure of the site and railroad to the site, the proposed access is logical for the development.

The developer is also seeking to install a sidewalk along John Deere Lane for a pedestrian connection from the building to Main Street. The pedestrian connection aligns with the overall downtown plans, which identify a need for sidewalk connections along John Deere Lane as the area redevelops.

Architectural Review

The proposed materials for the facade of the building include a mix of brick, block, cement fiberboard, glazing and metal accents. The east side of the property has a concentration of brick, which is the primary portion of the building that would be visible from public right-of-way. The intention of concentrating brick to this portion of the building was in collaboration with staff direction in an effort to create district uniformity for materials. Renderings for the proposed building are included for review.

City Staff Review

As part of the concept plan review, applications are reviewed from a high level by city

departments for items that may be of a concern or to incorporate into future submittals. There were no major items of concern that were identified by any of the reviewing departments. Staff met with the developer throughout the process of design to ensure the proposed design is informed on city processes and code requirements. Some of the high level areas of comment from city staff included:

- Recommendation to include a traffic analysis with future submissions. While not a required element of future submissions, staff recommend including this information for analysis of any impacts to the surrounding area.
- Incorporation of evergreen or additional trees on the northeast portion of the site to add screening from the future police department location.
- Additional scoping and review of previously vacated utilities on the site.
- Providing a truck turning exhibit to ensure emergency vehicles can properly access all portions of the building.
- Recommendations for fire hydrant placements.

Next Steps

Following the full review of the concept plan by the Planning Commission and City Council, the Developer will take the feedback and comments and amend the plans, if applicable and if they deem they wish to continue moving forward. Future applications would include a new plat and site plan review. With the new plat, there would be a public hearing as part of the future plan review. It is anticipated the future land use applications will be submitted in the winter with the intention of beginning construction in Spring 2026, if approved.

Staff Recommendation

Staff recommend the Planning Commission review and provide feedback on the concept plan application by Bader Companies and Ebert Companies for the property at 21601 John Deere Lane.

Financial Impact: Not applicable. **Source Fund:** Not applicable.

Budgeted? N/A

Supporting Documentation

- A. Willis Trucking Concept Plan Project Narrative
- B. Location Map
- C. Concept Site Plan
- D. Architectural Renderings

Willis Trucking Apartments Concept Plan

Project Narrative

We are proposing the redevelopment of Willis Trucking into an 181-unit market rate apartment community on an approximately 4.61-acre site. The project is designed to integrate seamlessly into the broader reinvestment of the Main Street / downtown district of Rogers. With the coming public campus and this apartment project we are very excited to be part of an influx of energy and people in the area. The new development will be a 3-story building over a 1 level of underground parking. The unit mix will contain Alcove, Studio, 1-Bedroom, 2-Bedroom, and 3-Bedroom units. We are targeting 358 parking stalls in total – this is made up of 195 enclosed parking stalls and an additional 163 surface stalls outside the building. This would provide an overall parking ratio of just under 2:1.

The new building will be highly amenitized and with market standard unit finishes. We hope to provide amenities that could include a clubroom and lounge, outdoor terrace with grill stations and an outdoor pool, green space, pet spa, coffee lounge, secured building access, mail and package room, bike storage, work from home lounge, and a fitness center. Unit finishes may include the following: quartz countertops, 9' ceilings, large windows, kitchen islands, tile backsplash, stainless steel appliances, walk-in closets, balconies, washer and dryers, built in desks, and programmable thermostats.

The site is thoughtfully organized around two distinct courtyards – one front-facing along the public edge and another nestled within the interior of the development. The interior courtyard serves as a central amenity space for residents, fostering a sense of community and encouraging social interaction. The courtyard contains a pool area, outdoor eating and grilling areas, a fire pit, and places to socialize with residents and meet friends. Facing John Deere Lane, the front courtyard acts as a green buffer between the building and the street, offering an outdoor amenity for the residents and connection to the surrounding neighborhood. This courtyard also helps reduce the perceived mass of the building, creating a more approachable and human-scaled facade. Additionally, it provides an inviting outdoor amenity for residents and frames a clear, welcoming entry point at the project's arrival zone. Interior amenity areas connect to the courtyards creating a cohesive community atmosphere.

The building's exterior massing is carefully articulated at corners and endpoints to establish a hierarchy within the overall form. These shifts in volume, combined with strategic changes in materials, window rhythms, and balcony placements, contribute to the architectural character and visually break down the building's overall length. Individual balconies become front porches at the ground level and offer direct resident access providing greater connections to the overall development and increased activity for the site.

The property is zoned DT - Downtown District. Future land use is designated Mixed Use Downtown in the 2040 Comprehensive Plan. The Mixed-Use Downtown District allows for density of 8-40 units per acre. This new community development will have a density of 39 units per acre. The adjacent properties have the same current zoning and future land use guidance of either Mixed Use Downtown or High Density Residential. The development property is also identified as a Redevelopment Opportunity and Downtown Focus Area in the 2040 Comprehensive Plan as well as in the Downtown Master Plan. The proposed development is compatible with city code, zoning, and land use policies.

The development team consists of a partnership between Bader Companies and Ebert Companies. Together they will develop, construct, and own the property. Ebert Companies will be the general contractor and Bader

Companies will be the property manager who will oversee the day-to-day onsite management and maintenance of the community upon construction completion.

The new community will be completed in one phase with an anticipated construction start in spring 2026. Leasing is anticipated to begin in the summer of 2027. The building is anticipated to be completed in fall 2027, at which point will welcome the first residents.



Hino of Rogers

Allstate Peterbilt of Rogers

John Deere Ln

Unitech Electronic Contracting

Main St

Main St

John Deere Ln

Sniezek Group Agency: Allstate Insurance

Physicians

Rogers Ace

Guadalajara Rogers Mexican Restaurant

Heritage Place

Rogers Library - Hennepin County Library

Miller Ch

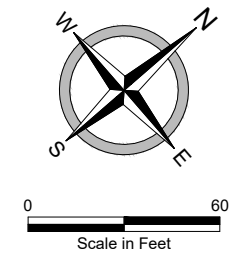
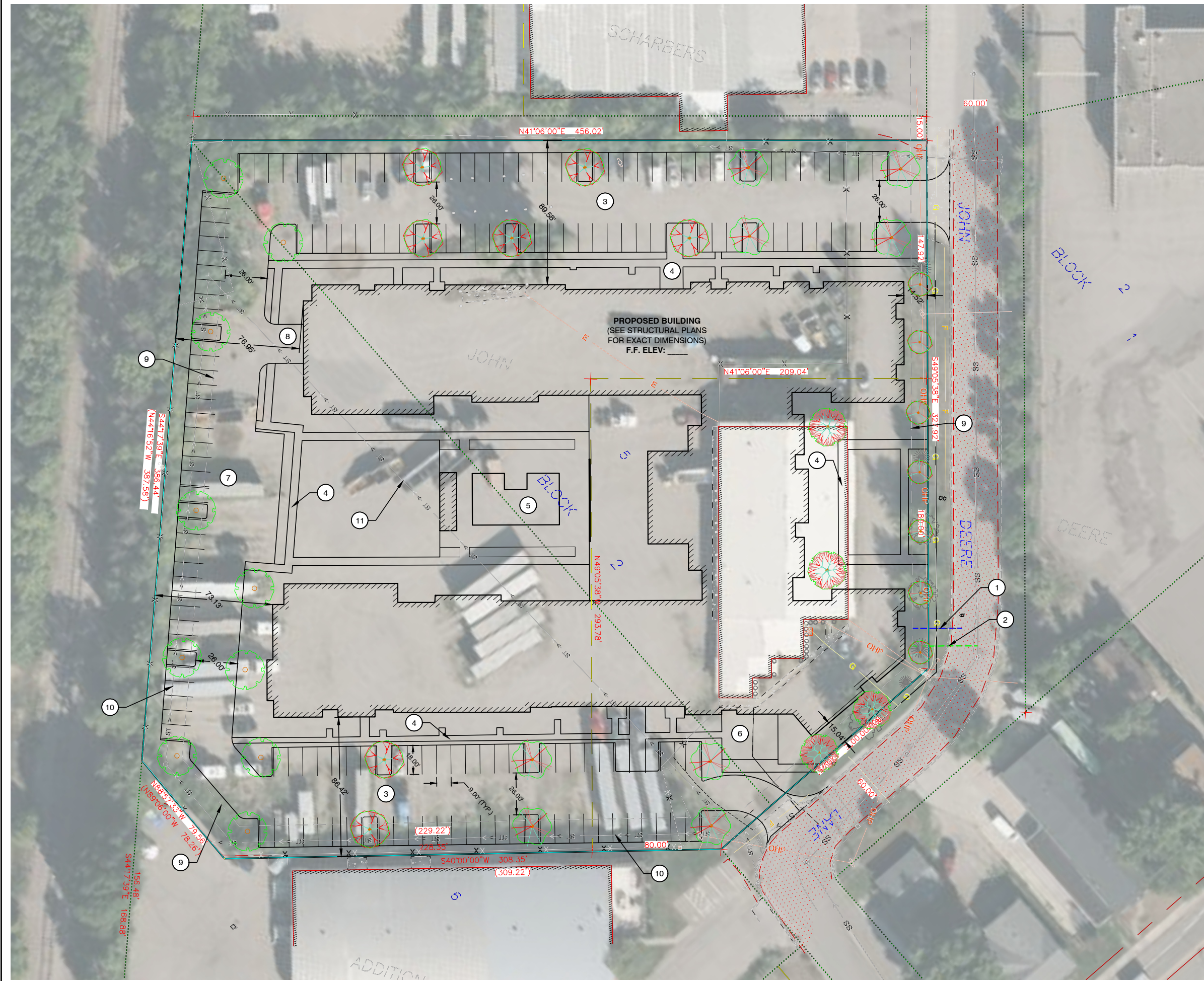
ADO Products

Industrial Blvd

John Millies Dr

Pleasant Place





PRELIMINARY

SITE

- ① PROPOSED WATER SERVICE
- ② PROPOSED SANITARY SERVICE
- ③ PROPOSED ASPHALT DRIVEWAY/PARKING LOT
- ④ PROPOSED CONCRETE SIDEWALK
- ⑤ PROPOSED OUTDOOR POOL
- ⑥ PROPOSED FRONT ENTRANCE
- ⑦ PROPOSED UNDERGROUND STORMWATER BMP
- ⑧ PROPOSED UNDERGROUND PARKING ENTRANCE
- ⑨ EXISTING D&U EASEMENT
- ⑩ EXISTING STORM SEWER
- ⑪ ABANDONED STORM SEWER



GENERAL
 WILLIS TRUCKING SITE
 JOHN DEERE LANE
 ROGERS, MN
CONCEPT SITE PLAN

DATE:	---
REV DATE:	---
REV NUM:	---
RECORD:	---
PROJECT No.	---
MANAGER:	---
DESIGNER:	---
DRAFTER:	---
REVIEWER:	---

WILLIS TRUCKING SITE
JOHN DEERE LANE
ROGERS, MN









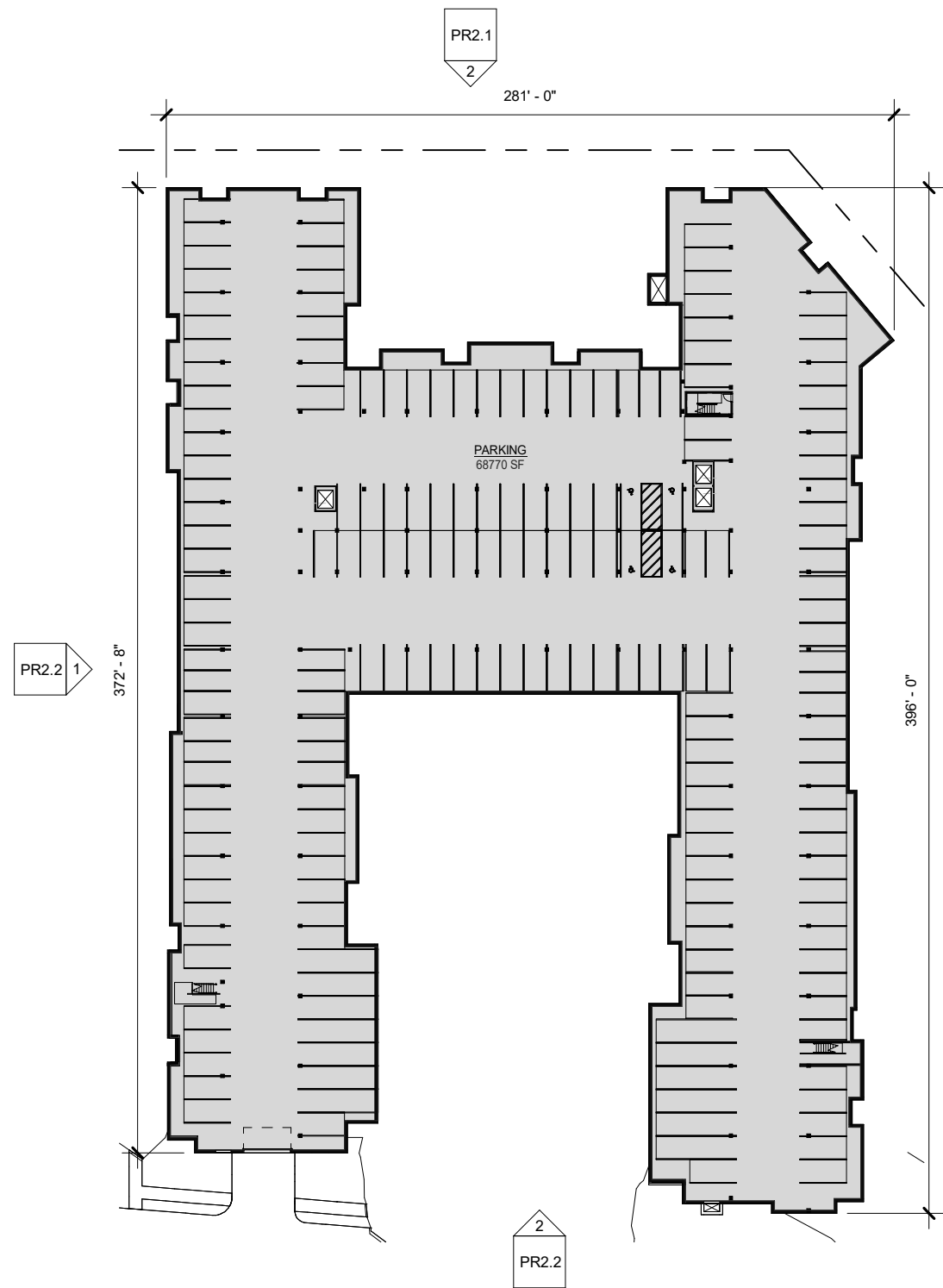




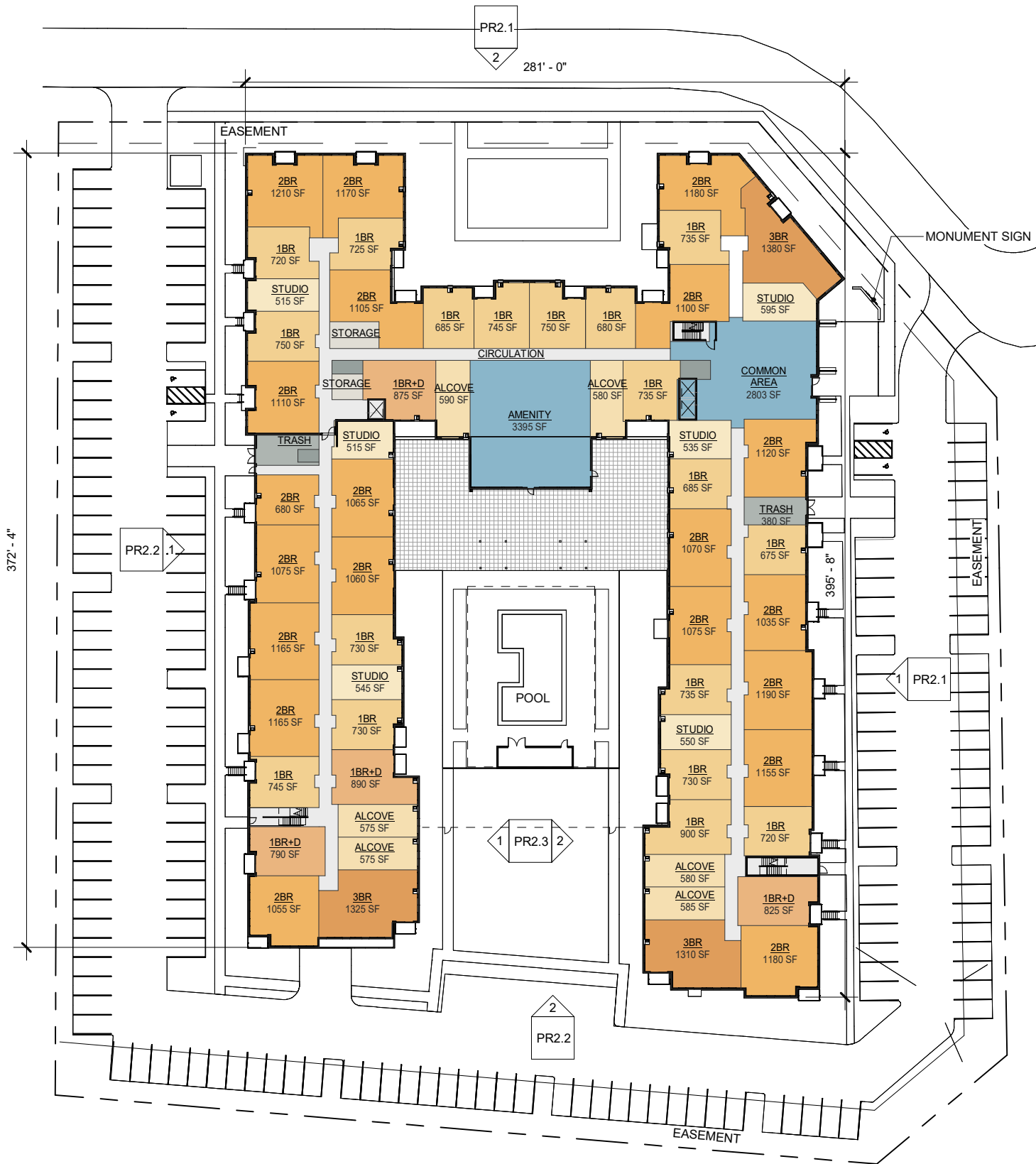


1 | SITE AND SURROUNDING AREA
1" = 160'-0"





2 LOWER LEVEL FLOOR PLAN
1/64" = 1'-0"



1 LEVEL 1 FLOOR PLAN
1/64" = 1'-0"

LEVEL	AREA
LOWER LEVEL	68,770 SF
LEVEL 1	62,880 SF
LEVEL 2	61,840 SF
LEVEL 3	61,850 SF
GRAND TOTAL	255,340 SF

UNIT TYPE	#	%	AREA*
1BR	58	32%	43130 SF
1BR+D	12	7%	10155 SF
2BR	62	34%	68765 SF
3BR	9	5%	12055 SF
ALCOVE	22	12%	12830 SF
STUDIO	18	10%	9675 SF
UNITS TOTAL	181		156615 SF

PARKING LEVEL	#
LOWER LEVEL	195
SURFACE LOT	172
TOTAL PARKING	367

SEE CIVIL AND LANDSCAPE DRAWINGS FOR EXTERIOR IMPROVEMENTS AND BUILDING LOCATION



2 | LEVEL 3 FLOOR PLAN
1/64" = 1'-0"



1 | LEVEL 2 FLOOR PLAN
1/64" = 1'-0"



1 | **SOUTHEAST ELEVATION**
1" = 30'-0"

EXTERIOR MATERIALS - SOUTHEAST		
SOUTHEAST		
BRICK	1670 SF	13.9%
BURNISHED BLOCK	214 SF	1.8%
FIBER CEMENT SIDING	6174 SF	51.3%
GLAZING	3772 SF	31.4%
METAL INSULATED DOOR	133 SF	1.1%
SF GLAZING	66 SF	0.5%
	12030 SF	

EXTERIOR MATERIALS - EAST		
EAST		
BRICK	1334 SF	49.3%
FIBER CEMENT SIDING	595 SF	22%
GLAZING	775 SF	28.7%
	2703 SF	



2 | **NORTHEAST ELEVATION**
1" = 30'-0"

EXTERIOR MATERIALS - NORTHEAST		
NORTHEAST		
BRICK	3632 SF	41.5%
FIBER CEMENT SIDING	2581 SF	29.5%
GLAZING	2535 SF	29%
	8748 SF	



1 | NORTHWEST ELEVATION
1" = 30'-0"

EXTERIOR MATERIALS - NORTHWEST		
NORTHWEST		
BRICK	3276 SF	23.5%
BURNISHED BLOCK	699 SF	5%
FIBER CEMENT SIDING	5902 SF	42.4%
GLAZING	3770 SF	27.1%
METAL INSULATED DOOR	271 SF	1.9%
	13920 SF	



2 | SOUTH ELEVATION
1" = 30'-0"

EXTERIOR MATERIALS - SOUTHWEST		
SOUTHWEST		
BURNISHED BLOCK	1265 SF	11.7%
FIBER CEMENT SIDING	6151 SF	56.8%
GLAZING	3059 SF	28.3%
SF GLAZING	348 SF	3.2%
	10823 SF	



1 COURTYARD - NW SIDE
1" = 30'-0"

EXTERIOR MATERIALS - COURTYARD NW SIDE		
COURTYARD - NW SIDE		
BRICK	1148 SF	9.1%
BURNISHED BLOCK	517 SF	4.1%
FIBER CEMENT SIDING	8022 SF	63.4%
GLAZING	2973 SF	23.5%
	12661 SF	



2 COURTYARD SE SIDE
1" = 30'-0"

EXTERIOR MATERIALS - COURTYARD SE SIDE		
COURTYARD - SE SIDE		
BRICK	883 SF	7.6%
BURNISHED BLOCK	541 SF	4.7%
FIBER CEMENT SIDING	6963 SF	59.9%
GLAZING	3242 SF	27.9%
	11629 SF	



STAFF REPORT

Meeting Date: November 3, 2025

ROGERS PLANNING COMMISSION

Agenda Item: 5.2

Subject: Consideration of a Site Plan Application for the Commerce Boulevard Small Bay Warehouse Development

Prepared By: Eric Burtness, Community Development Specialist

Overview / Background / Analysis

The applicant, CRCL Group, has submitted a Site Plan Application for the development of two small-bay office/warehouse buildings totaling approximately 62,190 square feet on a 3.47-acre parcel located along Commerce Boulevard. The property is zoned Regional Employment Center (RC) and guided Mixed Use Regional under the City's 2040 Comprehensive Plan. The development is designed to serve small businesses and users seeking flexible space for office, storage, and warehouse-style workspace.

The proposed development consists of two single-story buildings providing individually owned or leased bays for small business tenants. Each unit features an overhead door, pedestrian access, and the option for an internal office or mezzanine. This type of development is intended to support local entrepreneurs, contractors, distributors, and hobbyist users seeking secure, climate-controlled spaces for business operations or vehicle storage. The proposal represents a low-intensity, flexible use consistent with the City's RC zoning and the Mixed-Use Regional land use designation.

ZONING AND LAND USE

The property is zoned Regional Employment Center (RC). The RC district is intended to accommodate commercial, office, light industrial, and limited residential uses in areas with regional visibility and access. The proposed small-bay office/warehouse use aligns with permitted uses within the RC District. The development is consistent with the intent of the RC district and supports the Mixed-Use Regional land use category by providing employment-oriented space that contributes to the local tax base and business diversity.

The proposed site plan meets or exceeds the required setbacks per the RC zoning district. The proposed site plan is under the maximum impervious surface requirement for the zoning district. The proposed buildings have a total height of approximately 31 feet, which is below the maximum height requirement for the RC district.

PARKING AND ACCESSIBILITY

The site includes parking lots serving both buildings, providing a total of 64 stalls (40 for Building A and 24 for Building B). City Code requires one parking stall per 2,000 sq. ft. of gross floor area, or 33 spaces, indicating that the site exceeds minimum requirements. ADA Accessibility: Building A: 2 ADA stalls + 1 passenger loading zone & Building B: 1 ADA stall + 1 passenger loading zone. ADA stalls are recommended to be positioned near the Fire Department Connections (FDCs) to maximize accessibility and efficiency. All parking and accessibility provisions comply with City Code.

FIRE DEPARTMENT REVIEW

Fire Marshal Jason Albers provided review comments and required revisions include:

1. Add a hydrant at the north corner of the north building.
2. Add a hydrant at the south entrance (within 150 feet of FDCs).
3. Show FDCs and exterior riser room access on both buildings.
4. Relocate the trash enclosure to improve truck access and turning movement.
5. Mark curbs and drives with “No Parking – Fire Lane” signage.
6. Maintain clear snow storage outside fire lanes.
7. Both buildings are to be equipped with automatic sprinkler systems per the Fire Code.

All Fire Department conditions will be incorporated into the final plans prior to building permit approval.

STORMWATER MANAGEMENT

The proposed stormwater system includes an on-site bio-infiltration pond located along the west side of the property, designed to manage runoff from roofs and paved surfaces. The stormwater management is designed to treat the new impervious surfaces meeting the Elm Creek Watershed and City design standards. Prior to the issuance of a building permit, the applicant is required to obtain final watershed approval. Per the Engineering Department comments, the Applicant will be required to dedicate drainage and utility easements.

LANDSCAPING AND SCREENING

While specific plant counts were not provided, the submitted landscape plan includes tree and shrub groupings along the property frontage, parking lot edges, and stormwater pond. Staff finds that the layout satisfies the intent of the City Code by providing appropriate screening and enhancement of site appearance. A final plan with plant quantities and species lists will be required prior to permit issuance.

ARCHITECTURAL REVIEW

The proposed building design includes primarily pre-cast concrete panels with vertical accent panels designed to appear as wood and additional glazing and metal accents. The proposed building architecture is consistent with City Code requirements. Renderings for the proposed design are included for review.

OTHER CONSIDERATIONS

- No plat is required.
- Site Improvement Performance Agreement (SIPA) and Stormwater Maintenance Agreement are required.
- Elm Creek WMC coordination is ongoing.
- No public improvements beyond site work are anticipated.
- The use is permitted within the RC District.
- The site meets or exceeds applicable setback, lot coverage, height, and parking standards.
- Fire and Engineering comments can be addressed through final plan revisions and standard conditions.
- The project supports the intent of the 2040 Comprehensive Plan by promoting employment and business diversification in a regional mixed-use corridor.

Staff Recommendation

Motion to recommend approval of the Site Plan for the Commerce Boulevard Autoplex (P2025-030),

subject to the conditions as listed in the draft resolution.

A draft Resolution 2025-83 is attached for consideration.

Financial Impact:

N/A

Source Fund:

N/A

Budgeted? N/A

Supporting Documentation

- A. Resolution 2025-85 Commerce Blvd Small Bay Warehouse
- B. Project Narrative
- C. ALTA Survey
- D. Site Plan
- E. Commerce Blvd. Development Civil Plans
- F. Landscaping Plan
- G. Architectural Renderings

RESOLUTION NO. 2025-85

A RESOLUTION APPROVING A SITE PLAN FOR THE ROGERS COMMERCE BOULEVARD SMALL BAY WAREHOUSE DEVELOPMENT

WHEREAS, CRCL Group ("Applicant") with engineering services provided by Sambatek, Inc. has submitted a Site Plan (P2025-030) for the development of two small-bay office/warehouse buildings totaling approximately 61,190 square feet on a 3.47-acre parcel located along Commerce Boulevard, identified as PID 23-120-23-11-0016, and legally described in Exhibit A; and

WHEREAS, the property is zoned Regional Employment Center (RC) and guided for Mixed Use Regional in the 2040 Comprehensive Plan; and

WHEREAS, the proposed development consists of two single-story structures providing flexible bays intended for light industrial, office and small-scale storage users, a use consistent with the permitted non-residential uses; and

WHEREAS, the Planning Commission finds that the proposed development is consistent with the City's Zoning Ordinance and 2040 Comprehensive Plan, meets all applicable dimensional, parking and landscaping standards of the RC District, and that identified conditions of approval adequately address Fire, Engineering and Watershed requirements.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Rogers, Hennepin County, Minnesota, that the site plan for the Commerce Boulevard Small Bay Warehouse at PID 23-120-23-11-0016 is hereby approved, subject to the following conditions:

1. Execution of a Site Improvement Permit Agreement (SIPA) prior to issuance of any permits.
2. Execution and recording of a Stormwater Maintenance Agreement prior to issuance of a Certificate of Occupancy.
3. Address all Elm Creek Watershed Management Commission comments and obtain final approval prior to permit issuance.
4. Incorporate all Fire Department comments into the final plan set, including the addition of fire hydrants, FDCs, riser room access and marked fire lanes.
5. Provide ADA stalls and loading zones per Building Code requirements.
6. Relocated the trash enclosure as required by Fire Department review.
7. Dedication of any required drainage and utility easements as determined by the City Engineer.
8. Update the landscape plan to include plant counts and species constant with the City Code.
9. Comply with all applicable City Code, Building Code and state requirements.

BE IT FURTHER RESOLVED that the City staff are authorized to take all actions necessary to execute agreements and documents associated with this approval.

Councilmember _____ moved, Councilmember _____ seconded the motion.

The following voted in favor of said resolution:

The following voted against said resolution:

The following abstained:

Whereupon said resolution was declared duly passed and adopted and was signed by the Mayor and attested by the Clerk this 13th day of November 2025.

Shannon Klick, Mayor

ATTEST:

Stacie Brown, City Clerk

EXHIBIT A
Legal Description

Registered Land Survey No. 1701, Hennepin County, Minnesota

Torrens Property

PID 23-120-23-11-0016

Project Narrative

Commerce Boulevard development

PID: 2312023110016 – Rogers, Minnesota

Date: October 2025

1. Project Overview

The proposed development is located on a 3.47-acre parcel in the City of Rogers, Minnesota, identified by Parcel ID 2312023110016. The site is currently zoned Mixed-Use Regional and is positioned along Commerce Boulevard, which offers convenient regional access and visibility.

The project will consist of two new buildings designed for flexible small bay office and commercial use, totaling approximately 62,190 square feet. The buildings will include 36 individual bays suitable for a range of tenants including storage, warehouse, and office users.

2. Site Design and Access

The development will be accessed directly from Commerce Boulevard, with internal drive aisles and parking provided to serve both buildings and their individual bay tenants. Site circulation has been designed to accommodate delivery vehicles and fire trucks, while still maintaining efficient parking for employees and visitors.

3. Building Design

Two single-story structures are proposed with the following approximate dimensions:

- **Building 1:** 66 feet wide by 313 feet long
- **Building 2:** 132 feet wide by 313 feet long

The general **parapet height** for both buildings will be **29 feet**, with architectural accent elements extending up to **31 feet** in certain locations. The structures will be designed with a modern, durable exterior suited for commercial use, with flexibility for tenant customization.

Each bay will be provided with individual service entrances and overhead doors, designed for a variety of commercial and office uses.

4. Occupancy and Use

- **Building Code Classification (IBC):**
The design anticipates a mix of **S-1** and **F-1** occupancies to allow for tenant flexibility.
 - **Zoning Use Assumption:**
The primary intended use is **storage**, with allowances for **warehouse** and **office** components in smaller proportions, consistent with the zoning designation.
-

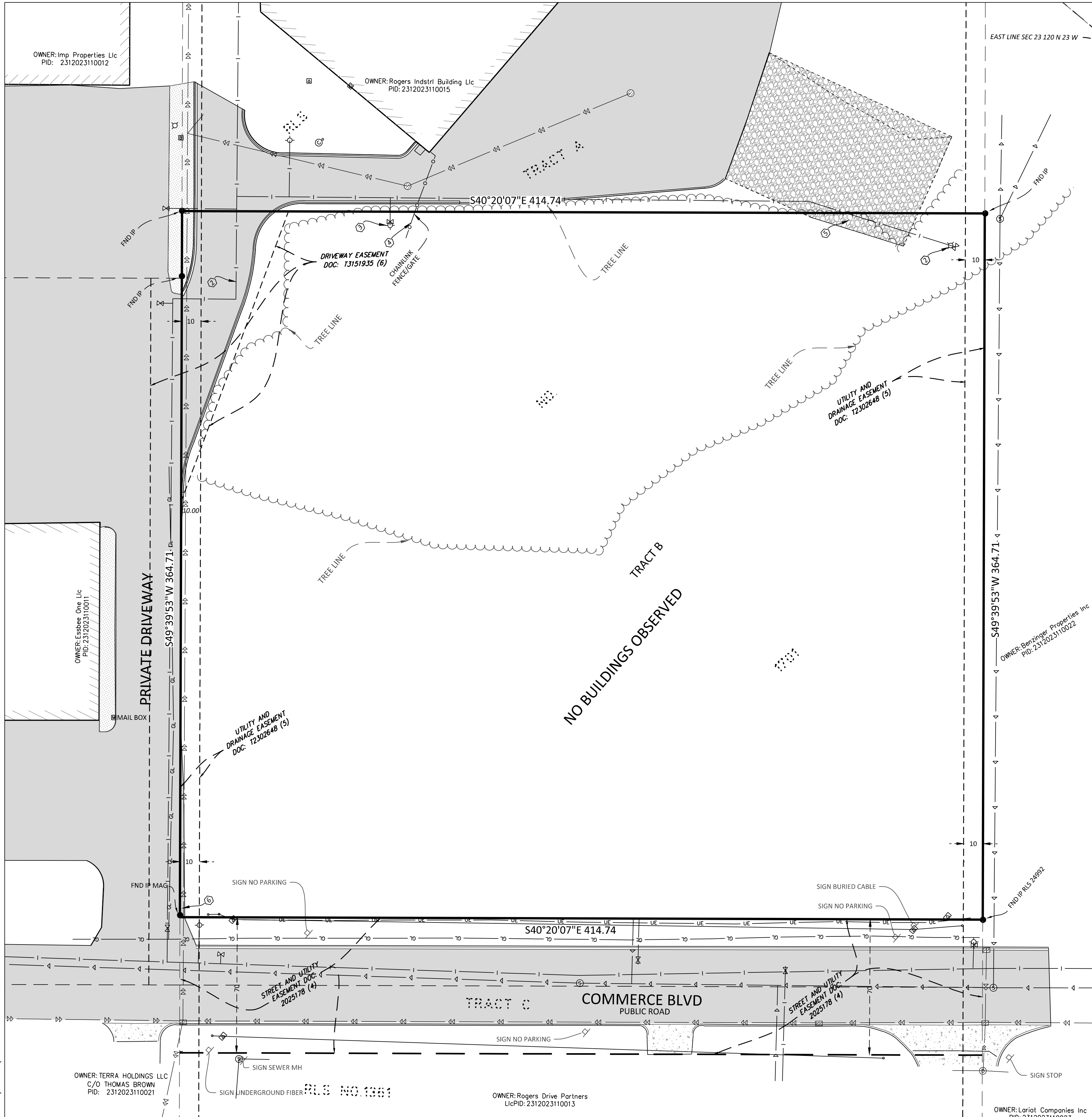
5. Construction Timeline

Construction is anticipated to begin in **Spring 2026**, pending final approvals, permitting, and weather conditions.

6. Summary

This project is intended to meet the growing demand in Rogers for flexible small-bay office and commercial spaces. The layout, zoning compliance, and building design reflect the City's goals for economic growth and land use diversification in mixed-use zones.

The project team looks forward to working with the City of Rogers throughout the review and permitting process.



LEGEND

● FOUND MONUMENT	--- BOUNDARY LINE
⊕ GATE VALVE / HYDRANT	- - - EASEMENT LINE
⊙ SANITARY MANHOLE	- - - RIGHT-OF-WAY LINE
⊙ STORM MANHOLE	- - - SECTION LINE
⊙ STORM CATCH BASIN	- - - SETBACK LINE
⊠ TRANSFORMER	- - - TIE LINE
⊠ SIGN	▨ BUILDING LINE
⊠ GAS METER	▬ CONCRETE CURB
⊙ ELECTRIC MANHOLE	—○— CHAIN LINK FENCE
⊠ TELEPHONE PEDESTAL	--- CONTOUR
⊠ CABLE TV BOX	—○— SANITARY SEWER LINE
⊙ COMMUNICATIONS MANHOLE	—○— STORM SEWER LINE
⊙ SPOT ELEVATIONS	—○— WATERMAIN
⊙ DECIDUOUS TREE	—○— UNDERGROUND ELECTRIC
▨ BITUMINOUS SURFACE	—○— UNDERGROUND GAS LINE
▨ GRAVEL	▨ CONCRETE
▨ GRASS	

- ### "TABLE A" NOTES
- The survey shows property corner monuments or witness to the corner that were found during the field work.
 - Address has not been assigned.
 - The surveyed property lies within Flood Plain Zone X - 'Areas determined to be outside the 0.2% annual chance flood plain', as depicted by scaled map location and graphic plotting according to FEMA, FIRM Map No. 27053C0033F dated 11/04/2016.
 - The gross land area of the surveyed property is 3.47 Acres or 151,259.65 Square Feet.
 - The zoning information has not been provided by the client.
 - No buildings observed 7(a), 7(b) (1), 7(c)
 - Visible substantial features observed in the process of conducting the fieldwork are shown hereon.
 - No parking spaces observed
 - The names of adjoining land owners according to the current county tax records as of 8/20/2025 are shown on the survey.

SUBJECT PROPERTY

Description from title commitment:
 Tract B, Registered Land Survey No.1701, Hennepin County, Minnesota

The following notes correspond to the reference numbers listed in Schedule B, Part II of the title commitment.

- A street and utility easement as shown in document filed July 11, 1989, as Document No. T02025178. **The easement lies adjacent to the surveyed property as shown hereon.**
- A drainage and utility easement as shown in document filed October 2, 1992, as Document No. T2302648. **The easement lies within the surveyed property as shown hereon.**
- A perpetual non-exclusive driveway and the covenants, terms obligations and conditions, as shown in document filed April 30, 1999, as Document No. T3151935. **The easement lies within the surveyed property as shown hereon.**

- ### OBSERVED POSSIBLE ENCROACHMENTS
- Fire hydrant
 - Approximate location of watermain
 - Fire hydrant
 - Fence
 - Gravel surface entering property from the north
 - Pavement crossing into the property

SURVEY NOTES

- This survey was prepared utilizing Title Commitment No. 201582-CI issued by the Old Republic National Title Insurance Company, bearing a commitment date of July 23, 2025.
- The bearing system is based on the Hennepin County coordinate system, NAD83 (2011 Adjust), with an assumed bearing of S 00°24'43" E for the East line of NE ¼ of the NE ¼ OF SEC 23 120 N 23 W.

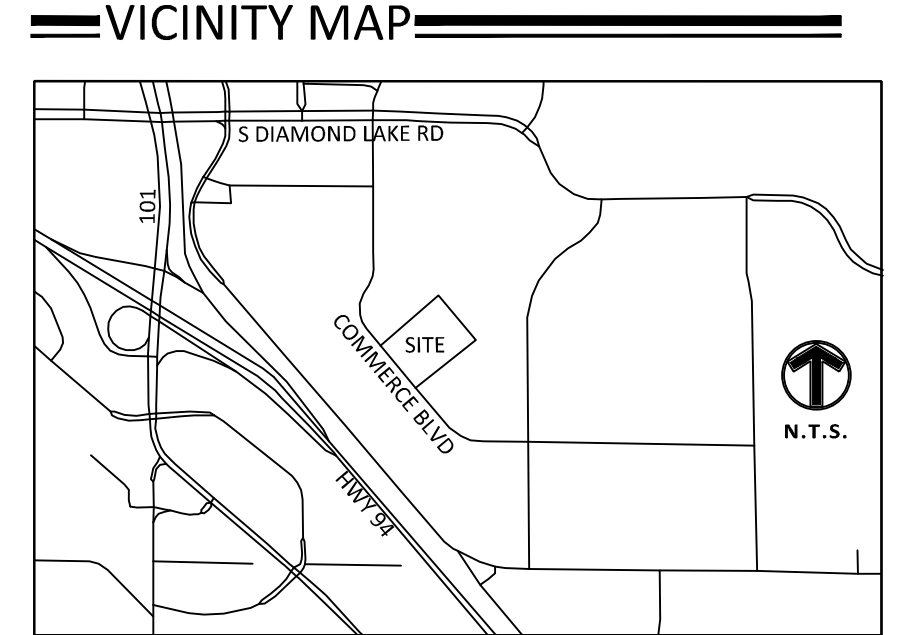
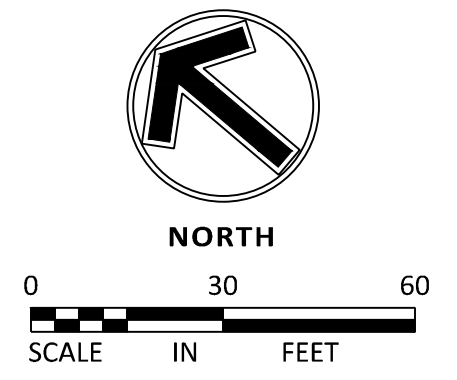
CERTIFICATION

To CRCL Group LLC, a Minnesota limited liability company, and Old Republic National Title Insurance company.
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b) (1), 7(c), 8, 9, and 13 of Table A thereof. The field work was completed on 8/20/2025.

Dated this 19th day of September, 2025.

Sambatek, Inc.

Mark R. Salo
 Minnesota License No. 43933
 msalo@sambatek.com
 12800 Whitewater Drive, Suite 300 Minnetonka, Mn 55343



NO	DATE	BY	CKD	APPR	COMMENT
1	9/19/2025	MS			Revise Subject Property Note #4

DATE ISSUED	9/03/2025
DRAWN BY	DA
DESIGNED BY	DA
CHECKED BY	MS
PROJECT NO.	53862

DATE ISSUED: 9/03/2025

DRAWN BY: DA

DESIGNED BY: DA

CHECKED BY: MS

PROJECT NO.: 53862

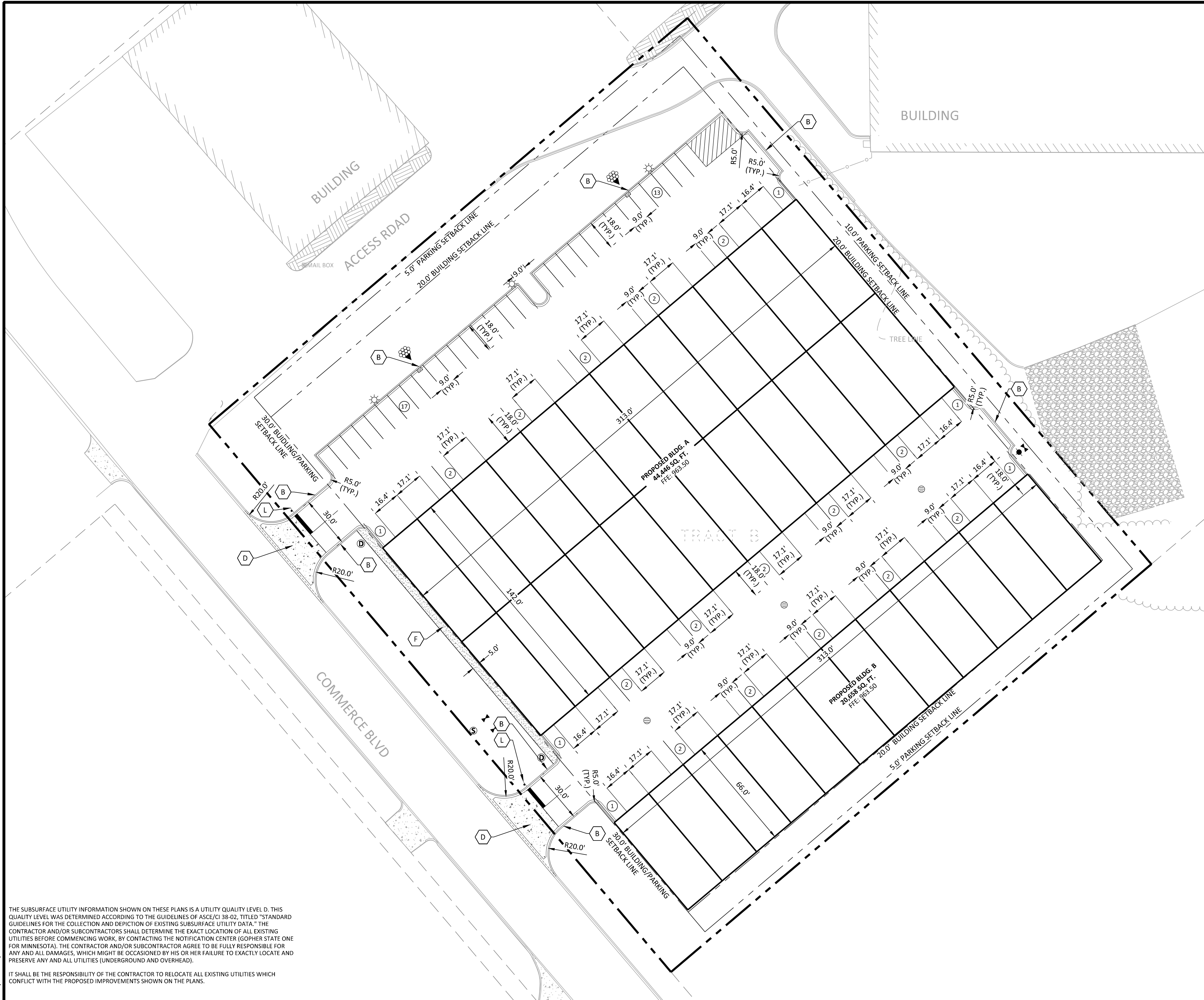
ALTA/NSPS LAND TITLE SURVEY

CRCL Group LLC, a Minnesota limited liability company

Commerce Blvd
 Rogers, MN

SHEET
1
 OF 1
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24.15 (LMS TECH) | MARK SALO | 9/19/2025 3:54:32 PM
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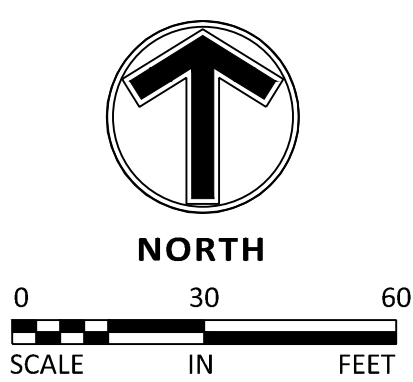
LEGEND	
	PROPOSED BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED CONCRETE CURB
	EXISTING CONCRETE CURB
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	PROPOSED BUILDING LINE
	EXISTING BUILDING LINE
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	PROPOSED WETLAND
	EXISTING WETLAND
	PROPOSED TREE LINE
	EXISTING TREE LINE
	PROPOSED SAW CUT LINE
	EXISTING SAW CUT LINE
	PROPOSED SIGN
	EXISTING SIGN
	PROPOSED BOLLARD
	EXISTING BOLLARD
	PARKING STALL COUNT
	KEY NOTE
	LIGHT POLE (BY OTHERS)

DEVELOPMENT SUMMARY		COMMERCIAL	
AREA		SETBACKS (PARKING)	
GROSS SITE AREA	150,948 SF 3.47 AC	FRONT YARD	30 FT
BUILDING SUMMARY		REAR YARD	10 FT
BUILDING A	44,446 SQ. FT.	SIDE YARD	5 FT
BUILDING B	20,658 SQ. FT.	SETBACKS (BUILDING)	
PARKING SUMMARY (BUILDING A)		FRONT YARD	30 FT
STANDARD REQUIRED (1SPACE/2000 SQ. FT.)	23 STALLS	REAR YARD	20 FT
ADA REQUIRED	00 STALLS	SIDE YARD	20 FT
STANDARD PROVIDED	57 STALLS	ZONING	
ADA PROVIDED	00 STALLS	EXISTING ZONING	MIXED USE REGIONAL
PARKING SUMMARY (BUILDING B)		PROPOSED ZONING	MIXED USE REGIONAL
STANDARD REQUIRED (1 SPACE/2000 SQ. FT.)	11 STALLS	GREEN SPACE	
ADA REQUIRED	00 STALLS	PROPOSED PERVIOUS	41,389 SF
STANDARD PROVIDED	12 STALLS	PROPOSED IMPERVIOUS	109,559 SF
ADA PROVIDED	00 STALLS		

DEVELOPMENT NOTES

- SEE SHEET C1.02

- KEY NOTES**
- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
 - B. B-612 CONCRETE CURB AND GUTTER (SEE SHEET C9.03, DETAIL 01)
 - C. (NOT USED)
 - D. CONCRETE APRON (SEE SHEET C9.03, DETAIL CON-12)
 - E. (NOT USED)
 - F. CONCRETE SIDEWALK (SEE SHEET C9.02, DETAIL 07)
 - G. (NOT USED)
 - H. (NOT USED)
 - I. (NOT USED)
 - J. (NOT USED)
 - K. TRANSFORMER (SEE ARCHITECTURAL PLANS)
 - L. STOP SIGN (SEE SHEET C9.03, DETAIL 02)



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date: _____ License #: _____

PRELIMINARY	DRAWN BY
DESIGN REVIEW	DESIGNED BY
PERMIT SUBMITTAL	CHECKED BY
CONSTRUCTION DOCUMENTS	PROJECT NO. 53862

SITE PLAN

CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
 PRELIMINARY DESIGN DOCUMENTS
 ROGERS, MN

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24.15 (LWS TECH) | TREVOR CONWAY | 9/10/2025 4:56:50 PM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-C3.01-SITE.DWG\C3.01 SITE PLAN

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SAMBATEK
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MINNETONKA, MN 55343
TEL 763-476-6010
EMAIL: JWORKMAN@SAMBATEK.COM
CONTACT: JOHN WORKMAN

Preliminary Site Development Plans for Commerce Boulevard Development Rogers, Minnesota Presented by: CRCL Group

BENCHMARKS

The vertical datum is based on NAVD88. The originating bench marks are SLHOK and BURGA, both referenced from the MnDOT Geodetic Database.

BENCHMARK #1
SLHOK. Elev.=974.36
BENCHMARK #2
BURGA. Elev.=979.90

SHEET INDEX

SHEET	DESCRIPTION	REVISION
C1.01	TITLE SHEET	
C1.02	GENERAL NOTES	
C1.03	GENERAL NOTES	
C1.04	GENERAL NOTES	
C2.01	EXISTING CONDITIONS	
C2.02	DEMOLITION PLAN	
C3.01	SITE PLAN	
C4.01	GRADING PLAN	
C5.01	PHASE 1 EROSION CONTROL PLAN	
C5.02	PHASE 2 EROSION CONTROL PLAN	
C5.03	EROSION CONTROL NOTES	
C5.04	EROSION CONTROL DETAILS	
C5.05	SWPPP	
C5.06	SWPPP	
C6.01	UTILITY PLAN	
C9.01	DETAILS	
C9.02	DETAILS	
C9.03	DETAILS	
L1.01	LANDSCAPE PLAN	
L1.02	LANDSCAPE NOTES & DETAILS	
L2.00	PHOTOMETRIC PLAN	

GOVERNING SPECIFICATIONS

CITY OF ROGERS SPECIFICATIONS (2023)
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2023)
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2020 EDITION)
MN PLUMBING CODE (2020)



VICINITY MAP
NO SCALE

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NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
Print Name: _____
Date _____ License # _____

DATE ISSUED
09/22/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
TK
DESIGNED BY
CC
CHECKED BY
TC
PROJECT NO.
53862



TITLE SHEET
CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
PRELIMINARY DESIGN DOCUMENTS
ROGERS, MN

SHEET
C1.01
1 OF 21
REV.

DEMOLITION NOTES

- DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON ALTA AND TOPOGRAPHIC MAPPING PREPARED BY SAMBATEK DATED 9-3-25. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
- CLEARING AND GRUBBING: CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
- THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 10' BEYOND FOUNDATIONS.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
- CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.

SITE DEVELOPMENT NOTES

- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR PYLON/MONUMENT SIGN DETAILS
- LIGHT STANDARD LOCATIONS ARE FOR REFERENCE ONLY, SITE LIGHTING PLAN IS DESIGN BUILD BY CONTRACTOR. CONTRACTOR SHALL CONFIRM LIGHT STANDARD LOCATION WITH LIGHTING VENDOR. OR SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
- REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:50). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
- "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- BUILDING ADDITION HAS BEEN LOCATED BASED ON ORIGINAL GRIDLINE DESIGN AND/OR EXISTING BUILDING EXTERIOR CORNER SURVEY LOCATIONS. EXTERIOR CORNERS DO NOT REPRESENT EXISTING BUILDING GRIDLINES. CONTRACTOR SHALL LOCATE EXISTING GRIDLINES IN THE FIELD FOLLOWING DEMOLITION AND COORDINATE REQUIRED MODIFICATIONS, IF ANY, TO EXPANSION PLACEMENT WITH CIVIL AND ARCHITECT ACCORDINGLY.
- CONTRACTOR SHALL PROVIDE RECORD PLANS AS REQUIRED BY PERMITTING AGENCIES.

CIVIL 3D MODEL LIMITATIONS

SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE. AT THE OWNER'S REQUEST, WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE CONTRACTOR'S USE. HOWEVER, ITS USE IS AT THE CONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL.

GRADING NOTES CONT.

- PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:50). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:
COMPANY: _____
ADDRESS: _____
PHONE: _____
DATED: _____
CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.
- CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- EXISTING TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS AND SHALL BE A RESTRICTED AREA. CONTRACTOR SHALL PROTECT TREES TO REMAIN AT ALL TIMES. EQUIPMENT SHALL NOT NEEDLESSLY BE OPERATED UNDER NEARBY TREES AND EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, CONTRACTOR SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF OPERATION. SHOULD CONTRACTOR'S OPERATIONS RESULT IN THE BREAKING OF ANY LIMBS, THE BROKEN LIMBS SHOULD BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.
 - RESTRICTED AREAS SHALL INCLUDE ALL DESIGNATED TREENED AREAS OUTSIDE OF THE DESIGNATED CONSTRUCTION ZONE. ALL VEGETATION WITHIN THE RESTRICTED AREAS SHALL REMAIN.
 - CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES WITHIN THE CONSTRUCTION MAY BE RESTRICTED TO A NARROWER WIDTH IN THE FIELD TO SAVE ADDITIONAL TREES AS DIRECTED BY THE OWNER.
 - ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO: SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE IN AN AREA DETERMINED ON-SITE BY THE ENGINEER.
 - ALL RESTRICTED AREAS SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING AND STEEL STAKES AS SHOWN ON THE TREE PROTECTION DETAIL. AT NO TIME SHALL THIS FENCING BE REMOVED OR ACTIVITY OF ANY KIND TAKE PLACE WITHIN IT. FINAL PLACEMENT OF ALL PROTECTIVE FENCING SHALL BE COMPLETE BEFORE ANY WORK COMMENCES ON-SITE.
 - BEFORE COMMENCING WITH ANY EXCAVATION CONTRACTOR SHALL COMPLETE ALL PREPARATORY WORK REGARDING TREE REMOVAL, ROOT PRUNING, TREE PRUNING AND STUMP REMOVAL TO THE SATISFACTION OF THE OWNER.
 - PREPARATORY WORK SHALL INCLUDE THE FOLLOWING AND SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE:
 - TREE REMOVAL: CONTRACTOR SHALL FELL THE TREES. AT NO TIME SHALL TREES BE BULLDOZED OUT, BUT SHALL BE CUT DOWN AND STUMPS REMOVED SEPARATELY. PRIOR TO THE FELLING OF ALL TREES, PROPER REMOVAL OF A PORTION OR ALL OF THE CANOPY SHALL BE COMPLETED SO THAT TREES IN THE RESTRICTED AREAS SHALL NOT BE INJURED IN THE PROCESS.
 - ROOT PRUNING: BEFORE ANY STUMPS ARE TO BE REMOVED, ALL ROOTS SHALL BE SEVERED FROM ROOTS IN THE RESTRICTED AREAS BY SAW CUTTING WITH A VERMEER DESIGNED FOR ROOT PRUNING, BY HAND, OR WITH A CHAINSAW. TREE ROOTS PROJECTING INTO THE CONSTRUCTION ZONE SHALL BE EXPOSED PRIOR TO ROOT PRUNING WITH SMALL MACHINERY, I.E., BOBCAT.
 - STUMP REMOVAL: AT SUCH TIME THAT ROOTS HAVE BEEN PROPERLY SEVERED, STUMPS MAY BE REMOVED. WHERE REMOVAL OF CERTAIN STUMPS COULD CAUSE DAMAGE TO EXISTING PROTECTED TREES, TREE STUMPS SHALL BE GROUND OUT. ALL STUMP REMOVAL SHALL BE UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE.
 - TREE PRUNING: PROPER PRUNING OF TREES IN THE RESTRICTED ZONE SHALL BE DIRECTED BY AND SUPERVISION AT ALL TIMES BY THE OWNER'S REPRESENTATIVE.
 - AN OWNER'S REPRESENTATIVE WILL BE AVAILABLE AT ALL TIMES DURING THE PREPARATORY AND CONSTRUCTION PERIOD.
 - MULCH RATHER THAN SEED OR SOD WILL BE USED AT THE BASE OF QUALITY TREES TO A PERIMETER DETERMINED BY THE OWNER'S REPRESENTATIVE. AREAS TO BE SEED FOR EROSION CONTROL PURPOSES WITHIN THE CONSTRUCTION ZONE ARE TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. NATURAL GROUND COVER WILL BE MAINTAINED WHEREVER POSSIBLE.
 - THE USE OF RETAINING WALLS NEAR TREES, IN ADDITION TO THOSE REQUIRED ON THE PLANS SHALL BE DETERMINED IN THE FIELD, BASED ON TREE LOCATIONS AND TOPOGRAPHY.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO THE DEPTH SPECIFIED IN THE LANDSCAPING PLANS. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED PER LANDSCAPING PLANS. (NOTE TO PREPARER: IF A LANDSCAPING PLAN IS NOT INCLUDED IN THE PLANS SPECIFY TOPSOIL DEPTH OF 6")

GRADING NOTES CONT.

- TRENCH BORROW CONSTRUCTION: IF ALLOWED BY THE OWNER, CONTRACTOR SHALL COMPLETE "TRENCH BORROW" EXCAVATION IN AREAS DIRECTED BY THE ENGINEER IN ORDER TO OBTAIN STRUCTURAL MATERIAL. TREES SHALL NOT BE REMOVED OR DAMAGED AS A RESULT OF THE EXCAVATION, UNLESS APPROVED BY THE ENGINEER. THE EXCAVATION SHALL COMMENCE A MINIMUM OF 10 FEET FROM THE LIMIT OF THE BUILDING PAD. THE EXCAVATION FROM THIS LIMIT SHALL EXTEND AT A MINIMUM SLOPE OF 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL (1:1) DOWNWARD AND OUTWARD FROM THE FINISHED SURFACE GRADE ELEVATION. THE TRENCH BORROW EXCAVATION SHALL BE BACKFILLED TO THE PROPOSED FINISHED GRADE ELEVATION, AND SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE QUALITY COMPACTION METHOD AS OUTLINED IN MN/DOT SPECIFICATION 2105.3F2. SNOW FENCE SHALL BE FURNISHED AND PLACED ALONG THE PERIMETER OF THE TRENCH BORROW AREA WHERE THE SLOPES EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1).
- FINISHED GRADING SHALL BE COMPLETED. CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISHED GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED, ERODED OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- TOLERANCES
 - THE RESIDENTIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - THE COMMERCIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.10 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.10 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- AFTER THE SITE GRADING IS COMPLETED, IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAUL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL INDICATE HAUL ROADS ON EROSION AND SEDIMENT CONTROL "SITE MAP". CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. CONTRACTOR SHALL POST WHATEVER SECURITY AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
- DISTURBED AREAS WITHIN WETLAND MITIGATION SITE AND ANY DISTURBED AREAS WITHIN THE WETLAND SHALL BE RESTORED WITH 6 TO 12 INCHES OF ORGANIC SOILS, PREFERABLY SOILS THAT WERE PREVIOUSLY REMOVED FROM WETLAND AREAS. SEEDING IN THE WETLAND MITIGATION AREAS ABOVE THE NORMAL WATER LEVEL SHALL BE MNDOT SEED MIX 'WET DITCH' OR APPROVED EQUAL. FOR STATE SEED MIXES, OATS AND WINTER WHEAT SHOULD BE SELECTED BASED ON THE TIME OF YEAR THAT THE MIX IS BEING USED. OATS SHOULD BE INCLUDED IN MIXES IF BEING USED BETWEEN MAY 1ST AND AUGUST 1ST. WINTER WHEAT SHOULD BE USED BETWEEN AUGUST 1ST AND OCTOBER 1ST. THE SEEDING RATE IS THE SAME FOR OATS AND WINTER WHEAT. SHOULD BE APPLIED AT 20 POUNDS PER ACRE. SEED SHALL BE WATERED UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HUD/FHA PROCEDURES AND DATA SHEET 79G.
- RETAINING WALL(S) SHALL BE CONSTRUCTED OF _____ (MODULAR BLOCK, TREATED TIMBER, BOULDER, ETC.) MATERIAL. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALL(S) SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE RECORD PLANS AS REQUIRED BY PERMITTING AGENCIES.

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NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date _____ License # _____

DATE ISSUED	09/22/2025
DESIGN REVIEW	
PERMIT SUBMITTAL	
CONSTRUCTION DOCUMENTS	

DRAWN BY	TK
DESIGNED BY	CC
CHECKED BY	TC
PROJECT NO.	53862



Engineering | Surveying | Planning | Environmental

GENERAL NOTES

CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
 PRELIMINARY DESIGN DOCUMENTS
 ROGERS, MN

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C1.02
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INFILTRATION BASIN CONSTRUCTION NOTES

- INFILTRATION BASIN CONSTRUCTION REQUIREMENTS: INCLUDES ALL DEVICES USING FILTRATION THROUGH A SOIL MEDIUM TO CAPTURE STORM WATER RUNOFF BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, BIOFILTRATION BASINS, RAINWATER GARDENS, SAND FILTERS, ORGANIC FILTERS, BIORETENTION AREAS, ENHANCED SWALES, DRY STORAGE PONDS WITH UNDERDRAIN DISCHARGE, AND NATURAL DEPRESSIONS (IF USED TO PROVIDE STORMWATER TREATMENT OF NEW IMPERIOUS SURFACE)
 - PERMITTEES MUST NOT EXCAVATE INFILTRATION SYSTEMS TO FINAL GRADE, OR WITHIN THREE (3) FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. WHEN EXCAVATING AN INFILTRATION SYSTEM TO WITHIN THREE (3) FEET OF FINAL GRADE, PERMITTEES MUST STAKE OFF AND MARK THE AREA SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA. ONCE STREET AND UTILITY CONSTRUCTION CEASES AND "FINAL STABILIZATION" (AS DEFINED ACCORDING TO SECTION 8 OF THE SWPPP NARRATIVE) OF CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETED, AND ONLY AFTER THE OWNER'S ENGINEER AUTHORIZES CONTRACTOR TO PROCEED, INFILTRATION BASIN SHALL BE EXCAVATED TO FINISHED GRADE.
 - HEAVY EQUIPMENT SHALL NOT TRAVEL WITHIN THE INFILTRATION BASIN AREA. EXCAVATION WITHIN THE INFILTRATION BASIN SHALL BE PERFORMED BY USE OF A BACKHOE BUCKET WITH TEETH. CONTRACTOR SHALL DISC OR TILL THE SOILS IF REQUIRED BY THE SOILS ENGINEER.
 - INFILTRATION BASIN SHALL BE PROTECTED BY SILT FENCE DURING ALL CONSTRUCTION ACTIVITIES. ALL DEPOSITED SEDIMENT DURING CONSTRUCTION ACTIVITY SHALL BE PROPERLY DISPOSED OF DOWNSTREAM OF INFILTRATION BASIN, IF POSSIBLE.
 - ALL FLARED END SECTION INLETS AND CATCH BASIN MANHOLE INLETS SHALL HAVE INLET EROSION CONTROL PROTECTION IN PLACE UNTIL FINAL STABILIZATION BASIN HAS OCCURRED.
 - ABOVE THE INFILTRATION BASIN OUTLET ELEVATION, INCLUDING THE BERM AND DISTURBED AREAS, A MINIMUM OF 4" DEPTH OF TOPSOIL MATERIAL SHALL BE PLACED TO THE FINISHED GRADE ELEVATION. TOPSOIL SHALL MEET (MNDOT) SPECIFICATION. THE AREA SHALL BE SEEDED MNDOT SEED MIX 'SOUTHERN BOULEVARD' APPLIED AT A RATE OF 160 LBS/ACRE, OR MNDOT SEED MIX 'SOUTHERN TALLGRASS ROADSIDE' APPLIED AT A RATE OF 26 LBS/ACRE. SOD MEETING (MNDOT) SPECIFICATION 3878.2-B CAN BE SUBSTITUTED FOR SEED.
SEED APPLICATION PROCEDURE:
MIXTURE APPLICATION PROCEDURES SHALL FOLLOW (MNDOT) SPECIFICATION 2575.3. SEED SHALL BE SECURED BY USE OF (MNDOT) SPECIFICATION 3885 CATEGORY 10 EROSION BLANKET.

ABSENT A SOIL TEST, FERTILIZER MEETING ANALYSIS 22-5-10 (NPK) 80% W.I.N. SHALL BE APPLIED AT A RATE OF 350 LBS/ACRE FOR MNDOT SEED MIX 'SOUTHERN BOULEVARD', OR FERTILIZER WITH AN ANALYSIS OF 18-1-8 (NPK) (FOR LOAMS, CLAY LOAM SOIL), OR 17-10-7 (NPK) (FOR SANDS WITH LESS THAN 30% ORGANIC AND CLAY MATTER) NATURAL BASE SHALL BE APPLIED AT A RATE OF 150 LBS/ACRE FOR MNDOT SEED MIX 'SOUTHERN TALLGRASS ROADSIDE'.
 - BELOW THE INFILTRATION BASIN OUTLET, INCLUDING BASIN FLOOR, PLACE PLANTING MEDIUM SOIL BASED ON - SITE SOIL CONDITIONS, AND ALSO BASED ON LANDSCAPE ARCHITECT, WATERSHED, AND/OR CITY RECOMMENDATIONS (SEE DETAIL ON PLAN). DISTURBED AREAS TO BE SEEDED WITH MNDOT SEED MIX 'WET DITCH' APPLIED AT A RATE OF 20 LBS/ACRE. DRAINTILE INSTALLATION (IF REQUIRED) SHALL BE INSTALLED CONCURRENTLY WITH FLOOR CONSTRUCTION.

NOTE:
INFILTRATION BASIN FLOOR EXCAVATING, PLANTING MEDIUM SOIL PLACEMENT, DRAINTILE INSTALLATION, ETC. SHALL TAKE PLACE ONLY AFTER THE OWNER'S ENGINEER AUTHORIZES CONTRACTOR TO PROCEED AND AFTER INFILTRATION BASIN SIDESLOPES (ABOVE OUTLET ELEVATION) HAVE UNDERGONE "FINAL STABILIZATION" WHICH INCLUDES FLUSHING OUT ACCUMULATED SILT AND SEDIMENT FROM CONTRIBUTING STORM SEWER. EXCAVATED BASIN MATERIAL SHALL BE DISPOSED OF DOWNSTREAM OF BASIN AREA, IF POSSIBLE, OR OFF-SITE.
SEED APPLICATION PROCEDURE:
MIXTURE APPLICATION PROCEDURES SHALL FOLLOW (MNDOT) SPECIFICATION 2575.3. SEED SHALL BE SECURED BY USE OF HYDRO MULCH, OR SECURED BY (MNDOT) SPECIFICATION 3885 CATEGORY 10 OR CATEGORY 20 EROSION BLANKET. ABSENT A SOIL TEST, FERTILIZER WITH AN ANALYSIS OF 18-1-8 (NPK) (FOR LOAMS, CLAY LOAM SOIL), OR 17-10-7 (NPK) (FOR SANDS WITH LESS THAN 30% ORGANIC AND CLAY MATTER), NATURAL BASE SHALL BE APPLIED AT A RATE OF 120 LBS/ACRE.
 - CONTRACTOR SHALL RESEED OR REPLANT ANY AREAS ON WHICH THE ORIGINAL SEED HAS FAILED TO GERMINATE AS DIRECTED BY THE OWNER'S ENGINEER.
 - IF ALTERNATIVE METHODS OF INFILTRATION BASIN CONSTRUCTION ARE PROPOSED BY THE CONTRACTOR, THOSE ALTERNATIVE METHODS WILL REQUIRE WRITTEN APPROVAL BY THE OWNER'S ENGINEER.
 - COSTS FOR REMOBILIZATION (IF REQUIRED) TO COMPLETE INFILTRATION BASIN CONSTRUCTION WILL BE CONDUCTED AT THE CONTRACTOR'S EXPENSE.
- PERFORMANCE TESTING OF INFILTRATION BASINS:
ALL COSTS RELATED TO THE PERFORMANCE INFILTRATION TESTING SHALL BE PAID BY THE OWNER, EXCEPT AS NOTED. THE INFILTRATION BASINS WILL BE TESTED IN ACCORDANCE TO THE FOLLOWING PROCEDURE:
 - A MINIMUM OF TWO INFILTRATION TESTS SHALL BE COMPLETED FOR EACH INFILTRATION BASIN (0.5 ACRE FLOOR AREA OR LESS). THE REQUIRED NUMBER OF TESTS SHALL BE VERIFIED WITH THE SOILS ENGINEER AND THE GOVERNING AUTHORITIES.
 - TWO ADDITIONAL TESTS WILL BE REQUIRED FOR EACH 0.5 ACRE OF INFILTRATION BASIN FLOOR AREA.
 - TEST PROCEDURE WILL FOLLOW ASTM D-3385-09 "STANDARD TEST METHOD FOR INFILTRATION RATE OF SOILS IN FIELD USING DOUBLE-RING INFILTRMETER".
 - TEST WILL BE CONDUCTED AT THE FINISHED BASIN FLOOR ELEVATION.
 - TEST WILL BE FOR A PERIOD AS OUTLINED IN ASTM D-3385-09.
 - THE TEST RESULTS WILL BE AVERAGED TO OBTAIN THE INFILTRATION RATE USED FOR ACCEPTANCE.
 - THE LOWEST MEASURED INFILTRATION RATE SHALL EXCEED THE DESIGN INFILTRATION RATE OF _____ INCHES/HOUR.
- IF THE INFILTRATION RATE AS TESTED DOES NOT MEET OR EXCEED THE REQUIRED RATE AS DETERMINED ABOVE, CONTRACTOR WILL BE REQUIRED TO COMPLETE SOIL CORRECTIVE AND/OR SOIL REPLACEMENT WORK AS NECESSARY WITHIN THE INFILTRATION BASIN AREA AT THE CONTRACTOR'S EXPENSE UNTIL THE INFILTRATION RATE AS TESTED EXCEEDS THE REQUIRED RATE AS DETERMINED ABOVE. SUBSEQUENT RE-TESTING WILL BE REQUIRED UNTIL THE INFILTRATION AS TESTED EXCEEDS THE REQUIRED RATE AS DETERMINED ABOVE. RE-TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE AND WILL BE DEDUCTED FROM THE AMOUNT DUE THE CONTRACTOR.

UTILITY CONSTRUCTION NOTES

- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO CITY, DEPARTMENT OF LABOR AND INDUSTRY AND MINNESOTA DEPARTMENT OF HEALTH REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES, AND HORIZONTAL SEPARATION OF 10-FEET, BETWEEN OUTSIDE PIPE AND/OR STRUCTURE WALLS, IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
- ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING (SEE TABLE 701.2 OF 2020 MN PLUMBING CODE).
 - ALL SANITARY SEWER WITHIN 10 FEET OF, CROSSING ABOVE, OR WITHIN 12-INCHES BELOW, A POTABLE WATER LINE SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING (SEE TABLE 701.2 OF 2020 MN PLUMBING CODE).
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, OR PVC C-900, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
 - WHERE A SEWER LINE CROSSES A WATER SERVICE, THE WATER SERVICE SHALL NOT CONTAIN ANY JOINTS OR CONNECTIONS WITHIN 10 FEET OF THE CROSSING.
 - ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATERTIGHT GASKETS, UNLESS NOTED OTHERWISE.
 - ALL STORM SEWER CROSSING ABOVE, OR WITHIN 12-INCHES BELOW, A POTABLE WATER LINE SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING (SEE TABLE 701.2 OF 2020 MN PLUMBING CODE).
 - ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO THE BUILDING, OR WITHIN 10' OF A BUILDING, SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING (SEE TABLE 701.2 OF 2020 MN PLUMBING CODE).
 - RIP RAP SHALL BE MN/DOT CLASS 3.
- COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5-FEET OF COVER IS ACHIEVED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER. A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:

COMPANY:
ADDRESS:
PHONE:
DATED:
CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
- CONTRACTOR SHALL SUBMIT 2 COPIES OF SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO _____. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
- CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.

UTILITY CONSTRUCTION NOTES CONT.

- THE UNDERGROUND STORMWATER SYSTEM SHOWN ON THE UTILITY PLAN AND THE DETAIL SHEETS IS FOR INFORMATIONAL PURPOSES ONLY AND DEPICTS THE MINIMUM STORAGE REQUIREMENTS AND THE SYSTEM ELEVATIONS. THE CONTRACTOR (WITH THEIR SUPPLIER OR DESIGNER) SHALL SUBMIT DESIGN DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE DESIGN DRAWINGS SHALL DEPICT THE FINAL LAYOUT AND DETAILS FOR CONSTRUCTION. THE DRAWINGS SHALL BE CERTIFIED BY A LICENSED ENGINEER FOR THE STATE IN WHICH THE PROJECT IS CONSTRUCTED. THE SUBMITTAL SHALL INCLUDE ALL NECESSARY PRODUCT INFORMATION, DESIGN CALCULATIONS AND BEDDING REQUIREMENTS FOR THE PROPOSED STORMWATER SYSTEM. FOLLOWING CONSTRUCTION, THE CERTIFYING ENGINEER SHALL SUBMIT A LETTER TO THE OWNER AND ENGINEER INDICATING THEY OBSERVED THE INSTALLATION AND THE INSTALLATION OF THE STORMWATER SYSTEM WAS IN CONFORMANCE WITH THE CERTIFIED DRAWINGS.
- THE UTILITY DESIGN DOES NOT INCLUDE WATERMAIN ELEVATIONS. THE CONTRACTOR SHALL INSTALL WATERMAIN AT DEPTHS REQUIRED BY APPLICABLE AGENCIES AND SHALL DETERMINE LOCATIONS OF CONFLICTS WITH OTHER UTILITIES AND INCLUDE THE REQUIRED EFFORTS TO AVOID CONFLICTS (BENDS, MATERIAL CHANGES, ETC.) IN THEIR BIDS.
- CONTRACTOR SHALL PROVIDE RECORD PLANS AS REQUIRED BY PERMITTING AGENCIES.

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NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date _____ License # _____

DATE ISSUED
09/22/2025
DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
TK

DESIGNED BY
CC

CHECKED BY
TC

PROJECT NO.
53862



GENERAL NOTES

CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
PRELIMINARY DESIGN DOCUMENTS
ROGERS, MN

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LANDSCAPE NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.**
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O. C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: DOUBLE SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 3" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- BUILDING MAINTENANCE STRIP: WHERE NO LANDSCAPE PLANTING BEDS EXIST ADJACENT TO A BUILDING FOUNDATION, CONTRACTOR SHALL INSTALL A DECORATIVE ROCK MAINTENANCE STRIP PER PLAN. DECORATIVE ROCK SHALL BE 1"-3" DRESSER TRAP ROCK, GREY IN COLOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESICCANT (WILTPRUF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
- ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE RODENT PROTECTION PER MNDOT 2571.3-1.2
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1

- AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
 - ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
 - CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
 - SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.
 - POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
 - DECIDUOUS /B&B: 4/1 - 6/1; 9/21 - 11/1
 - EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21-11/1
 - EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
 - TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
 - NATIVE MIX SEEDING: 4/15 - 7/20; 9/20-10/20
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
 - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
 - WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

TURF NOTES:

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MN/DOT 2106 AND 2575 EXCEPT AS MODIFIED BELOW:
- ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 3/8" INCHES IN ANY DIMENSION.
 - WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 - SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
 - TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. MNDOT SEED MIXTURE RESIDENTIAL TURFGRASS (RT) AT A RATE OF 200 POUNDS PER AC.
 - ALL DISTURBED AREAS TO BE TURF SEEDED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
 - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

GENERAL TREE SPECIFICATIONS:

- ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:
 - 2" CAL TREES: LOWEST BRANCH 6' HT.
 - 3" CAL+ TREES: LOWEST BRANCH 7' HT.
- TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.
 - 1" CALIPER/6-8' HT: 3-4' WIDTH MIN.
 - 2" CALIPER/12-14' HT: 4-5' WIDTH MIN.
 - 3" CALIPER/14-16' HT: 6-7' WIDTH MIN.
- CANOPY TREES SHALL NOT HAVE CO-DOMINATE LEADERS IN LOWER HALF OF TREE CROWN.
- ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
- TREES SHALL NOT BE TIPPED PRUNED.
- TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
- SUMMER DUG TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%
- TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RELATIONSHIP SHALL BE REJECTED.

IRRIGATION NOTES:

- IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
- CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.

LOW MAINTENANCE FESCUE NOTES:

- DURING GROWING SEASON NEVER MOW SHORTER THAN 3.5 INCHES, PREFERRED MAINTENANCE IS MOW ONCE PER MONTH AT 5" HEIGHT
- DO NOT USE HIGH NITROGEN FERTILIZER ON FESCUE LAWN
- OVERSEED THIN, BARE SPOTS IN FALL
- ALWAYS USE SHARP BLADE WHEN MOWING TO AVOID TEARING LEAF BLADE
- SET MOWER TO 3" FOR BAGGING AND MOWING IN LATE FALL AFTER GROWING SEASON

NATIVE SEED MIX NOTES:

- ESTABLISHMENT AND YEAR ONE: MOW THREE(3) TIMES FIRST YEAR ON 30-DAY INTERVALS TO A HEIGHT BETWEEN FIVE AND EIGHT INCHES. DO NOT USE FERTILIZERS. SPOT TREAT INVASIVE WOODY PLANTS OR HAND WEED INDIVIDUAL NOXIOUS WEEDS.
- YEAR TWO: PERFORM ONE MOWING BETWEEN MID-JUNE AND MID-AUGUST. SPOT SPRAY WEEDS AS NEEDED WHERE THEY ARE ESPECIALLY DOMINATE.
- YEAR THREE (AND BEYOND): CUT ONE TIME PER YEAR AS A CLEAN UP PROCEDURE (EITHER IN EARLY MAY OR LATE NOVEMBER). PRESCRIBED BURNS MAY BE USED AS WELL IN PLACE OF MOWING. CHECK LOCAL REGULATIONS AND PERMIT PROCEDURES.

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NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date _____ License # _____

DATE ISSUED
09/22/2025

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
TK

DESIGNED BY
CC

CHECKED BY
TC

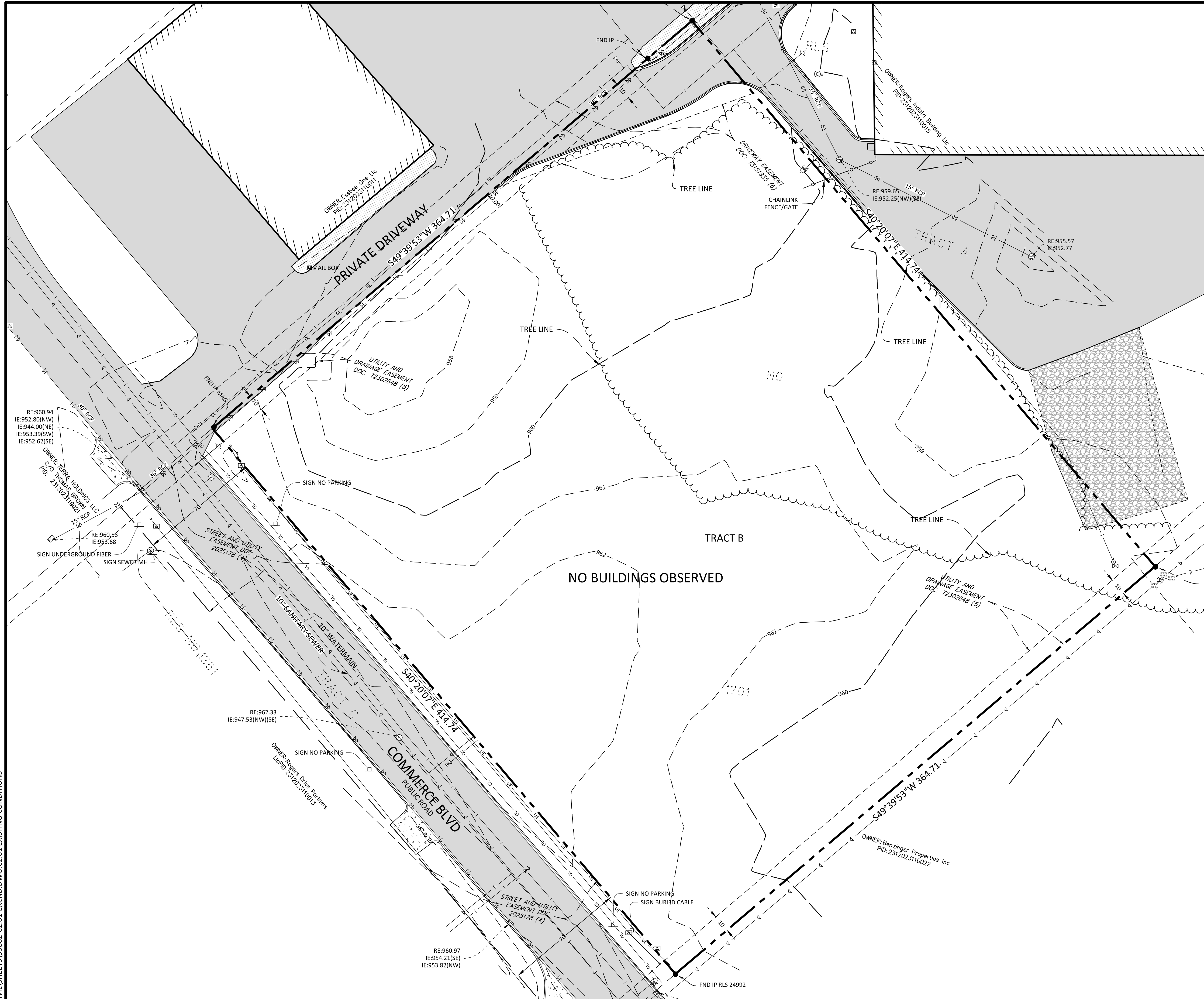
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GENERAL NOTES

CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
PRELIMINARY DESIGN DOCUMENTS
ROGERS, MN

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LEGEND		
● FOUND MONUMENT	— — WATERMAIN	- - - EASEMENT LINE
○ SET MONUMENT MARKED	— — S SANITARY SEWER	- - - SETBACK LINE
⊗ ELECTRIC METER	⊗ FORCEMAIN (SAN.)	- - - RESTRICTED ACCESS
☀ LIGHT	⊗ STORM SEWER	▬ BUILDING LINE
⊠ AIR CONDITIONER	⊠ FLARED END SECTION	- - - BUILDING CANOPY
♿ HANDICAP STALL	⊠ ELECTRIC TRANSFORMER	▨ BITUMINOUS SURFACE
⊕ UTILITY POLE	⊠ TELEPHONE PEDESTAL	▨ CONCRETE SURFACE
● POST	⊠ GAS METER	▨ LANDSCAPE SURFACE
⊠ SIGN	— — OVERHEAD WIRE	▨ GRAVEL SURFACE
🌳 DECIDUOUS TREE	— — CHAIN LINK FENCE	
🌲 CONIFEROUS TREE	— — IRON FENCE	
	— — WIRE FENCE	
	— — WOOD FENCE	

DESCRIPTION
 The Land is described as follows:
 Tract B, Registered Land Survey No.1701, Hennepin County, Minnesota

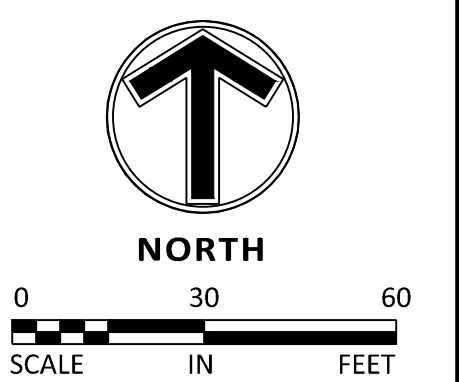
PROPERTY SUMMARY
 SUBJECT PROPERTIES ADDRESS IS 53862 Commerce Boulevard, Rogers Minnesota
 1. The gross land area of the surveyed property is 3.47 Acres or 151135 Square Feet.

BENCHMARKS
 2. The vertical datum is based on NAVD88 The originating bench marks are SLHOK and BURGA, both referenced from the MnDOT Geodetic Database.
 BENCHMARK #1
 SLHOK. Elev.=974.36
 BENCHMARK #2
 BURGA. Elev.=979.90

SURVEY NOTES
 1. The bearing system is based on the Hennepin County coordinate system, NAD83 (2011 Adjust), with an assumed bearing of S 00°24'43" E for the East line of NE ¼ of the NE ¼ OF SEC 23 120 N 23 W.
 2. FIELD WORK WAS COMPLETED ON 08/20/2025.

CERTIFICATION
 To CRCL Group LLC, a Minnesota limited liability company, TBD, its successors and/or assigns as their respective interests may appear and All American Title Company LLC:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b) (1), 7(c), 8, 9, and 13 of Table A thereof. The field work was completed on 8/20/2025.
 Dated this 20 day of August, 202025.
 Sambatek, Inc.

Mark R. Salo
 Minnesota License No. 43933
 msalo@sambatek.com



24.15 (LWS TECH) | TREVOR CONWAY | 9/23/2025 3:15:21 PM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-C2.01-EXCND.DWG.C2.01 EXISTING CONDITIONS

NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Print Name: _____
 Date _____ License # _____

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 DESIGNED BY
 CHECKED BY
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EXISTING CONDITIONS
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 COMMERCE BOULEVARD DEVELOPMENT
 PRELIMINARY DESIGN DOCUMENTS
 ROGERS, MN

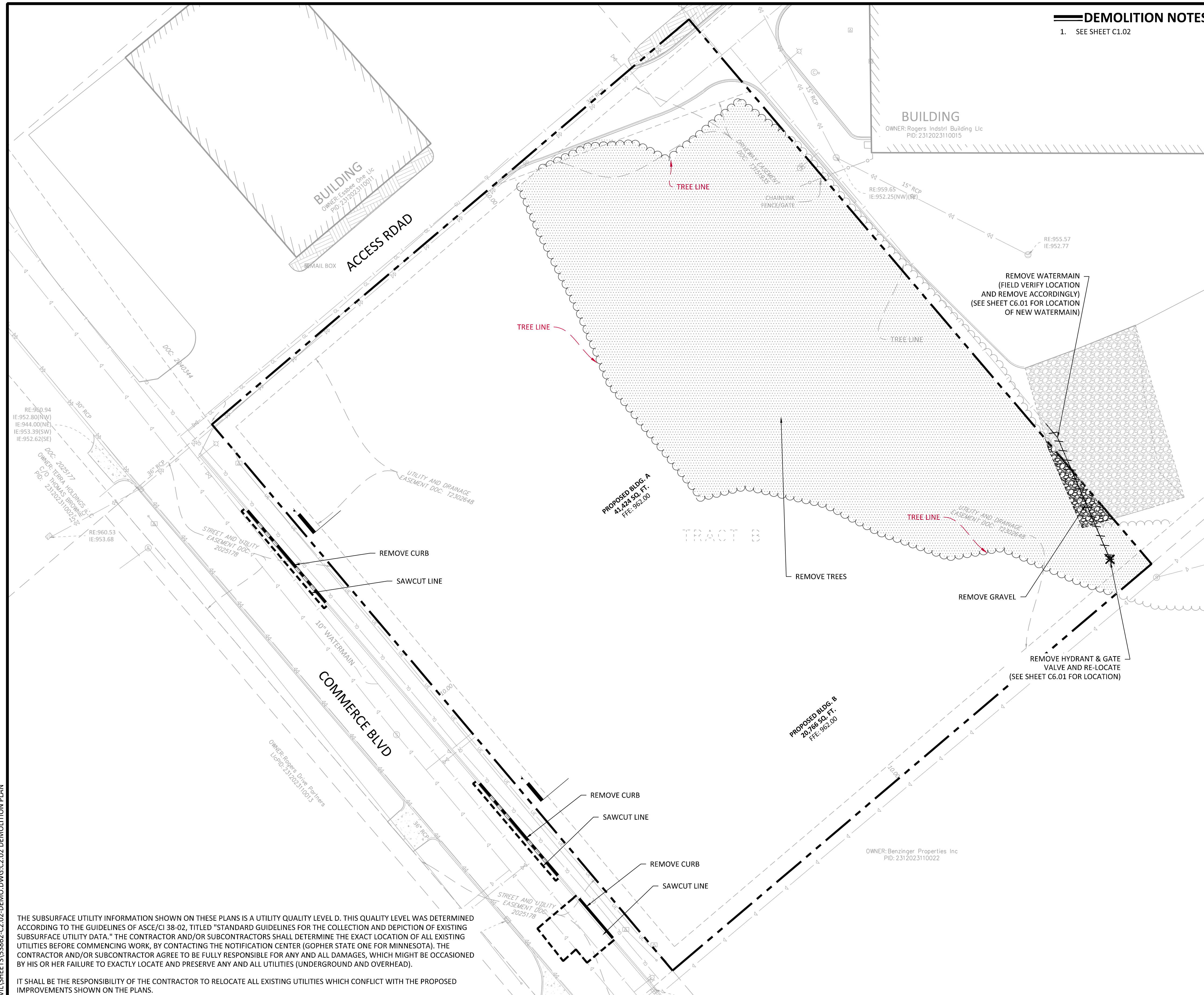
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DEMOLITION NOTES

1. SEE SHEET C1.02

LEGEND

- GAS METER
- HYDRANT
- LIGHT
- STORM SEWER
- DRAINTILE
- WATERMAIN
- FORCEMAIN (SAN.)
- SANITARY SEWER
- OVERHEAD WIRE
- TELEPHONE PEDESTAL
- UNDERGROUND CABLE TV
- ELECTRIC TRANSFORMER
- GAS METER
- WIRE FENCE
- IRON FENCE
- WOOD FENCE
- CHAIN LINK FENCE
- BLOCK RETAINING WALL
- SPRINKLER HEAD
- SPRINKLER VALVE
- GUIDE RAIL
- HANDRAIL
- TREE LINE
- TREES / SHRUBS
- CONCRETE
- BOLLARD
- SIGN
- CONCRETE CURB
- BUILDING LINE
- REMOVE UTILITY LINE
- REMOVE CONCRETE CURB
- SAW CUT LINE
- REMOVE BITUMINOUS PAVEMENT
- REMOVE CONCRETE PAVEMENT
- REMOVE GRAVEL DRIVE
- REMOVE LANDSCAPING
- REMOVE BUILDING
- REMOVE TREES
- REMOVE EXISTING STRUCTURE
- REMOVE LIGHT
- REMOVE CHAIN LINK FENCE



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date _____ License # _____

DATE ISSUED
09/22/2025
DESIGN REVIEW

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CONSTRUCTION DOCUMENTS

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TK

DESIGNED BY
CC

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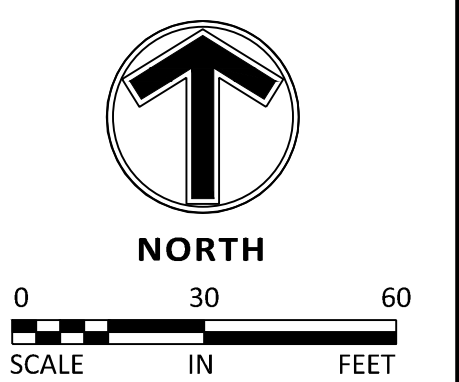
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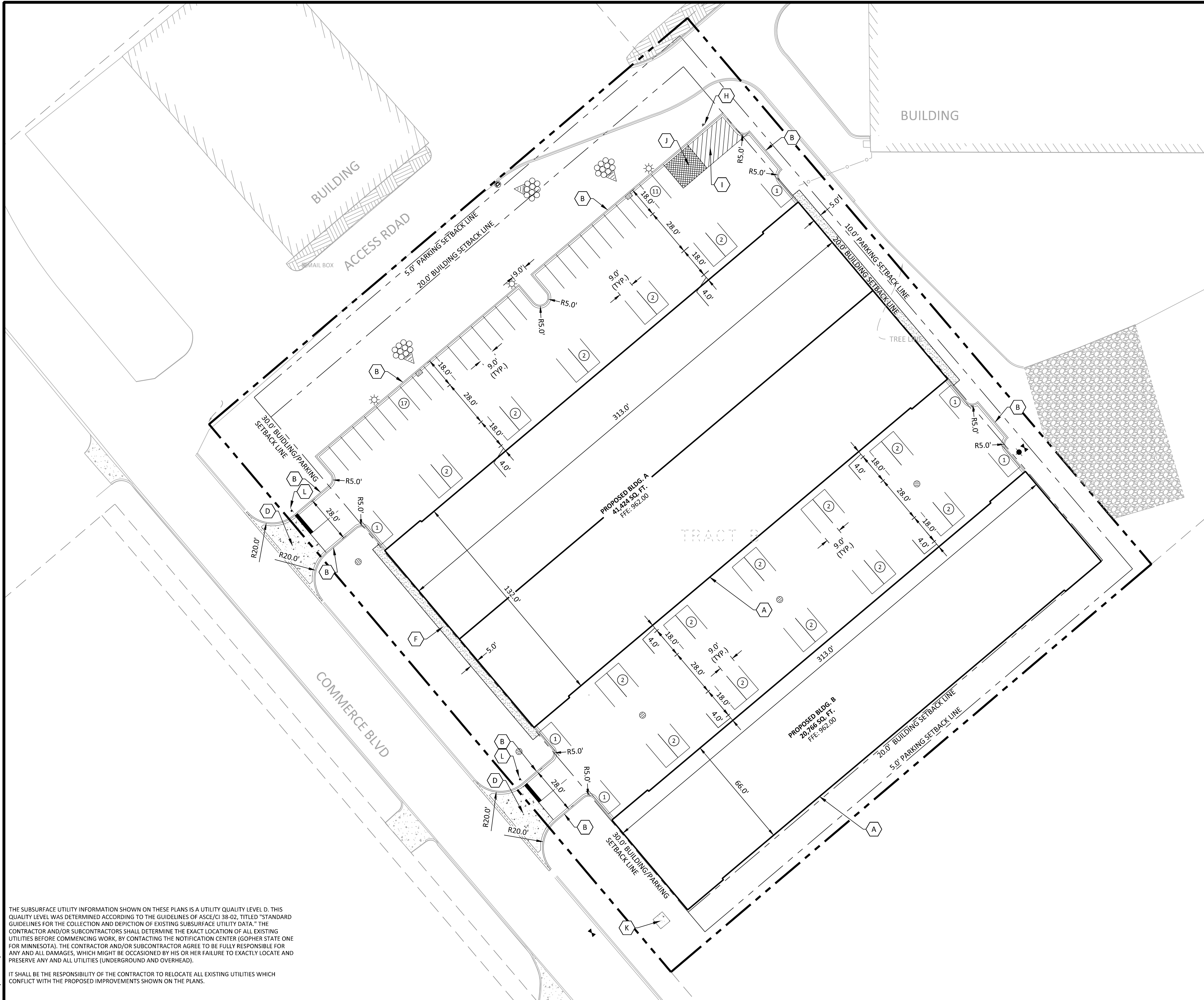
DEMOLITION PLAN

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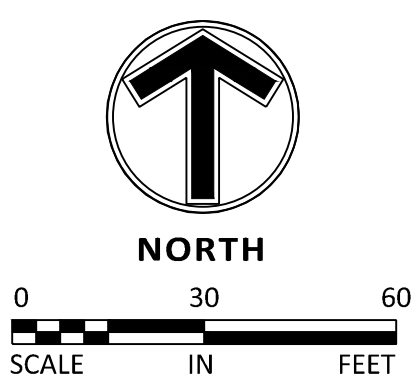
LEGEND	
	PROPOSED BOUNDARY LINE
	EXISTING BOUNDARY LINE
	CONCRETE CURB
	EASEMENT LINE
	BUILDING LINE
	RETAINING WALL
	WETLAND
	TREE LINE
	SAW CUT LINE
	SIGN
	BOLLARD
	PARKING STALL COUNT
	KEY NOTE
	LIGHT POLE (BY OTHERS)
	STANDARD DUTY ASPHALT PAVING
	HEAVY DUTY ASPHALT PAVING
	CONCRETE PAVING
	CONCRETE SIDEWALK
	PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)

DEVELOPMENT SUMMARY		COMMERCIAL	
AREA		SETBACKS (PARKING)	
GROSS SITE AREA	151259.65 SF 3.47 AC	FRONT YARD	30 FT
		REAR YARD	10 FT
		SIDE YARD	5 FT
BUILDING SUMMARY		SETBACKS (BUILDING)	
BUILDING A	41,424 SQ. FT.	FRONT YARD	30 FT
BUILDING B	20,766 SQ. FT.	REAR YARD	20 FT
		SIDE YARD	20 FT
PARKING SUMMARY (BUILDING A)		ZONING	
STANDARD REQUIRED (1SPACE/2000 SQ. FT.)	21 STALLS	EXISTING ZONING	MIXED USE REGIONAL
ADA REQUIRED	0 STALLS	PROPOSED ZONING	MIXED USE REGIONAL
STANDARD PROVIDED	52 STALLS	GREEN SPACE	
ADA PROVIDED	0 STALLS	PROPOSED PERVIOUS	41,389 SF
		PROPOSED IMPERVIOUS	109,559 FT
PARKING SUMMARY (BUILDING B)			
STANDARD REQUIRED (1 SPACE/2000 SQ. FT.)	11 STALLS		
ADA REQUIRED	0 STALLS		
STANDARD PROVIDED	12 STALLS		
ADA PROVIDED	0 STALLS		

DEVELOPMENT NOTES

- SEE SHEET C1.02

- KEY NOTES**
- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
 - B. B-612 CONCRETE CURB AND GUTTER (SEE SHEET C9.03, DETAIL 01)
 - C. (NOT USED)
 - D. CONCRETE APRON (SEE SHEET C9.03, DETAIL CON-12)
 - E. (NOT USED)
 - F. CONCRETE SIDEWALK (SEE SHEET C9.02, DETAIL 07)
 - G. (NOT USED)
 - H. FIRE LANE NO PARKING SIGN
 - I. STRIPED FIRE LANE NO PARKING
 - J. DUMPSTER PAD (SEE ARCHITECTURAL PLANS)
 - K. TRANSFORMER (SEE ARCHITECTURAL PLANS)
 - L. STOP SIGN (SEE SHEET C9.03, DETAIL 02)



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT

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Date _____ License # _____

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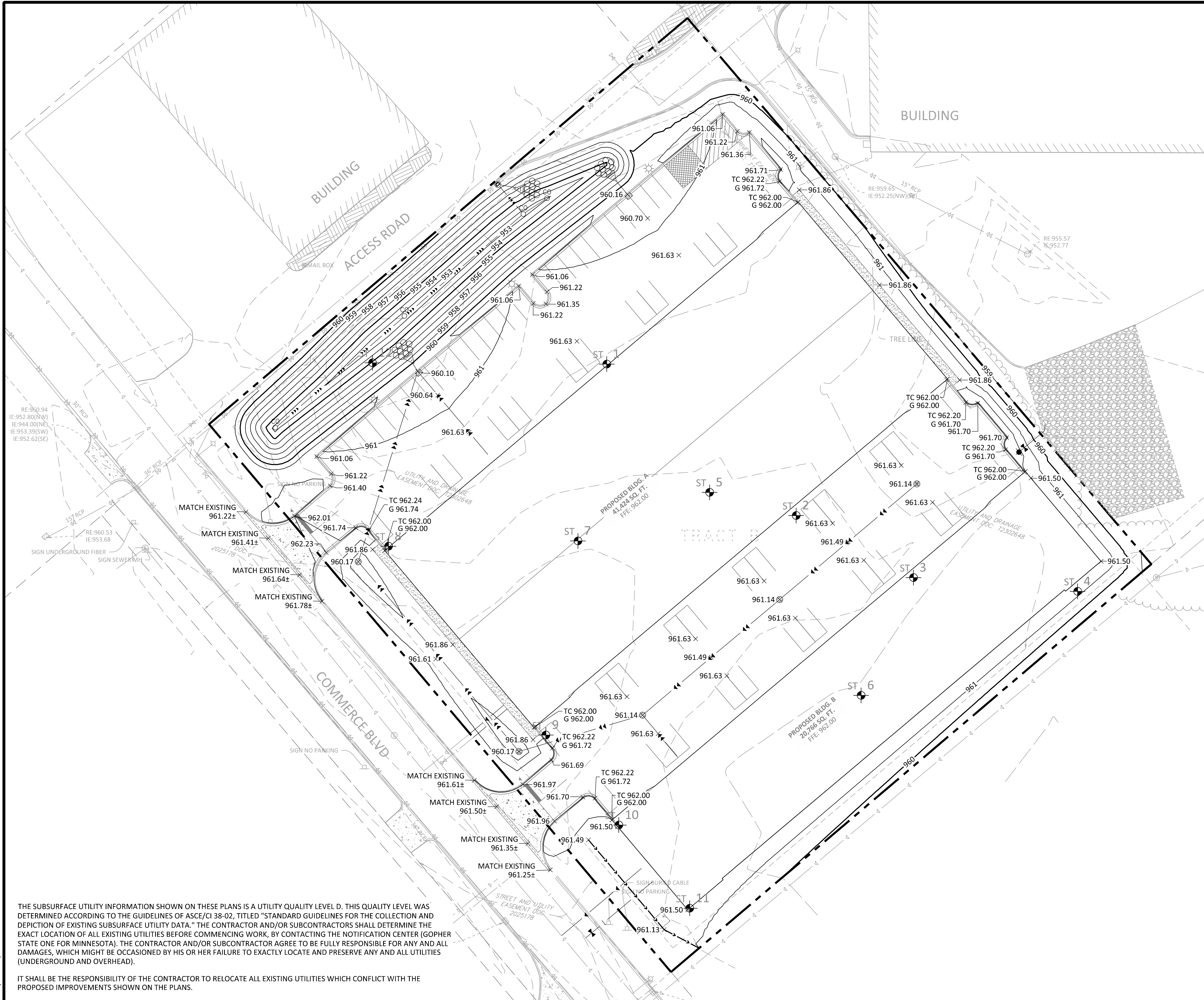


SITE PLAN

CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
PRELIMINARY DESIGN DOCUMENTS
ROGERS, MN

SHEET
C3.01
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LEGEND				
PROPOSED	EXISTING			
		BOUNDARY LINE		CONCRETE PAVING
		CONCRETE CURB		CONCRETE SIDEWALK
		STORM SEWER		PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)
		DRAINTILE		
		BUILDING LINE		
		RETAINING WALL		
		CONTOUR		
		WETLAND		
		TREE LINE		
		SPOT ELEVATIONS		
		RIPRAP		
		OVERFLOW ELEV.		
		SOIL BORING		
		TOP OF CURB		
		GUTTER LINE		
		BEGIN CURB TRANSITION		
		END CURB TRANSITION		

GRADING NOTES
1. SEE SHEET C1.02

INFILTRATION BASIN CONSTRUCTION NOTES
1. SEE SHEET C1.03

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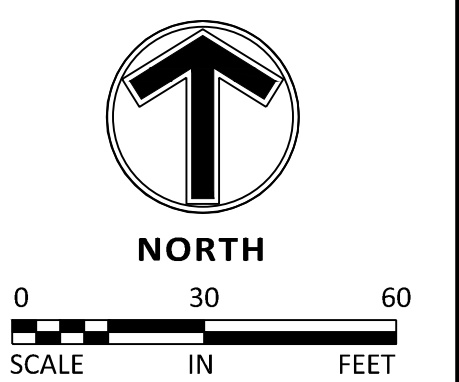
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GRADING PLAN
CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
PRELIMINARY DESIGN DOCUMENTS
ROGERS, MN

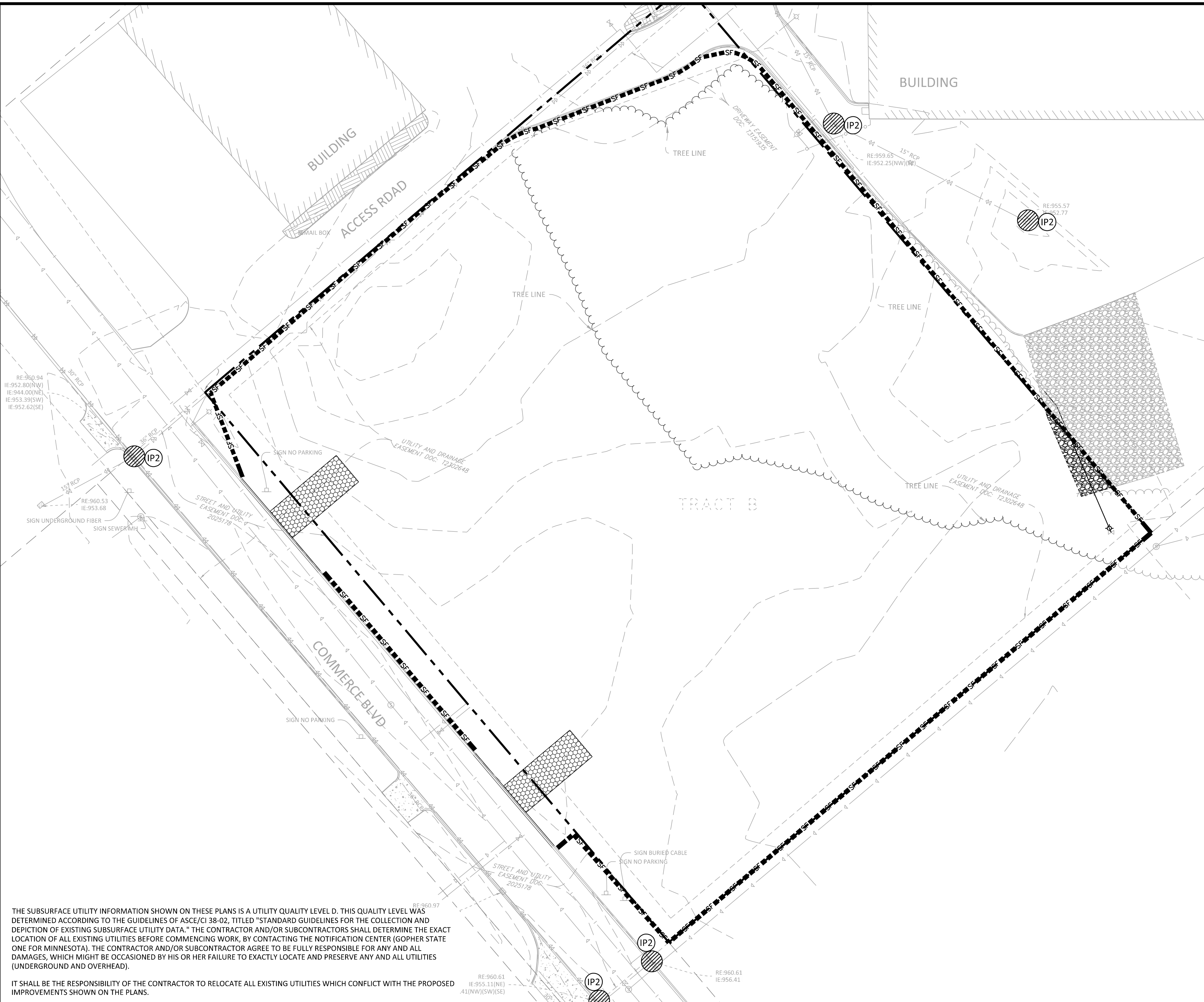
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L:\PROJECTS\53862\CADD\CIVIL\SHEETS\53862-C5.01-EROS.DWG.C5.01 PHASE 1 EROSION CONTROL PLAN



LEGEND

PROPOSED	EXISTING	
		CONCRETE CURB
		STORM SEWER
		DRAINTILE
		CONTOUR
		RIPRAP
		OVERFLOW ELEV.
		SILT FENCE
		LIMITS OF DISTURBANCE
		SOIL BORING
		DIRECTION OF OVERLAND FLOW
		LIMITS OF DRAINAGE SUB-BASIN
		INLET PROTECTION DEVICE
		TEMPORARY STONE CONSTRUCTION ENTRANCE

EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	1380
CONSTRUCTION ENTRANCE	UNIT	2
INLET PROTECTION DEVICE (IP-2)	UNIT	5

* REFER TO SHEET C5.03 & C5.04 FOR GENERAL EROSION NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA, THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

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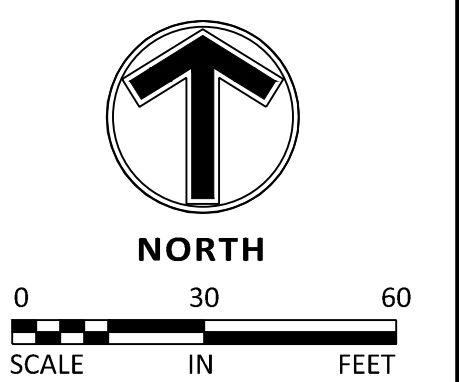
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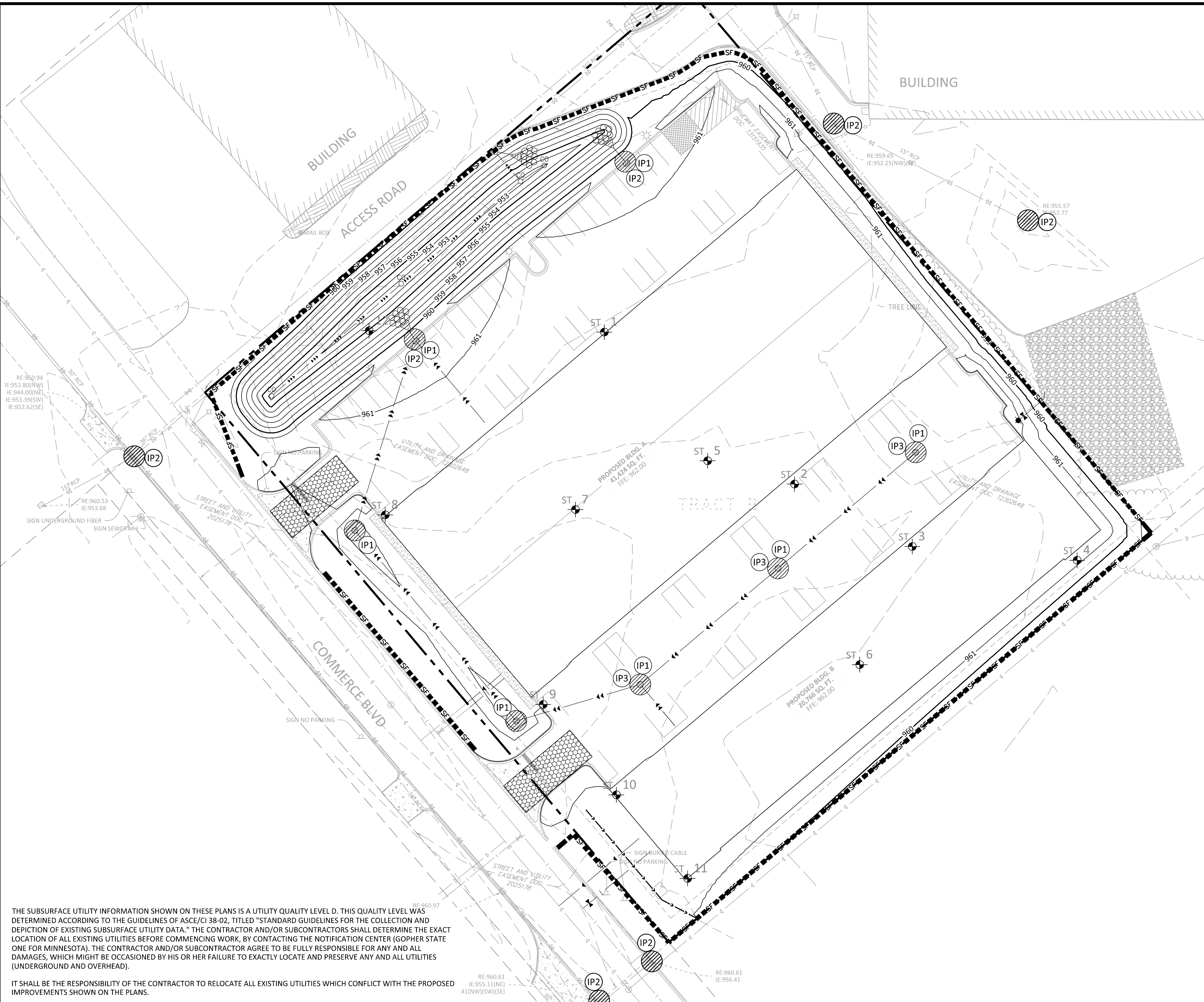
PHASE 1 EROSION CONTROL PLAN
CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
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ROGERS, MN

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LEGEND

	EXISTING		CONCRETE CURB
			STORM SEWER
			DRAINTILE
			CONTOUR
			RIPRAP
			OVERFLOW ELEV.
			SILT FENCE
			LIMITS OF DISTURBANCE
			SOIL BORING
			DIRECTION OF OVERLAND FLOW
			LIMITS OF DRAINAGE SUB-BASIN
			INLET PROTECTION DEVICE
			TEMPORARY STONE CONSTRUCTION ENTRANCE

EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	1380
CONSTRUCTION ENTRANCE	UNIT	2
INLET PROTECTION DEVICE (IP-1)	UNIT	7
INLET PROTECTION DEVICE (IP-2)	UNIT	7
INLET PROTECTION DEVICE (IP-3)	UNIT	3

* REFER TO SHEET C5.03 & C5.04 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

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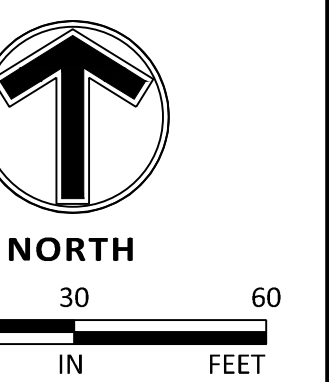
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PHASE 2 EROSION CONTROL PLAN
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EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"

GENERAL EROSION NOTES



SITE LOCATION MAP

NOT TO SCALE



USGS MAP

NOT TO SCALE

MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART 10.1-10.5 OF THE GENERAL PERMIT).
- SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
- CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART 9.11-9.12 OF THE GENERAL PERMIT.
- CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMPS, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL (ACCORDING TO PART 3.1 TO 3.8 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (N.O.T.) HAS BEEN SUBMITTED TO THE MPCA.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
- ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

DEVELOPER/OWNER CRCL GROUP TEL 612-950-8845 EMAIL: JOEY@CRCLGROUP.COM CONTACT: JOEY BEUNING
SITE OPERATOR / GENERAL CONTRACTOR
SUPERINTENDENT:

AREA SUMMARY IN ACRES

PAVEMENT AREA	1.03 AC±
BUILDING AREA	1.49 AC±
SEEDDED AREA	0.90 AC±
TOTAL DISTURBED	3.42 AC±
PRE - CONSTRUCTION IMPERVIOUS	0.01 AC±
POST - CONSTRUCTION IMPERVIOUS	2.52 AC±

NO	DATE	BY	CKD	APPR	COMMENT

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EROSION CONTROL NOTES
CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
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ROGERS, MN

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SEQUENCE OF CONSTRUCTION

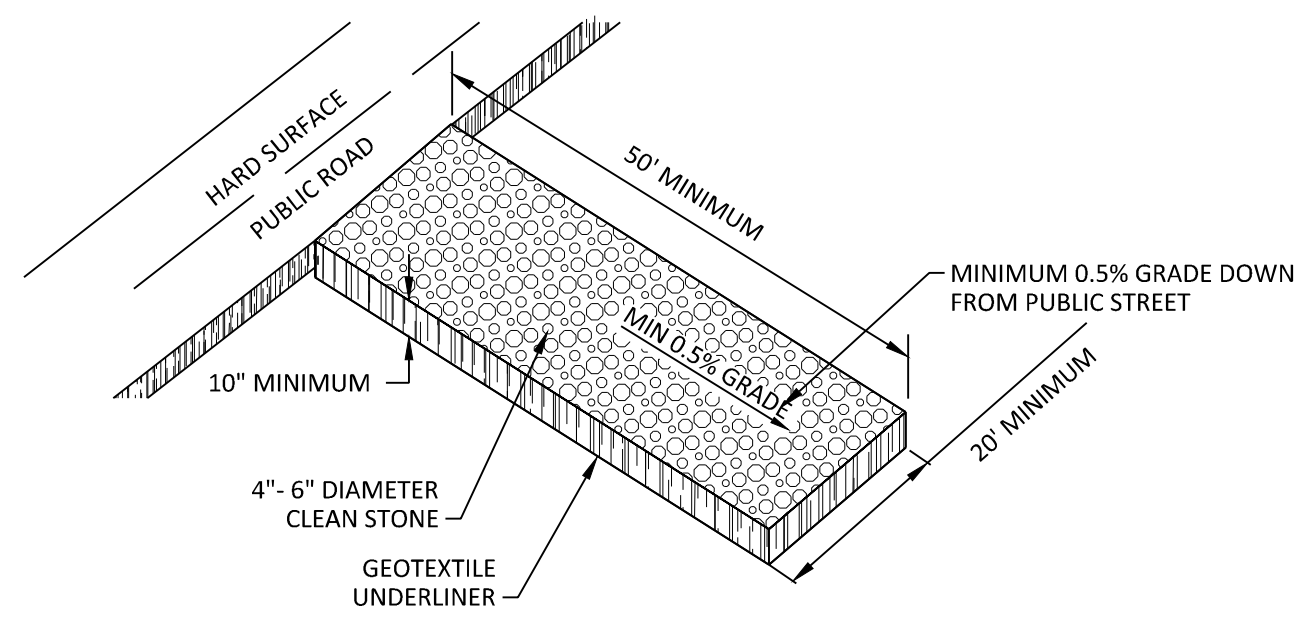
PHASE I:

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT THE SILT FENCES ON THE SITE.
- INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
- CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
- HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMPS. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- CLEAR AND GRUB THE SITE.
- BEGIN GRADING THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

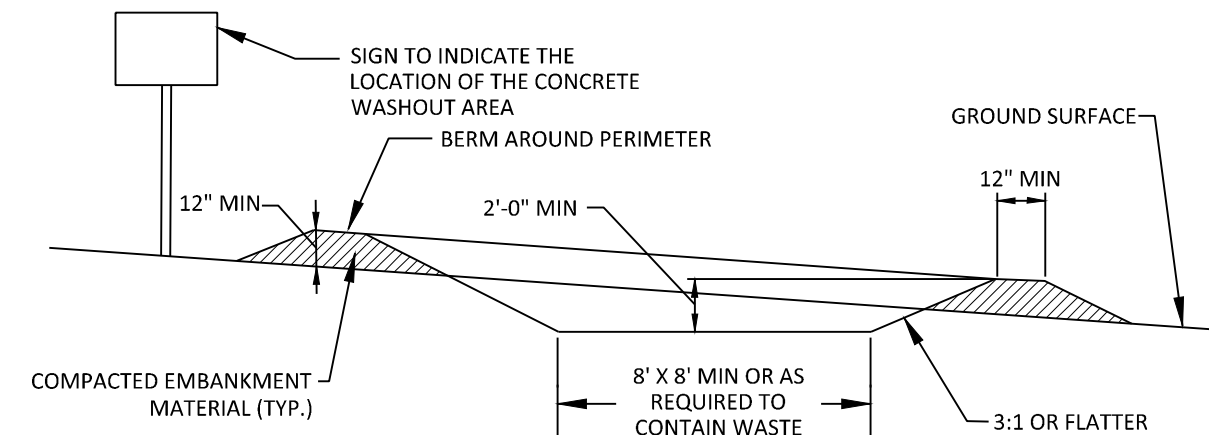
PHASE II:

- TEMPORARY SEED DENUEDED AREAS.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL RIP RAP AROUND OUTLET STRUCTURES.
- INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- INSTALL INLET PROTECTION DEVICES.
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.

REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT

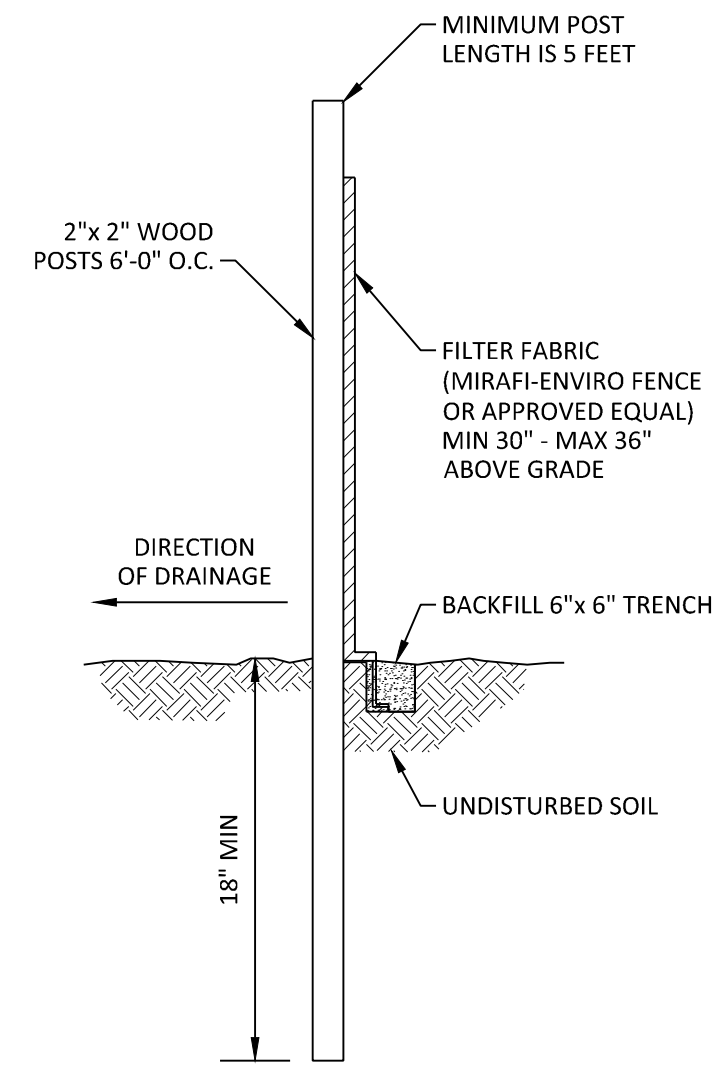


CE TEMPORARY STONE CONSTRUCTION EXIT
N.T.S.



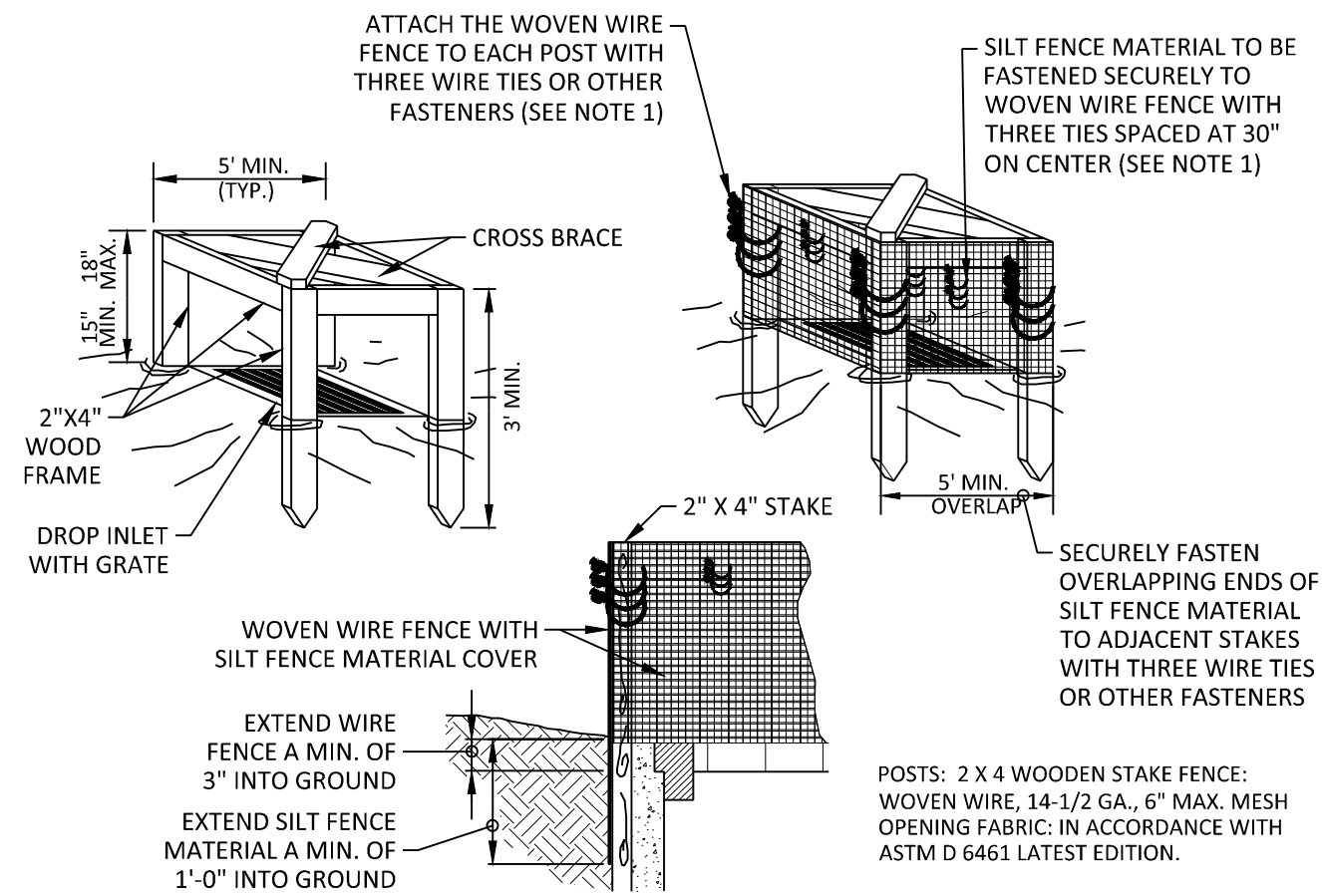
- NOTES:
1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 2. CONCRETE WASHOUT AREA SHALL BE LINED WITH MINIMUM 10 MIL THICK PLASTIC LINER.
 3. VEHICLE TRACKING CONTROL IS REQUIRED IF ACCESS TO CONCRETE WASHOUT AREA IS OFF PAVEMENT.
 4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 5. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 6. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
 7. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

CW CONCRETE WASHOUT AREA
N.T.S.



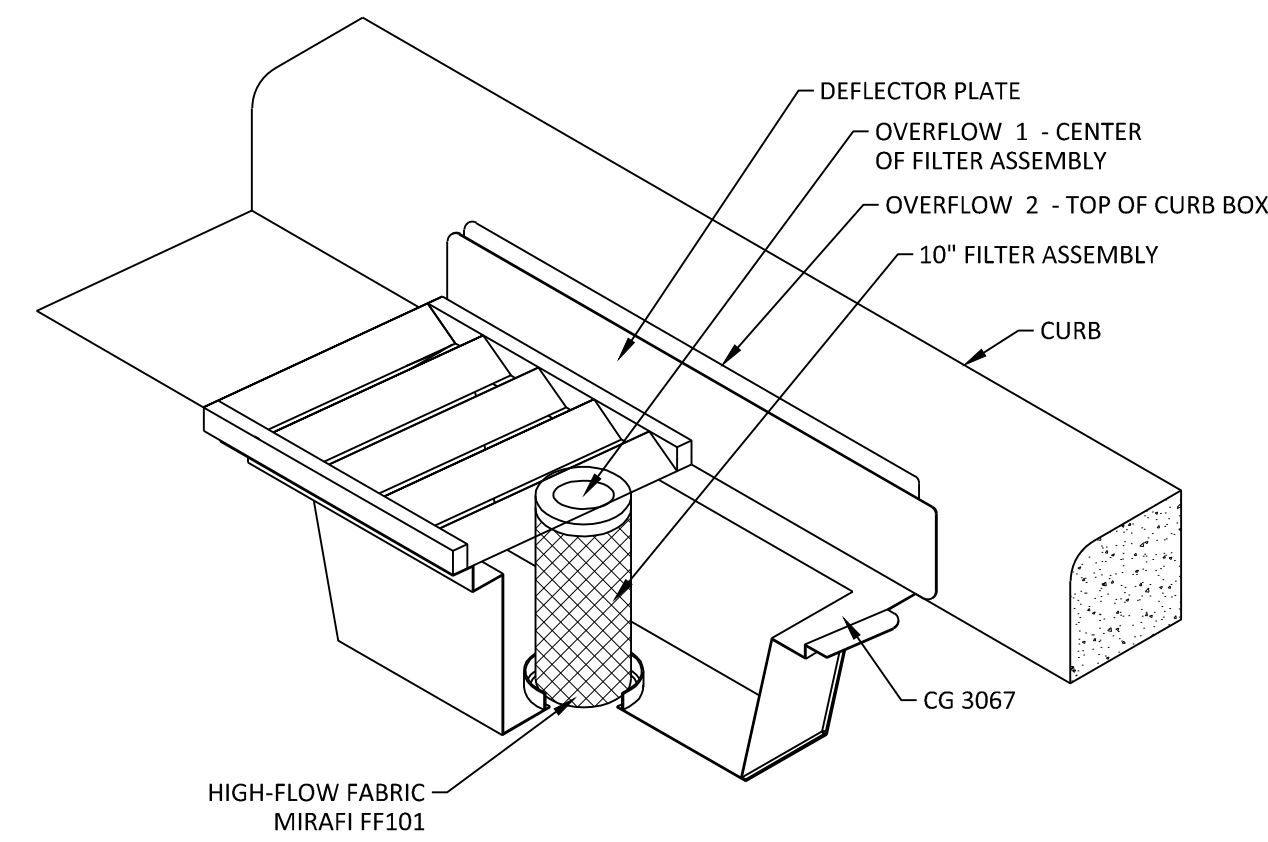
- NOTES:
1. MAXIMUM SPACING BETWEEN POSTS (CENTER TO CENTER) SHALL NOT EXCEED 6 FEET IN SPACING.
 2. A MINIMUM OF 5 FASTENERS PER POST

SF PREASSEMBLED SILT FENCE - WOOD POSTS (MNDOT 3886)
N.T.S.



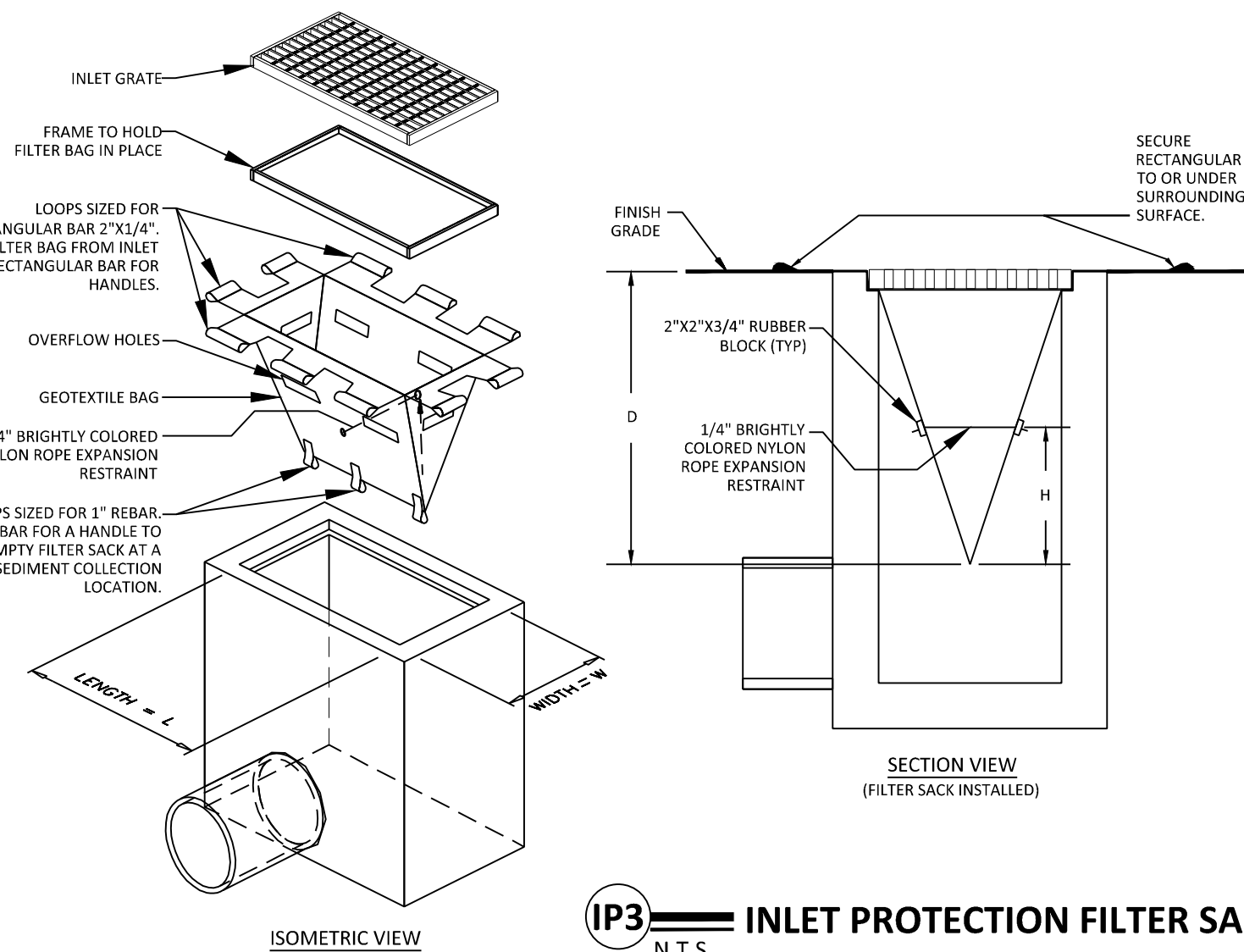
1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

IP1 SILT FENCE INLET PROTECTION
N.T.S.



- ROAD DRAIN CASTING APPLICABILITY
- NEENAH R-3067
 - NEENAH R-3512

IP2 CURB DRAIN INLET PROTECTION
N.T.S.



- NOTES:
1. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
 2. PLACE AN OIL ABSORBENT PAD OR PLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
 3. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
 4. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
 5. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

- MAINTENANCE NOTES:
1. INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
 2. REMOVAL OF SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BEGIN IMMEDIATELY UPON DISCOVERY, WITH COMPLETION OF THE ACTIVITY OCCURRING NO LATER THAN THE END OF THE FOLLOWING BUSINESS DAY.
 3. INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR IMPROPER FLOW-RATES THAT MAY CAUSE DOWNSTREAM FLOODING.
 4. CONTACT THE CEC FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY IMPACT DOWNSTREAM BMPs, ADJACENT SLOPES, ETC., DUE TO PONDING ISSUES. ENSURE THAT NO UNDERMINING OF INLET PROTECTION DEVICES HAS OCCURRED.
 5. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.

IP3 INLET PROTECTION FILTER SACK
N.T.S.

FOR USE ONLY IN PAVED AREAS WHERE SEDIMENT LOADS ARE EXPECTED TO BE VERY LOW. FILTER SACK MUST HAVE OVERFLOW HOLES TO PREVENT PONDING.

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NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date _____ License # _____

DATE ISSUED
09/22/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
TK
DESIGNED BY
CC
CHECKED BY
TC
PROJECT NO.
53862



EROSION CONTROL DETAILS
CRCL GROUP
COMMERCE BOULEVARD DEVELOPMENT
PRELIMINARY DESIGN DOCUMENTS
ROGERS, MN

SHEET
C5.04
12 OF 21
REV. ----

SECTION 1: SITE EVALUATION, ASSESSMENT, AND PLANNING

1.1 PROJECT/SITE INFORMATION

ROGERS COMMERCE BOULEVARD DEVELOPMENT
NE OF COMMERCE BOULEVARD
CITY: ROGERS
STATE: MN
ZIP CODE: 55374
COUNTY: HENNEPIN

THE PROPOSED PROJECT INCLUDES CONSTRUCTION OF TWO MULTI-USE TRADE BUILDINGS WITH ASSOCIATED BITUMINOUS SURFACE PARKING, SIDEWALKS, LANDSCAPING, AND UTILITY IMPROVEMENTS.

NPDES PERMIT NUMBER: _____

1.2 CONTACT INFORMATION/RESPONSIBLE PARTIES

COMPANY/ORGANIZATION NAME:
CONTACT NAME:
ADDRESS:
CITY, STATE, ZIP CODE:
TELEPHONE NUMBER:
FAX/EMAIL:

GENERAL CONTRACTOR (TO BE COMPLETED BY GENERAL CONTRACTOR):

COMPANY/ORGANIZATION NAME:
CONTACT NAME:
ADDRESS:
CITY, STATE, ZIP CODE:
TELEPHONE NUMBER:
FAX/EMAIL:

INSERT AREA OF CONTROL (IF MORE THAN ONE OPERATOR AT SITE):

THE GENERAL CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE MINNESOTA GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PERMIT PROGRAM (GENERAL PERMIT). THE GENERAL CONTRACTOR MUST COMPLY WITH ANY LOCAL GOVERNING AGENCY (LGA) HAVING JURISDICTION CONCERNING EROSION AND SEDIMENT CONTROL. THE GENERAL CONTRACTOR SHALL BE REQUIRED TO BE A CO-APPLICANT WITH THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL DEVICES. THE "APPLICATION FOR GENERAL STORM-WATER PERMIT FOR CONSTRUCTION ACTIVITY (MN R100001)" SHALL BE COMPLETED BY THE GENERAL CONTRACTOR AND SUBMITTED ONLINE, ALONG WITH THE REQUIRED APPLICATION FEE, THROUGH THE MPCA'S WEBSITE.

UNLESS NOTIFIED BY THE MINNESOTA POLLUTION CONTROL AGENCY (MPCA) TO THE CONTRARY, APPLICANTS WHO SUBMIT A COMPLETE APPLICATION FORM IN ACCORDANCE WITH THE REQUIREMENTS OF THE GENERAL PERMIT ARE AUTHORIZED TO DISCHARGE STORM WATER FROM THE CONSTRUCTION SITE UNDER THE TERMS AND CONDITIONS OF THIS PERMIT SEVEN (7) CALENDAR DAYS THE ONLINE APPLICATION PROCESS IS COMPLETE (HTTPS://NETWEB.PCA.STATE.MN.US/PRIVATE/).

(NOTE: ALL PROJECTS UNDER 50 ACRES MUST SUBMIT THE PERMIT APPLICATION USING THE ONLINE PROCESS. MAILED APPLICATIONS ARE ONLY ACCEPTED FOR PROJECTS THAT DISTURB 50 OR MORE ACRES, AND HAVE A DISCHARGE POINT WITHIN 1 MILE OF A PROTECTED WATER.)

ADDITIONALLY, AUTHORIZATION WILL BE DELAYED UNDER THE FOLLOWING CIRCUMSTANCES:

- IF THE PROJECT DISTURBS 50 ACRES OR MORE AND HAS A DISCHARGE POINT WITHIN 1 MILE AND FLOWS TO AN IMPAIRED OR SPECIAL WATER WHOSE DISCHARGE MAY REACH AN IMPAIRED OR SPECIAL WATER LISTED IN SECTION 23 OF THE GENERAL PERMIT THE APPLICANT SHALL SUBMIT THE STORM WATER POLLUTION PREVENTION PLAN AND A COMPLETED APPLICATION AT LEAST 30 CALENDAR DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. UNLESS NOTIFIED BY THE MPCA TO THE CONTRARY, COVERAGE BECOMES EFFECTIVE 30 CALENDAR DAYS AFTER THE POSTMARKED DATE OF THE COMPLETED APPLICATION.
- IF THE PROJECT INCLUDES ALTERNATIVE METHODS THE APPLICATION AND TWO ALTERNATIVE TREATMENT PLANS MUST BE SUBMITTED A MINIMUM OF 90 DAY BEFORE CONSTRUCTION STARTS.

EROSION & SEDIMENT CONTROL SUBCONTRACTOR (RESPONSIBLE FOR IMPLEMENTING & UPDATING SWPPP - TO BE COMPLETED BY CONTRACTOR):

COMPANY/ORGANIZATION NAME:
CONTACT NAME:
ADDRESS:
CITY, STATE, ZIP CODE:
TELEPHONE NUMBER:
FAX/EMAIL:

EROSION & SEDIMENT CONTROL INSPECTOR (SEE PART 6.1 OF THIS SWPPP FOR MORE INFORMATION ON INSPECTION RESPONSIBILITIES- TO BE COMPLETED BY CONTRACTOR):

COMPANY/ORGANIZATION NAME:
CONTACT NAME:
ADDRESS:
CITY, STATE, ZIP CODE:
TELEPHONE NUMBER:
FAX/EMAIL:

GROUND DISTURBING SUBCONTRACTOR(S):

COMPANY/ORGANIZATION NAME:
CONTACT NAME:
ADDRESS:
CITY, STATE, ZIP CODE:
TELEPHONE NUMBER:
FAX/EMAIL:

THE GENERAL CONTRACTOR SHALL PROVIDE A CHAIN OF RESPONSIBILITY WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE AND THE NOT SUBMITTED.

THIS SWPPP WAS PREPARED BY:

COMPANY/ORGANIZATION NAME: SAMBATEK
CONTACT NAME: ALESSANDRA STUTZ
ADDRESS: 12800 WHITEWATER DRIVE SUITE #300
CITY, STATE, ZIP CODE: MINNETONKA MN 55343
TELEPHONE NUMBER: 7634766010
FAX/EMAIL: ASTUTZ@SAMBATEK.COM

SWPPP DESIGNER CERTIFICATION CARD:



1.3 NATURE OF CONSTRUCTION ACTIVITY

NATURE OF CONSTRUCTION:

THIS SWPPP HAS BEEN PREPARED FOR MAJOR ACTIVITIES ASSOCIATED WITH CONSTRUCTION OF TWO MULTI-USE TRADE BUILDINGS WITH ASSOCIATED BITUMINOUS SURFACE PARKING, SIDEWALKS, LANDSCAPING, UTILITY IMPROVEMENTS, AND STORMWATER MANAGEMENT.

ANTICIPATED APPROXIMATE TIMELINES:

ESTIMATED PROJECT START DATE: XX/XX/XX
ESTIMATED PROJECT COMPLETION DATE: XX/XX/XX

1.4 SOILS, SLOPES, VEGETATION, AND CURRENT DRAINAGE PATTERNS

SOIL TYPE(S):

THE UNITED STATES DEPARTMENT OF AGRICULTURE'S WEB SOIL SURVEY, EXISTING SOILS ON SITE CONSIST OF CORDOVA LOAM AND LE SUEUR LOAM. THESE SOILS ARE CONSIDERED HYDROLOGIC SOIL GROUP (HSG) C/D AND ARE UNSUITABLE FOR INFILTRATION.

SLOPES:

EXISTING SLOPES RANGE FROM 0.4-16% IN PERVIOUS AREAS OF THE SITE. EXISTING SLOPES RANGE FROM 0.3-5.0% ON IMPERVIOUS SURFACES.
PROPOSED SLOPES RANGE FROM 0.5-30% IN PERVIOUS AREAS OF THE SITE. PROPOSED SLOPES RANGE FROM 1.0-5.0% ON IMPERVIOUS SURFACES.

DRAINAGE PATTERNS:

RUNOFF FROM THE EXISTING SITE FLOWS TO EXISTING STORM SEWER INFRASTRUCTURE ALONG COMMERCE BOULEVARD, THE ADJACENT ACCESS ROAD, AND PARKING LOTS OFFSITE TO THE NORTH. EXISTING STORM SEWER ALONG COMMERCE DRIVE, THE ADJACENT ACCESS ROAD, AND NORTH IN OFFSITE PARKING ALL EVENTUALLY JOIN TOGETHER NORTH OF THE SITE. THERE IS CURRENTLY NO STORMWATER MANAGEMENT INFRASTRUCTURE LOCATED ONSITE.

THE CENTRAL PORTION OF THE SITE, INCLUDING BOTH BUILDINGS AND PARKING SPACES, WILL ROUTE THROUGH PROPOSED STORM SEWER BEFORE DISCHARGING INTO THE PROPOSED STORMWATER BEST MANAGEMENT PRACTICE (BMP). THE PERIMETER OF THE SITE DISCHARGE OVERLAND OFFSITE IN MAINTENANCE OF EXISTING DRAINAGE PATTERNS.

VEGETATION:

EXISTING VEGETATION WILL REQUIRE CLEARING AND GRUBBING DUE TO ALTERING GRADES. THE PROPOSED SITE WILL BE RE-VEGETATED IN ACCORDANCE WITH THE LANDSCAPING PLAN.

RAINFALL INFORMATION:

RAINFALL INFORMATION - THE AVERAGE TOTAL ANNUAL PRECIPITATION IS ABOUT 28.32 INCHES. OF THIS ABOUT 17.31 INCHES, OR 61 PERCENT, USUALLY FALLS IN MAY THROUGH SEPTEMBER. THE AVERAGE ANNUAL SNOWFALL IS 57.3 INCHES.

1.5 CONSTRUCTION SITE ESTIMATES

PROJECT AREA SUMMARY:

TOTAL PROJECT AREA: 3.47 ACRES
CONSTRUCTION SITE AREA TO BE DISTURBED: 3.42 ACRES

IMPERVIOUS AREAS:

IMPERVIOUS AREA BEFORE CONSTRUCTION (ACRES): 0.09
IMPERVIOUS AREA AFTER CONSTRUCTION (ACRES): 2.63

1.6 RECEIVING WATERS

CONSTRUCTION PHASE STORM WATER SYSTEM DESCRIPTION:

DURING CONSTRUCTION, EROSION AND SEDIMENT CONTROL DEVICES SUCH AS SILT FENCE AND INLET PROTECTION WILL WORK TO PREVENT SEDIMENT FROM LEAVING THE SITE AND THEREBY PROTECT DOWNSTREAM WATERS.

DESCRIPTION OF RECEIVING WATERS:

THERE ARE NO WATERS IDENTIFIED AS IMPAIRED BY THE MPCA WITHIN ONE MILE OF THE SITE. RUNOFF FROM THE SITE DISCHARGES INTO EXISTING STORM SEWER IN BOTH EXISTING AND PROPOSED CONDITIONS. STORM SEWER ROUTES NORTHEAST TO CONVEYANCE SWALES BEFORE ENTERING REGIONAL POND SYSTEMS.

1.7 SITE FEATURES AND SENSITIVE AREAS TO BE PROTECTED

THERE ARE NO EXISTING SITE FEATURES TO BE PROTECTED.

1.8 POTENTIAL SOURCES OF POLLUTION

POTENTIAL SOURCES OF SEDIMENT AND OTHER POLLUTANTS TO STORMWATER RUNOFF:

CONSTRUCTION PHASE POLLUTANT SOURCES ANTICIPATED AT THE SITE ARE DISTURBED (BARE) SOIL, VEHICLE FUELS AND LUBRICANTS, CHEMICALS ASSOCIATED WITH BUILDING CONSTRUCTION, AND BUILDING MATERIALS. WITHOUT ADEQUATE CONTROL THERE IS THE POTENTIAL FOR EACH TYPE OF POLLUTANT TO BE TRANSPORTED BY STORM WATER. (DESCRIBE ANY ADDITIONAL IDENTIFIED SOURCES OF SEDIMENT/POLLUTANTS)

1.9 ENDANGERED/THREATENED SPECIES

THERE ARE THREE ENDANGERED AND THREATENED SPECIES KNOWN TO BE IN THE AREA. THE WHOOPING CRANE, THE SALAMANDER MUSSEL, AND THE MONARCH BUTTERFLY. DUE TO THE LACK OF WETLANDS AND WATER FEATURES ON SITE, IT IS HIGHLY UNLIKELY THAT THE SALAMANDER MUSSEL WILL BE ENCOUNTERED ON SITE. IT IS NOT ANTICIPATED THE CONSTRUCTION ACTIVITIES WILL DISRUPT HABITAT OF THESE ENDANGERED SPECIES, HOWEVER IF THESE ENDANGERED OR THREATENED SPECIES ARE OBSERVED WITHIN THE PROJECT LOCATION WHILE PROJECT ACTIVITIES ARE GOING ON, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND ENGINEER OF RECORD IS TO BE NOTIFIED.

THE UNITED STATES FISH AND WILDLIFE SERVICE LIST WHOOPING CRANE AS AN EXPERIMENTAL POPULATION. THE WHOOPING CRANE BREEDS, MIGRATES, WINTERS, AND FORAGES IN A VARIETY OF WETLAND AND OTHER HABITATS, INCLUDING COASTAL MARSHES AND ESTUARIES, INLAND MARSHES, LAKES, PONDS, WET MEADOWS AND RIVERS, AND AGRICULTURAL FIELDS. THERE IS ONE GROUP OF CRANES WHICH ARE KNOWN TO MIGRATE THROUGH MINNESOTA.

THE UNITED STATES FISH AND WILDLIFE SERVICE LISTS THE SALAMANDER MUSSEL AS A PROPOSED ENDANGERED SPECIES. THE SALAMANDER MUSSEL IS A SMALL

SPECIES, ELLIPTICAL IN SHAPE, THAT IS THIN-SHELLED AND THAT REACHES APPROXIMATELY 1.52 INCHES LONG. THE SALAMANDER MUSSEL INHABITS RIVERS AND STREAMS WITH FAIRLY SWIFT VELOCITIES BUT PREFERS SHELTER HABITAT WITH SPACE UNDER SLAB ROCK/BEDROCK CREVICE-TYPE STRUCTURES THAT ARE DARK, WHERE THEY ARE IN CONTACT WITH A SOLID SURFACE, AND WHERE THERE IS STABILITY FROM A CONSTANT CURRENT. MUSSELS ARE AMONG THE MOST SENSITIVE FRESHWATER SPECIES TO METALS, AMMONIA, AND ION CONSTITUENTS, INCLUDING COPPER, SILTULATE, ALACHLOR, NICKEL, CHLORIDE, SULFATE, ZINC, AND POTASSIUM. IN PARTICULAR, FRESHWATER MUSSELS ARE VERY SENSITIVE TO AMMONIA. MUSSEL DECLINES HAVE BEEN PARTIALLY ATTRIBUTED TO SEDIMENTATION CAUSED BY ANTHROPOGENIC ACTIVITIES (FOR EXAMPLE, DECREASE IN VEGETATIVE AND CANOPY COVER AND INCREASE IN URBAN AND AGRICULTURAL LAND. INCREASED SEDIMENTATION IMPACTS BOTH WATER QUALITY AND QUANTITY, WHICH CAN HAVE DIRECT AND INDIRECT IMPACTS ON THE SURVIVAL, REPRODUCTION, AND GROWTH OF FRESHWATER MUSSEL POPULATIONS.

THE UNITED STATES FISH AND WILDLIFE SERVICE LISTS THE MONARCH BUTTERFLY AS AN AN ENDANGERED SPECIES CANDIDATE. MONARCH HABITAT REQUIRES MILKWEED AND FLOWERING PLANTS. WHETHER IT'S A FIELD, ROADSIDE AREA, OPEN AREA, WET AREA OR URBAN GARDEN. ADULT MONARCHS FEED ON THE NECTAR OF MANY FLOWERS DURING BREEDING AND MIGRATION, BUT THEY CAN ONLY LAY EGGS ON MILKWEED PLANTS. FOR OVERWINTERING MONARCHS, HABITAT WITH A SPECIFIC MICROCLIMATE IS NEEDED FOR PROTECTION FROM THE ELEMENTS, AS WELL AS MODERATE TEMPERATURES TO AVOID FREEZING. THESE CONDITIONS VARY BETWEEN POPULATIONS. FOR THE EASTERN NORTH AMERICAN POPULATION, MOST MONARCHS OVERWINTER IN OYAMEL FIR TREE ROOSTS LOCATED IN MOUNTAINOUS REGIONS IN CENTRAL MEXICO AT AN ELEVATION OF 2,400 TO 3,600 METERS.

1.10 HISTORIC PRESERVATION

THERE ARE NO KNOWN HISTORIC SITES ON THE CONSTRUCTION SITE. THE NEAREST HISTORIC PROPERTY IS LOCATED DIAGONALLY ACROSS THE STREET FROM THE PROPOSED SITE AT THE RAPID MARINE AT 21350 ROGERS DR (SHPO HISTORIC INVENTORY NUMBER HE-RGC-00022).

1.11 APPLICABLE FEDERAL, TRIBAL, STATE OR LOCAL PROGRAMS

LOCAL GOVERNING UNIT (LGU) REQUIREMENTS:

THE PROJECT SITE IS LOCATED WITHIN THE CITY OF ROGERS AND THE ELM CREEK WATERSHED MANAGEMENT COMMISSION (ECWCM). THE COLLECTIVE AGENCIES REQUIRE DEVELOPMENTS DISTURBING OVER ONE ACRE OF LAND ADHERE TO THE FOLLOWING RULES:

RATE CONTROL: PROPOSED ACTIVITY SHALL NOT EXCEED EXISTING RUNOFF DISCHARGE RATES FOR THE 2-, 10-, AND 100-YEAR 24-HOUR CRITICAL STORM EVENTS USING THE CURRENT RAINFALL DISTRIBUTION SET FORTH IN NOAA ATLAS 14.

VOLUME CONTROL: STORMWATER RUNOFF VOLUME MUST BE INFILTRATED/ABSTRACTED ONSITE IN THE AMOUNT EQUIVALENT TO 1.1" OF RUNOFF GENERATED FROM NEW IMPERVIOUS SURFACES. WHERE INFILTRATION IS NOT ADVISABLE OR INFEASIBLE DUE TO SITE CONDITIONS, BIOFILTRATION OR FILTRATION MUST BE PROVIDED FOR THE AMOUNT OF ABSTRACTION VOLUME WHICH IS NOT INFILTRATED.

WATER QUALITY: THERE SHALL BE NO NET INCREASE IN THE TP OR TSS FROM PRE-DEVELOPMENT LAND COVER TO POST-DEVELOPMENT LAND COVER.

1.12 MITIGATION MEASURES FROM ENVIRONMENTAL REVIEWS/TMDLS/IMPAIRED WATERS

1.13 MAPS

EROSION AND SEDIMENT CONTROL PLANS:

THE FOLLOWING SITE DEVELOPMENT PLAN SHEETS ARE AN INTEGRAL PART OF THIS SWPPP:

- C-5.01 - PHASE I EROSION AND SEDIMENTATION CONTROL PLAN/"SITE MAP"
- C-5.01 - PHASE II EROSION AND SEDIMENTATION CONTROL PLAN/"SITE MAP"
- C-5.03 - EROSION AND SEDIMENTATION CONTROL DETAILS
- C-5.02 - EROSION AND SEDIMENTATION CONTROL NOTES/"SITE MAP"

SHOW THE FOLLOWING ON THE EROSION AND SEDIMENT CONTROL PLANS:

- EXISTING AND FINAL GRADES
- DIVIDING LINES AND DIRECTION OF FLOW FOR ALL PRE AND POST-CONSTRUCTION STORM WATER RUNOFF DRAINAGE AREAS LOCATED WITHIN THE PROJECT LIMITS
- IMPERVIOUS SURFACE AREAS (PRE- AND POST-CONSTRUCTION AREA TABULATIONS)
- SOIL TYPES
- DELINEATED WETLAND LOCATIONS WITHIN ONE MILE OF THE PROJECT BOUNDARIES, WHICH WILL RECEIVE STORM WATER RUNOFF FROM THE SITE, (IF NOT POSSIBLE TO SHOW ON THE PLAN SHEET, THEY MUST BE IDENTIFIED WITH AN ARROW INDICATING BOTH DIRECTION AND DISTANCE TO THE SURFACE WATER, OR ON A USGS 7.5 MINUTE QUADRANGLE MAP OR EQUIVALENT)
- LOCATION AND TYPE OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL MEASURES, INCLUDING METHODS FOR FINAL STABILIZATION
- BOUNDARIES OF DISTURBED CONSTRUCTION AREAS
- PHASING OF CONSTRUCTION IN ORDER TO MINIMIZE DURATION OF EXPOSED SOILS
- STANDARD PLATES/SPECS FOR PROPOSED BMPS
- SEDIMENT CONTROL PRACTICES FOR PROPOSED TEMPORARY OR PERMANENT DRAINAGE DITCHES WHERE APPROPRIATE
- ESTIMATED PRELIMINARY QUANTITIES TABULATION FOR TEMPORARY BMPS
- ANY AREAS THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS FOR WHICH THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS"
- BUFFERS
- STEEP SLOPES
- MAINTENANCE PLANS FOR PERMANENT STORMWATER SYSTEMS
- KARST AREAS

SECTION 2: EROSION AND SEDIMENT CONTROL BMPS

EROSION CONTROL BMPS:

THE PURPOSE OF EROSION CONTROL IS TO PREVENT SOIL PARTICLES FROM BECOMING SUSPENDED IN WATER AND BEING TRANSPORTED TO EITHER DOWNSTREAM SURFACE WATERS OR DOWNSTREAM PROPERTIES.

APPROPRIATE CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, AND OTHER CONSTRUCTION PRACTICES THAT MINIMIZE EROSION MUST BE PLANNED FOR AND IMPLEMENTED.

IN THE NATURAL CONDITION, SOIL IS STABILIZED BY NATIVE VEGETATION. THE PRIMARY TECHNIQUE TO BE USED AT THIS PROJECT FOR FINAL STABILIZATION OF SITE SOIL WILL BE TO PROVIDE A PROTECTIVE COVER OF VEGETATION, PAVEMENT, OR BUILDING.

ALL EXPOSED AREAS MUST BE STABILIZED AS SOON AS POSSIBLE (BUT NO LATER THAN THE NEXT WORK DAY) TO LIMIT SOIL EROSION, BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY SOIL STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G. CLEAN AGGREGATED STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT, BUT MUST

COMPLY WITH SECTION 2.7 OF THIS SWPPP (SECTION 8.4, 9.9, 9.10, AND 23.0 OF THE GENERAL PERMIT).

SEDIMENT CONTROL BMPS:

THE PURPOSE OF SEDIMENT CONTROL IS TO PREVENT SOIL PARTICLES THAT HAVE BEEN SUSPENDED IN WATER FROM ENTERING SURFACE WATERS, INCLUDING CURB AND GUTTER SYSTEMS AND STORM SEWER INLETS. SEDIMENT CONTROL BMPS HAVE BEEN DESIGNED AS PART OF THIS SWPPP.

IF THE DOWN GRADIENT TREATMENT SYSTEM IS OVERLOADED, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL UP GRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND MUST AMEND THE SWPPP WITHIN 7 DAYS TO IDENTIFY THE ADDITIONAL PRACTICES.

SEDIMENT CONTROL PRACTICES MUST ALWAYS BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS AND BE LOCATED UPGRADIENT OF ANY BUFFER ZONES. THE PERIMETER SEDIMENT CONTROL PRACTICES MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES MUST REMAIN IN PLACE UNTIL FINAL STABILIZATION IS ACHIEVED (SEE SECTION 8 OF THIS SWPPP).

THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE RE-INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. SEDIMENT CONTROL PRACTICES MUST BE INSTALLED BEFORE THE NEXT RAIN EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

2.1 MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES AND SOIL

CONSTRUCTION SHALL BE PHASED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

PHASE I:

1. STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
5. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMPS. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
7. CLEAR AND GRUB THE SITE.
8. BEGIN GRADING THE SITE.
9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

PHASE II:

1. TEMPORARY SEED DENUEED AREAS.
 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
 4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL INLET PROTECTION DEVICES.
 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT

2.2 PRESERVE 50 FOOT NATURAL BUFFER

THE CONTRACTOR MUST PRESERVE A 50 FOOT NATURAL BUFFER (OR IF A BUFFER IS INFEASIBLE ON THE SITE PROVIDE REDUNDANT SEDIMENT CONTROLS) WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECTS EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. THE CONTRACTOR IS NOT REQUIRED TO ENHANCE THE QUALITY OF THE VEGETATION THAT ALREADY EXISTS IN THE BUFFER OR PROVIDE VEGETATION IF NONE EXISTS. (SHOW 50 FOOT BUFFERS ON PHASE I EROSION & SEDIMENT CONTROL PLAN)

2.3 CONTROL STORMWATER FLOWING ONTO AND THROUGH THE PROJECT

MEASURES SHOULD BE TAKEN TO ENSURE THAT "CLEAN" RUNOFF FROM OFF SITE IS DIVERTED AROUND DISTURBED AREAS ON SITE. CARE SHOULD BE TAKEN THAT RE-ROUTING OFF SITE RUNOFF DOES NOT RESULT IN FLOODING OR OTHER ISSUES ON ADJACENT PROPERTIES.

BMP DESCRIPTION: TEMPORARY DIVERSION DITCH

INSTALLATION SCHEDULE: INSTALL TEMPORARY DIVERSION DITCHES AS SHOWN ON THE SWPPP PLAN SHEETS, AND AS NEEDED THROUGHOUT CONSTRUCTION, PRIOR TO UP GRADIENT GROUND DISTURBING ACTIVITIES

MAINTENANCE AND INSPECTION REQUIREMENTS: THE WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. THIS STABILIZATION MUST BE COMPLETED WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. THE REMAINDER OF THE DITCH MUST BE STABILIZED WITHIN 14 DAYS OF CONNECTING TO A SURFACE WATER AND AFTER CONSTRUCTION HAS CEASED.

TEMPORARY OR PERMANENT DITCHES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DO NOT NEED TO BE STABILIZED, BUT MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

DITCHES MUST BE INSPECTED EVERY 7 DAYS, AND WITHIN 24 HOURS AFTER A 0.5" 24-HOUR RAIN EVENT. ANY SEDIMENT DEPOSITED IN DIVERSION DITCHES MUST BE REMOVED AND ANY EXPOSED SOILS STABILIZED WITHIN 7 DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. IF PRECLUDED, NOTE REASON FOR DELAY ON MAINTENANCE LOG.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

2.4 STABILIZE SOILS

1. **TEMPORARY SEEDING** - DISTURBED AREAS THAT ARE NOT YET AT FINAL GRADE BUT THAT WILL NOT BE ACTIVELY WORKED FOR 14 DAYS OR MORE MUST BE TEMPORARILY STABILIZED. TEMPORARY STABILIZATION MUST BE INITIATED IMMEDIATELY WHERE WORK HAS TEMPORARILY CEASED AND MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER WORK IN THAT PORTION OF THE SITE HAS TEMPORARILY CEASED. TEMPORARY SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 21-111 OR 21-112 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3) SEEDING METHOD AND APPLICATION RATE SHALL

CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3C. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3E MAY BE USED IN PLACE OF TEMPORARY MULCH.

2. **PERMANENT STABILIZATION** - ALL AREAS AT FINAL GRADE MUST BE STABILIZED WITHIN 14 DAYS AFTER COMPLETION OF THE MAJOR CONSTRUCTION ACTIVITY. PERMANENT STABILIZATION MUST BE INITIATED IMMEDIATELY WHERE WORK HAS PERMANENTLY CEASED AND MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED. SEEDED AREAS SHALL BE PROTECTED WITH MULCH. PERMANENT MULCH SHALL CONFORM TO MN/DOT SPECIFICATION 3882, TYPE 3 AT 2 TONS/ACRE AND SHALL BE DISK ANCHORED. HYDRAULIC SOIL STABILIZER MAY BE USED IN PLACE OF MULCH IF APPROVED BY CIVIL ENGINEER. IF HYDRAULIC SOIL STABILIZER IS USED, IT SHALL BE MN/DOT TYPE 6.

2.5 PROTECT SLOPES

STEEP SLOPE AREAS - THE CONTRACTOR MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT THAT HAVE STEEP SLOPES (3:1 OR STEEPER). FOR THOSE SLOPED AREAS WHICH MUST BE DISTURBED, THE CONTRACTOR MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES, SUCH AS DRAINING AND TERRACING. SLOPES STEEPER THAN 3:1 MUST BE PROTECTED BY EROSION CONTROL BLANKETS.

BMP DESCRIPTION: EROSION CONTROL BLANKET

INSTALLATION SCHEDULE: INSTALL EROSION CONTROL BLANKETS AS SHOWN ON THE SWPPP PLAN SHEETS, AND AS NEEDED THROUGHOUT CONSTRUCTION, WITHIN THE PERIMETER ALLOWED FOR STABILIZATION AFTER WORK HAS CEASED IN AN AREA, DEPENDING ON THE LOCATION (I.E. 24 HOURS, 7 DAYS, 14 DAYS)

MAINTENANCE AND INSPECTION REQUIREMENTS: TO FUNCTION PROPERLY, EROSION CONTROL BLANKETS MUST BE IN CONTACT WITH THE SOIL BENEATH THE BLANKET. BLANKETS MUST BE SECURED PER THE CONSTRUCTION DETAIL PROVIDED WITH THE SWPPP PLAN SHEETS. INSPECT BLANKETS EVERY 7 DAYS OR WITHIN 24 HOURS AFTER A 0.5" 24-HOUR RAIN EVENT. REPAIR, REPLACE, OR SUPPLEMENT NON-FUNCTIONAL BLANKETS WITHIN 3 DAYS OR BY THE NEXT RAIN EVENT, WHICHEVER COMES FIRST.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

2.6 PROTECT STORM DRAIN INLETS

ALL STORM DRAIN INLETS MUST BE PROTECTED BY APPROPRIATE MEANS DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE REMOVED FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (STREET FLOODING/FREEZING) HAS BEEN IDENTIFIED AND PERMITTEE(S) HAVE RECEIVED WRITTEN CORRESPONDENCE FROM THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY/TOWNSHIP/MINDOT/ETC.) VERIFYING THE NEED FOR REMOVAL. THE WRITTEN CORRESPONDENCE MUST BE DOCUMENTED IN THIS SWPPP.

BMP DESCRIPTION: SILT FENCE INLET PROTECTION

INSTALLATION SCHEDULE: INSTALL INLET PROTECTION IN EXISTING STRUCTURES AS DIRECTED ON THE SWPPP PLAN SHEETS, AND AS NEEDED THROUGHOUT CONSTRUCTION, PRIOR TO BEGINNING GROUND DISTURBING ACTIVITIES UP GRADIENT OF THE INLET. INSTALL INLET PROTECTION ON NEW STRUCTURES AS SOON AS THE STRUCTURES ARE PUT INTO USE.

MAINTENANCE AND INSPECTION REQUIREMENTS: INSPECT SILT FENCE EVERY 7 DAYS OR WITHIN 24 HOURS AFTER A 0.5" 24-HOUR RAIN EVENT. SEDIMENT ACCUMULATIONS SHOULD BE REMOVED WHEN SEDIMENT BUILD-UP REACHES 1/2 THE HEIGHT OF THE SILT FENCE. THIS MAINTENANCE MUST BE COMPLETED WITHIN 24 HOURS OF DISCOVERY.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

BMP DESCRIPTION: INLET PROTECTION (INLET INSERT DEVICE)

INSTALLATION SCHEDULE: INSTALL INLET PROTECTION IN EXISTING STRUCTURES AS DIRECTED ON THE SWPPP PLAN SHEETS, AND AS NEEDED THROUGHOUT CONSTRUCTION, PRIOR TO BEGINNING GROUND DISTURBING ACTIVITIES UP GRADIENT OF THE INLET. INSTALL INLET PROTECTION ON NEW STRUCTURES AS SOON AS THE STRUCTURES ARE PUT INTO USE.

MAINTENANCE AND INSPECTION REQUIREMENTS: INSPECT INLET PROTECTION EVERY 7 DAYS OR WITHIN 24 HOURS AFTER A 0.5" 24-HOUR RAIN EVENT. SEDIMENT ACCUMULATIONS SHOULD BE REMOVED WHEN SEDIMENT BUILD-UP REACHES 1/2 THE CAPACITY OF THE DEVICE, OR, IF MORE STRINGENT, IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. THIS MAINTENANCE MUST BE COMPLETED WITHIN 24 HOURS OF DISCOVERY.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

2.7 ESTABLISH PERIMETER CONTROLS AND SEDIMENT BARRIERS

ALL STRUCTURAL SED

2.10 CONTROL STORMWATER DISCHARGE POINTS

- 1. PIPE OR OTHER TEMPORARY OR PERMANENT OUTLETS MUST BE STABILIZED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
2. STABILIZE THE NORMAL WETTED PERIMETER OF A DRAINAGE DITCH OR SWALE WITHIN 200 FEET OF THE PROPERTY EDGE WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.

BMP DESCRIPTION: RIPRAP

INSTALLATION SCHEDULE: INSTALL RIPRAP AS SHOWN ON SWPPP PLANS AND/OR GRADING PLANS. INSTALLATION MUST BE COMPLETED WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER.

MAINTENANCE AND INSPECTION REQUIREMENTS: INSPECT OUTLETS EVERY 7 DAYS OR WITHIN 24 HOURS AFTER A 0.5" 24-HOUR RAIN EVENT. REPAIR, REPLACE OR SUPPLEMENT NON-FUNCTIONING RIPRAP ENERGY DISSIPATION WITHIN 3 DAYS OR BY THE NEXT RAIN EVENT.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

2.11 CHEMICAL EROSION AND SEDIMENT CONTROL BMPS

POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS MUST BE APPLIED AFTER CONVENTIONAL EROSION AND SEDIMENT CONTROL DEVICES ARE UTILIZED. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

SECTION 3: DEWATERING & BASIN DRAINING

3.1 DEWATERING AND BASIN DRAINING

ALLOWABLE NON-STORMWATER DISCHARGES, AS DEFINED BY THE GENERAL PERMIT, ARE LIMITED TO DEWATERING AND BASIN DRAINING. DEWATERING OR BASIN DRAINING THAT MAY HAVE TURBID OR SEDIMENT LADEN DISCHARGE WATER MUST BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE WHENEVER POSSIBLE.

SECTION 4: GOOD HOUSEKEEPING BMPS

4.1 MATERIAL HANDLING AND WASTE MANAGEMENT

- 1. SOLID WASTE DISPOSAL - NO SOLID MATERIALS, INCLUDING CONSTRUCTION AND DEMOLITION MATERIALS, COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, SHALL BE ALLOWED TO BE CARRIED FROM THE SITE WITH STORM WATER.
2. GROUNDWATER PROTECTION - SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY WHATEVER MEANS NECESSARY IN ORDER TO ENSURE THAT THEY DO NOT DISCHARGE FROM THE SITE.
3. SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY SEPTIC SYSTEM REGULATIONS.

4.2 ESTABLISH PROPER STORAGE, HANDLING & DISPOSAL PRACTICES

HAZARDOUS MATERIALS & TOXIC WASTE (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) MUST BE STORED IN WATERPROOF CONTAINERS WITH SECONDARY CONTAINMENT, AND THEIR LOCATION(S) MUST BE NOTED ON THE SWPPP MAP.

4.3 DESIGNATE WASHOUT AREAS

THE CONTRACTOR SHALL DESIGNATE AREAS FOR CONCRETE AND OTHER (STUCCO, PAINT, FOR RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS RELATED TO THE CONSTRUCTION

ACTIVITY) WASHOUTS, AND NOTE THE LOCATIONS ON THE SITE MAP. ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK PROOF CONTAINMENT FACILITY OR IMPERMEABLE LAYER.

BMP DESCRIPTION: CONCRETE WASHOUT

INSTALLATION SCHEDULE: PRIOR TO CONCRETE WORK.

MAINTENANCE AND INSPECTION REQUIREMENTS: INSPECT CONCRETE WASHOUTS FOR EVIDENCE OF DISCHARGE EVERY 7 DAYS OR WITHIN 24 HOURS AFTER A 0.5" 24-HOUR RAIN EVENT.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

4.4 ESTABLISH PROPER EQUIPMENT/VEHICLE FUELING AND MAINTENANCE PRACTICES

THE CONTRACTOR SHALL DESIGNATE AREAS FOR EQUIPMENT FUELING, CLEANING, MAINTENANCE AND REPAIR, AND NOTE THE LOCATION(S) ON THE SWPPP SITE MAPS. RUNOFF MUST BE CONTAINED WITHIN THE DESIGNATED AREAS (I.E. THROUGH USE OF A TEMPORARY BERM).

4.5 CONTROL EQUIPMENT/VEHICLE WASHING

THE CONTRACTOR SHALL DESIGNATE LOCATION(S) FOR VEHICLE WASHING, AND NOTE THE LOCATION(S) ON THE SWPPP SITE MAP. RUNOFF FROM THE WASHING AREA MUST BE CONTAINED IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND WASTE FROM THE WASHING ACTIVITY MUST BE PROPERLY DISPOSED OF.

4.6 SPILL PREVENTION AND CONTROL PLAN

- 1. ACCIDENTAL SPILL - DISCHARGE OF OIL OR OTHER HAZARDOUS SUBSTANCES IS SUBJECT TO REPORTING AND CLEAN UP REQUIREMENTS.
2. GROUNDWATER PROTECTION - SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY WHATEVER MEANS NECESSARY IN ORDER TO ENSURE THAT THEY DO NOT DISCHARGE FROM THE SITE.

SECTION 5: POST-CONSTRUCTION BMPS

THE ROGERS COMMERCE BOULEVARD DEVELOPMENT PROJECT PROPOSES TO MEET RATE, WATER QUALITY, AND VOLUME REDUCTION THROUGH THE USE OF ONE SURFACE BIOFILTRATION BASIN WITH UNDERDRAIN LOCATED IN THE NORTHWEST PORTION OF THE SITE.

BMP DESCRIPTION: SUMP MANHOLE

INSTALLATION SCHEDULE: ALONG WITH STORM SEWER NETWORK

MAINTENANCE AND INSPECTION REQUIREMENTS: PRACTICE SHOULD BE INSPECTED (AND CLEANED OUT IF DEEMED NECESSARY) SEMI-ANNUALLY TO ENSURE THAT SEDIMENT IS NOT BEGINNING TO WASH OUT DURING STORM EVENTS.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

BMP DESCRIPTION: FILTRATION BASIN

INSTALLATION SCHEDULE: THE FILTRATION BASIN WILL BE INSTALLED DURING THE INITIAL GRADING FOR THE SITE. THE STORM SEWER SYSTEM WILL THEN BE CONNECTED INTO THE FILTRATION BASIN.

MAINTENANCE AND INSPECTION REQUIREMENTS: ONCE CONSTRUCTION IS COMPLETE, THE BASIN WILL BE INSPECTED AND CLEARED OF ANY SEDIMENT BUILD-UP TWICE PER YEAR AND AS NEEDED.

RESPONSIBLE STAFF (CONTRACTOR TO COMPLETE):

SECTION 6: INSPECTIONS

6.1 INSPECTIONS

- 1. INSPECTION FREQUENCY AND RESPONSIBILITY (OPTION 1 - CONTRACTOR RESPONSIBLE FOR INSPECTIONS)

BETWEEN THE TIME THIS SWPPP IS IMPLEMENTED AND FINAL SITE STABILIZATION IS ACHIEVED AND THE NOTICE OF TERMINATION FILED WITH THE MPCA, ALL DISTURBED AREAS AND POLLUTANT CONTROLS MUST BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER.

- 2. INSPECTION PROCEDURES - EXAMPLES OF PARTICULAR ITEMS TO EVALUATE DURING SITE INSPECTIONS ARE LISTED BELOW. THIS LIST IS NOT INTENDED TO BE COMPREHENSIVE.

ADDITIONAL FACTORS SHOULD BE CONSIDERED AS APPROPRIATE TO THE CIRCUMSTANCES.

A. PRE-INSPECTION PREPARATION:

- 1. INSPECTORS SHOULD BE FAMILIAR WITH THE SWPPP, INCLUDING THE EROSION AND SEDIMENT CONTROL PLANS, PAST INSPECTION REPORTS, AND MAINTENANCE LOGS.

B. SITE ENTRY:

- 1. BEFORE ENTERING THE SITE, OBSERVE THE SURROUNDINGS AND AREAS ADJACENT TO THE PROJECT SITE AND VARIOUS STAGES OF CONSTRUCTION.
2. THIS IS A GOOD TIME TO VIEW CONSTRUCTION SITE VEHICLE TRACKING PAD LOCATIONS AND PERIMETER CONTROLS.

C. RECORDS REVIEW:

- 1. VERIFY THAT A COPY OF THE SWPPP AND APPLICATION FOR THE NPDES STORM WATER PERMIT, AND COPIES OF ALL CONSTRUCTION SITE INSPECTIONS ARE ON SITE OR ELECTRONICALLY AVAILABLE.
2. VERIFY THAT THE TIMING FOR INSTALLATION OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS, AS WELL AS CONSTRUCTION PHASING, IS GENERALLY BEING FOLLOWED.
3. SWPPPS ARE INTENDED TO BE DYNAMIC DOCUMENTS.

A. A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVE A SIGNIFICANT EFFECT ON STORM WATER DISCHARGES

B. INSPECTIONS INDICATE THE SWPPP IS NOT EFFECTIVE

C. THE SWPPP IS NOT CONSISTENT WITH THE TERMS OF THE GENERAL PERMIT

D. SITE INSPECTION (NOTE TIMELINES FOR MAINTENANCE INCLUDED IN INSPECTION/MAINTENANCE REPORT)

- 1. INSPECT DISCHARGE POINTS DOWNSTREAM AND OFF-SITE AREAS FOR SIGNS OF IMPACT.
2. INSPECT PERIMETER CONTROLS:
A. HAVE PERIMETER CONTROLS BEEN PROPERLY INSTALLED AND MAINTAINED?
B. ARE VEHICLE TRACKING PADS FUNCTIONING PROPERLY?
3. COMPARE BMPS IN THE SWPPP WITH CONSTRUCTION SITE CONDITIONS.
4. INSPECT AREAS THAT HAVE BEEN DISTURBED AND ARE NOT CURRENTLY BEING WORKED.

E. EXIT INTERVIEW:

- 1. DEBRIEF THE PERSON IN CHARGE. EXPLAIN THE IDENTIFIED DEFICIENCIES AND ANY AREAS OF CONCERN.

F. A COPY OF THE COMPLETED INSPECTION REPORT MUST BE KEPT WITH THE SWPPP ON SITE.

THE INSPECTION REPORT USED SHOULD INCLUDE, AT A MINIMUM, THE FOLLOWING:

- DATE & TIME OF INSPECTION
• NAME OF INSPECTOR(S)
• FINDINGS OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTIONS
• CORRECTIVE ACTIONS TAKEN, INCLUDING DATES, TIMES AND NAMES OF PARTY COMPLETING MAINTENANCE
• DATE & AMOUNT OF RAINFALL
• RECORD OF ALL POINTS OF DISCHARGE FROM THE PROPERTY AND DESCRIPTION OF DISCHARGE
• NOTE TO UPDATE THE SWPPP WITHIN 7 DAYS OF CHANGES
• DEWATERING PHOTOGRAPHS AND REPORT OF NUISANCE CONDITIONS FROM DEWATERING PROCESS

6.2 DELEGATION OF AUTHORITY

DULY AUTHORIZED REPRESENTATIVE(S) OR POSITION(S):

COMPANY OR ORGANIZATION NAME:

NAME:

POSITION:

ADDRESS:

CITY, STATE, ZIP CODE:

TELEPHONE NUMBER:

FAX/EMAIL:

6.3 CORRECTIVE ACTION LOG

THE INSPECTION/MAINTENANCE FORM, AVAILABLE UPON REQUEST, INCORPORATES BOTH INSPECTION AND MAINTENANCE REPORTING INTO A SINGLE FORM. THIS FORM ALSO SPECIFIES THE TIME ALLOWED FOR CORRECTIONS TO BE PERFORMED.

SECTION 7: RECORD KEEPING AND TRAINING

7.1 RECORDKEEPING

RECORD RETENTION - THE OWNER MUST KEEP THE SWPPP INCLUDING ALL CHANGES MADE TO IT DURING CONSTRUCTION (SEE SECTION 7.2 OF THIS SWPPP), ALONG WITH THE FOLLOWING ADDITIONAL RECORDS ON FILE FOR THREE YEARS AFTER COMPLETION OF THE CONSTRUCTION PROJECT.

- 1. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT
2. RECORDS OF ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION
3. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE
4. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS

7.2 AMENDMENTS

THE CONTRACTOR SHALL KEEP A RECORD LOG OF ALL MODIFICATIONS TO THE SWPPP. AN EXAMPLE OF A SWPPP UPDATE LOG FORM CAN BE PROVIDED UPON REQUEST.

MODIFICATIONS TO THE SWPPP - THIS SWPPP INTENDS TO CONTROL WATER-BORNE AND LIQUID POLLUTANT DISCHARGES BY SOME COMBINATION OF INTERCEPTION, FILTRATION, AND CONTAINMENT.

THE GENERAL CONTRACTOR AND SUBCONTRACTORS IMPLEMENTING THIS SWPPP MUST REMAIN ALERT TO THE NEED TO PERIODICALLY REFINE AND UPDATE THE SWPPP IN ORDER TO ACCOMPLISH THE INTENDED GOALS. THIS SWPPP MUST BE AMENDED WITHIN 7 DAYS DURING THE COURSE OF CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE POLLUTANT CONTROL MEASURES UTILIZED AT THE SITE.

- 1. THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR UNDERGROUND WATERS.
2. INSPECTIONS OR INVESTIGATIONS BY SITE OPERATORS, LOCAL, STATE OR FEDERAL OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR UNDERGROUND WATERS OR THAT THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES.

- 3. THE SWPPP IS NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY, OR THE SWPPP IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE GENERAL PERMIT.
4. THE MPCA HAS DETERMINED THAT THE PROJECT'S STORM WATER DISCHARGES MAY CAUSE OR CONTRIBUTE TO NON-ATTAINMENT OF ANY APPLICABLE WATER STANDARD, OR THAT THE SWPPP DOES NOT INCORPORATE REQUIREMENTS RELATED TO AN APPROVED TOTAL MAXIMUM DAILY LOAD (TMDL) IMPLEMENTATION PLAN.

7.3 TRAINING

THE PERMITTEE(S) MUST FULFILL TRAINING REQUIREMENTS AND INCLUDE RECORDS OF TRAINING IN THE SWPPP. REFRESHER TRAINING MUST BE ATTENDED EVERY THREE YEARS STARTING THREE YEARS, FROM THE ISSUANCE OF THE 2018 GENERAL PERMIT (ISSUED 8/1/18).

- 1. INDIVIDUALS PREPARING THE SWPPP
2. INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISING, AND AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS.
3. INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS.

THE CONTENT AND EXTENT OF TRAINING MUST BE COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THE GENERAL PERMIT.

TRAINING DOCUMENTATION MUST INCLUDE:

- 1. NAMES OF PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED
2. DATES OF TRAINING AND NAMES OF INSTRUCTOR AND ENTITY PROVIDING TRAINING
3. CONTENT OF TRAINING COURSE, INCLUDING NUMBER OF HOURS OF TRAINING
4. DOCUMENTATION MUST BE KEPT WITH THE SWPPP. TRAINING RECORD/CERTIFICATION TEMPLATE IS AVAILABLE UPON REQUEST.

INDIVIDUALS MUST BE TRAINED BY LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, OR PERMANENT STORMWATER MANAGEMENT SUCH AS THE UNIVERSITY OF MINNESOTA, MINNESOTA EROSION CONTROL ASSOCIATION, SOIL AND WATER CONSERVATION DISTRICTS, OR THE MPCA.

SECTION 8: FINAL STABILIZATION / PERMIT TERMINATION

FINAL STABILIZATION - TO ACHIEVE FINAL STABILIZATION OF THE SITE, THE CONTRACTOR WILL IMPLEMENT THE FOLLOWING MEASURES AFTER ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED.

- 1. ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OVER THE ENTIRE PERVIOUS SURFACE AREA.
2. THE PERMANENT STORMWATER MANAGEMENT SYSTEM IS CONSTRUCTED, MEETS ALL REQUIREMENTS IN SECTIONS 15, 16, 17, 18, AND 19 OF THE GENERAL PERMIT AND IS OPERATING AS DESIGNED.
3. ALL TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPS MUST BE REMOVED.
4. FOR CONSTRUCTION PROJECTS ON LAND USED FOR AGRICULTURAL PURPOSES FINAL STABILIZATION MAY BE ACCOMPLISHED BY RETURNING THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE.
5. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE LOT IS SOLD TO THE HOMEOWNER.

PERMIT TERMINATION - TO ACHIEVE PERMIT TERMINATION FOR THE SITE, PERMITTEES MUST COMPLY WITH SECTIONS 4 & 13 OF THE GENERAL PERMIT.

24.15 (LWS TECH) | TREVOR CONWAY | 9/23/2025 3:46:07 PM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-C5-01-EROS.DWG-C5.06 SWPPP

Table with 6 columns: NO, DATE, BY, CKD, APPR, COMMENT. Includes a signature line for Print Name and Date, and a license # field.

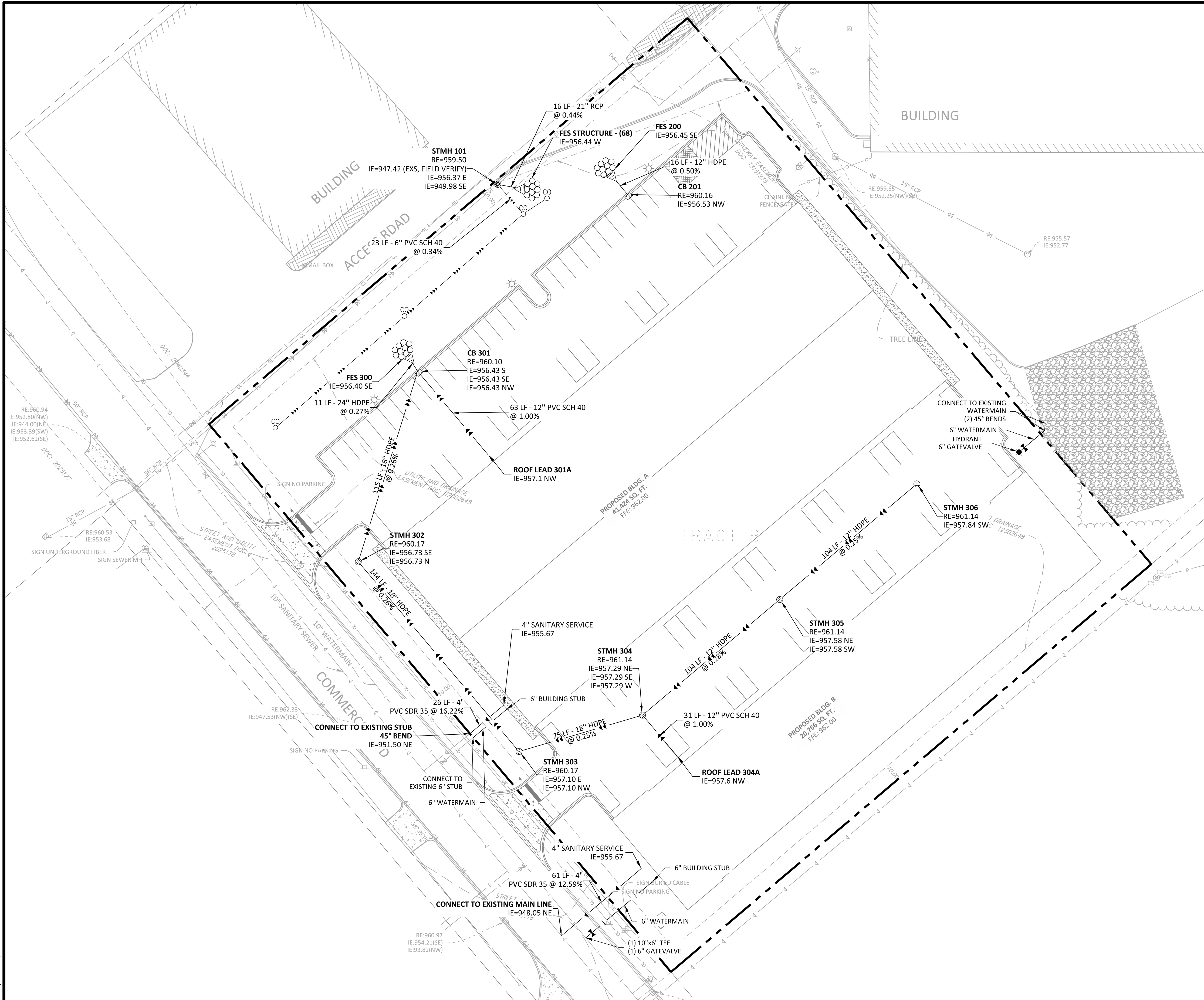
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Table with 3 columns: DATE ISSUED (09/22/2025), DESIGN REVIEW, PERMIT SUBMITTAL, CONSTRUCTION DOCUMENTS.

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SWPPP CRCL GROUP COMMERCE BOULEVARD DEVELOPMENT PRELIMINARY DESIGN DOCUMENTS ROGERS, MN

SHEET C5.06 14 OF 21 REV.



LEGEND	
PROPOSED	EXISTING

UTILITY CONSTRUCTION NOTES

1. SEE SHEET C1.03

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

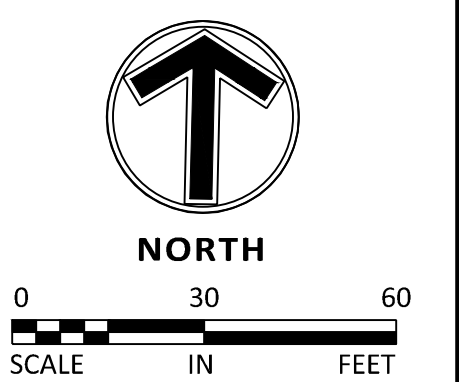
IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

STORM SEWER STRUCTURE SCHEDULE

NUMBER	TYPE	CASTING*

*INDICATES NEENAH FOUNDRY CASTING NO., OR APPROVED EQUAL
 NOTE: CONTRACTOR AND THEIR SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.



NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

 Date _____ License # _____

DATE ISSUED
09/22/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

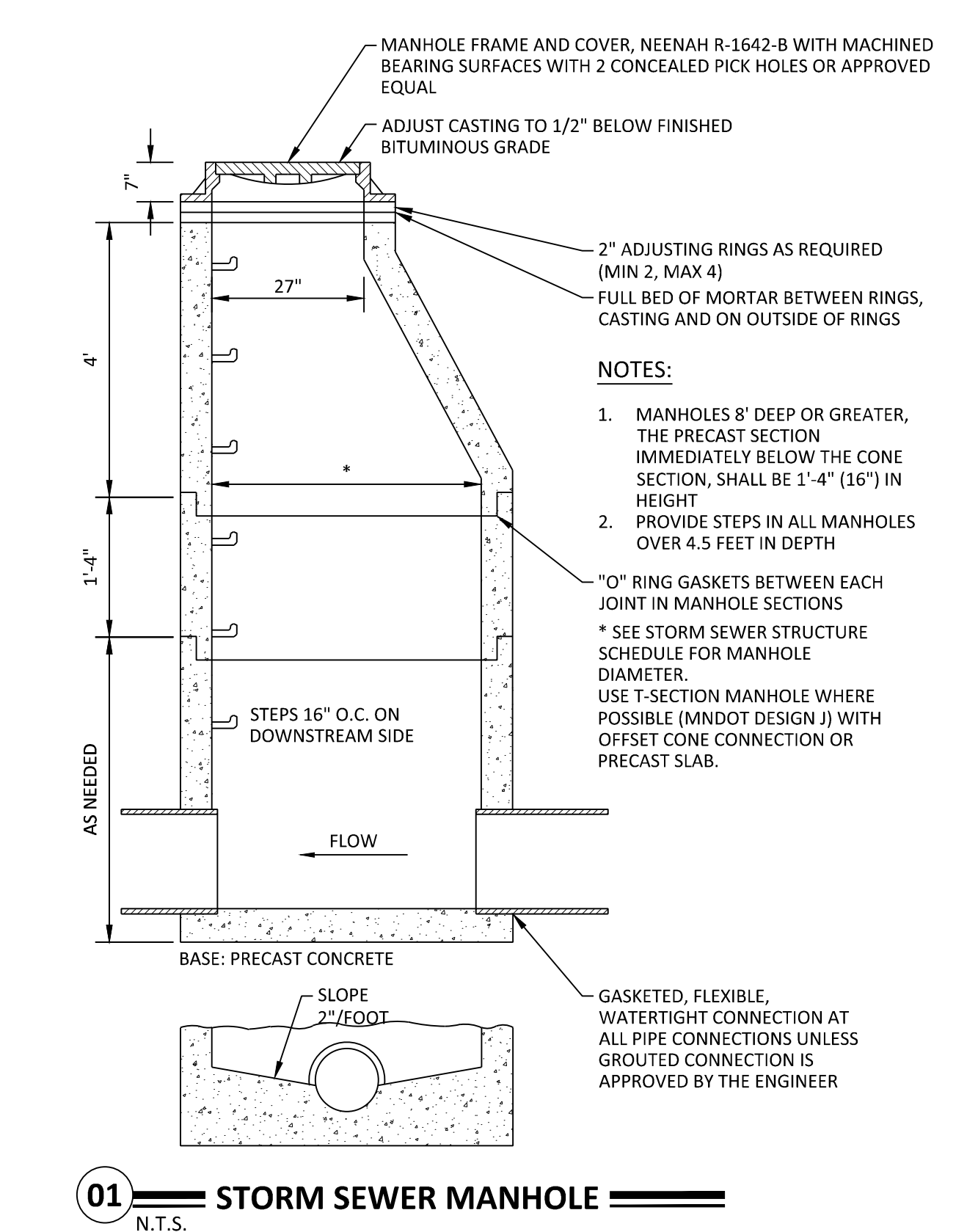
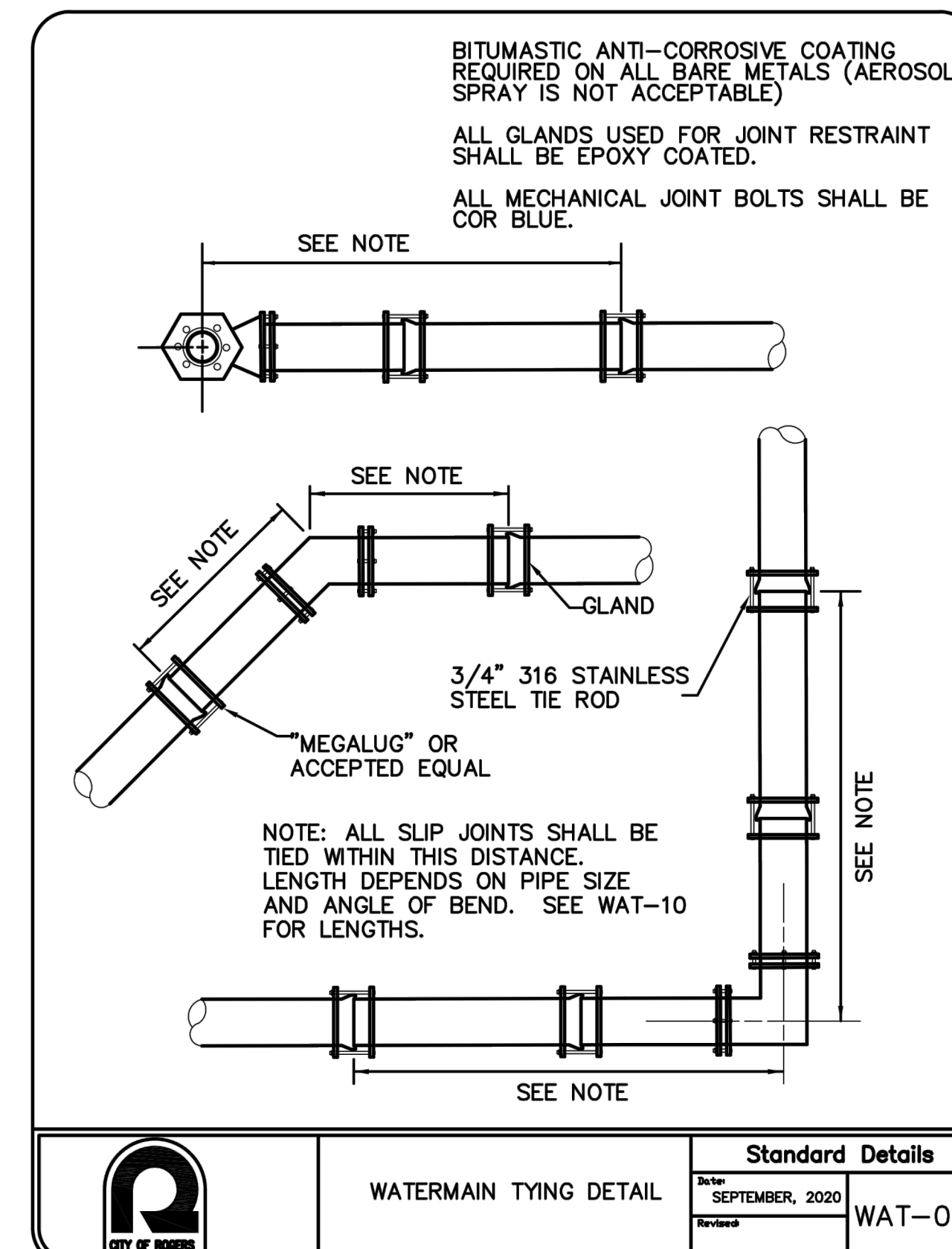
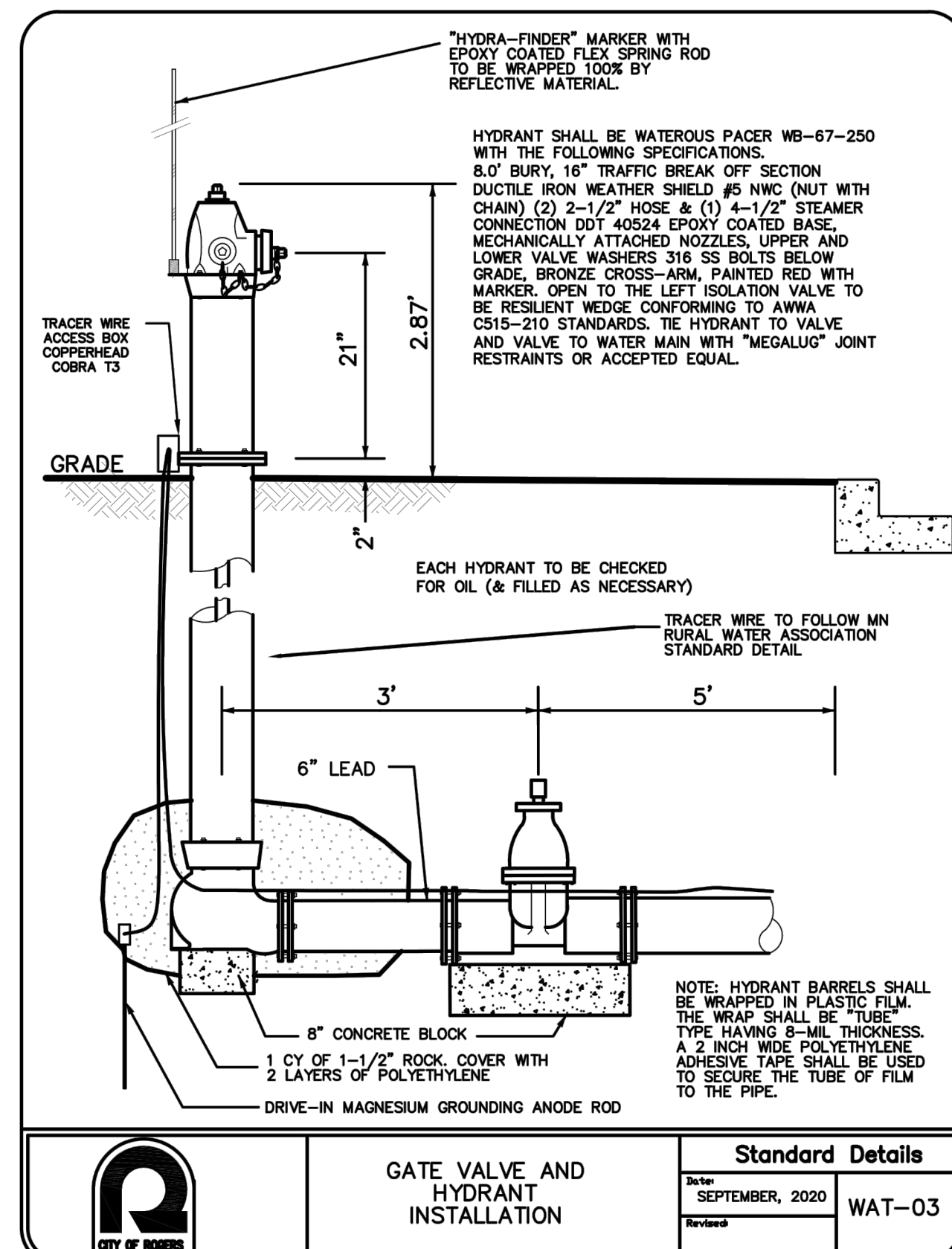
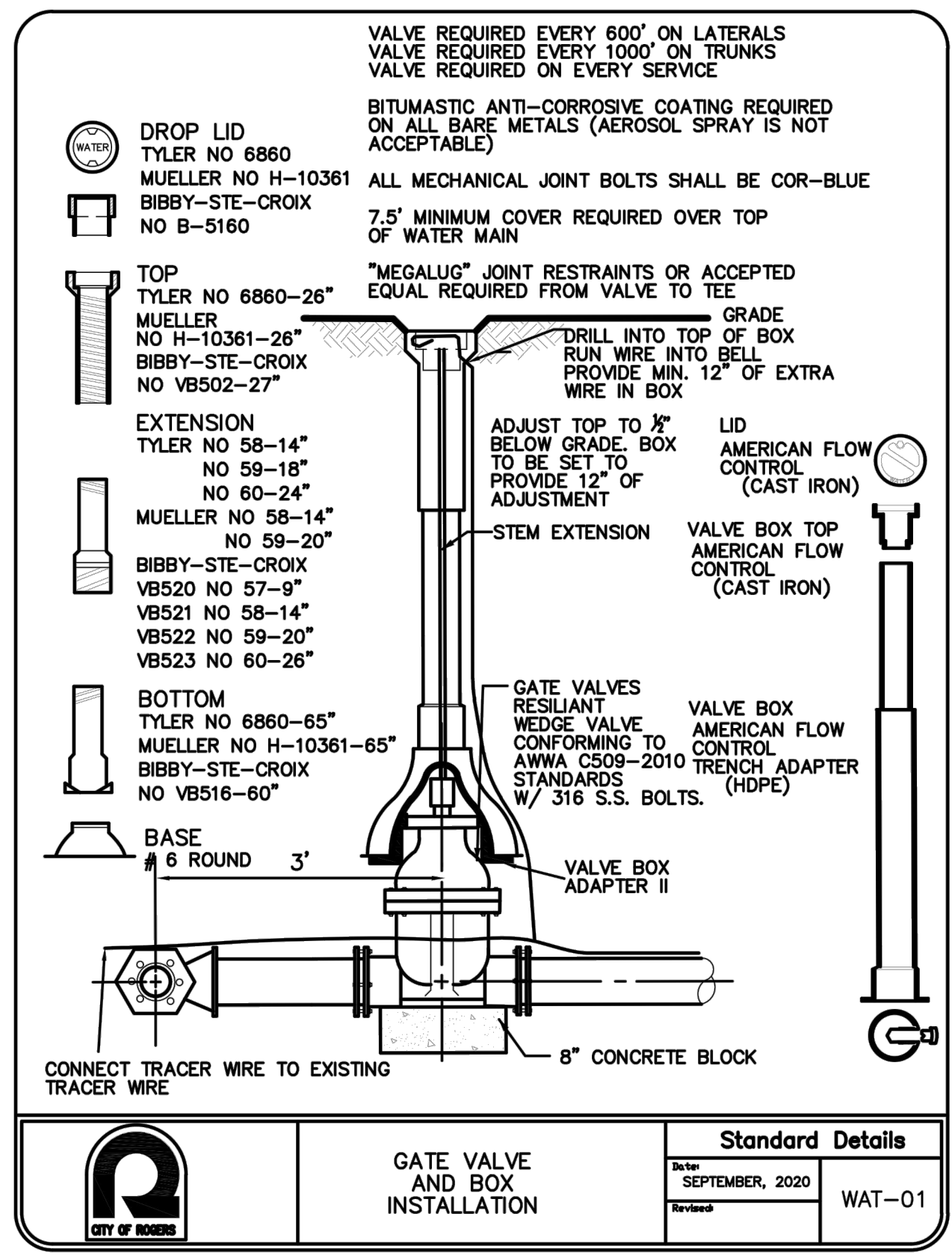
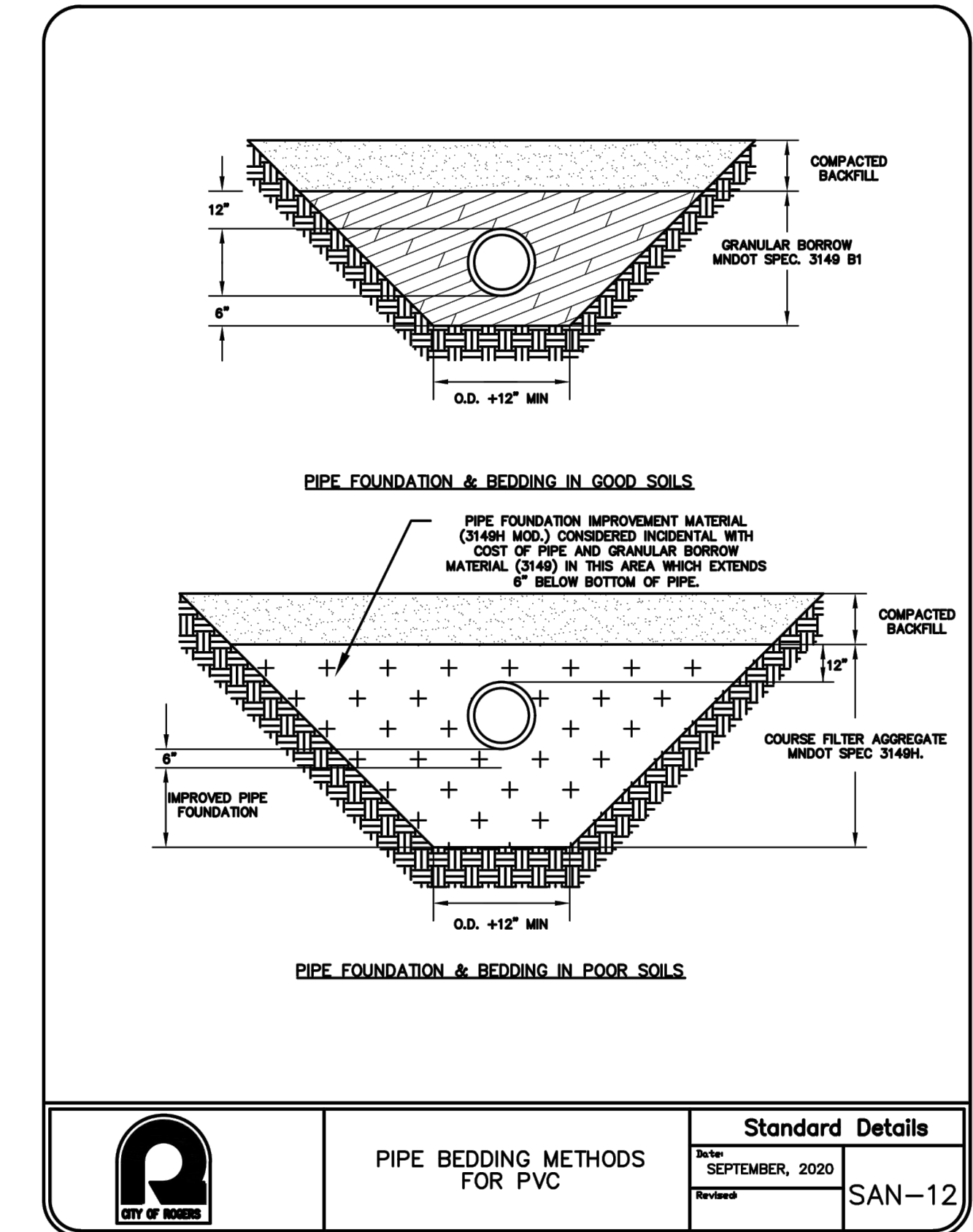
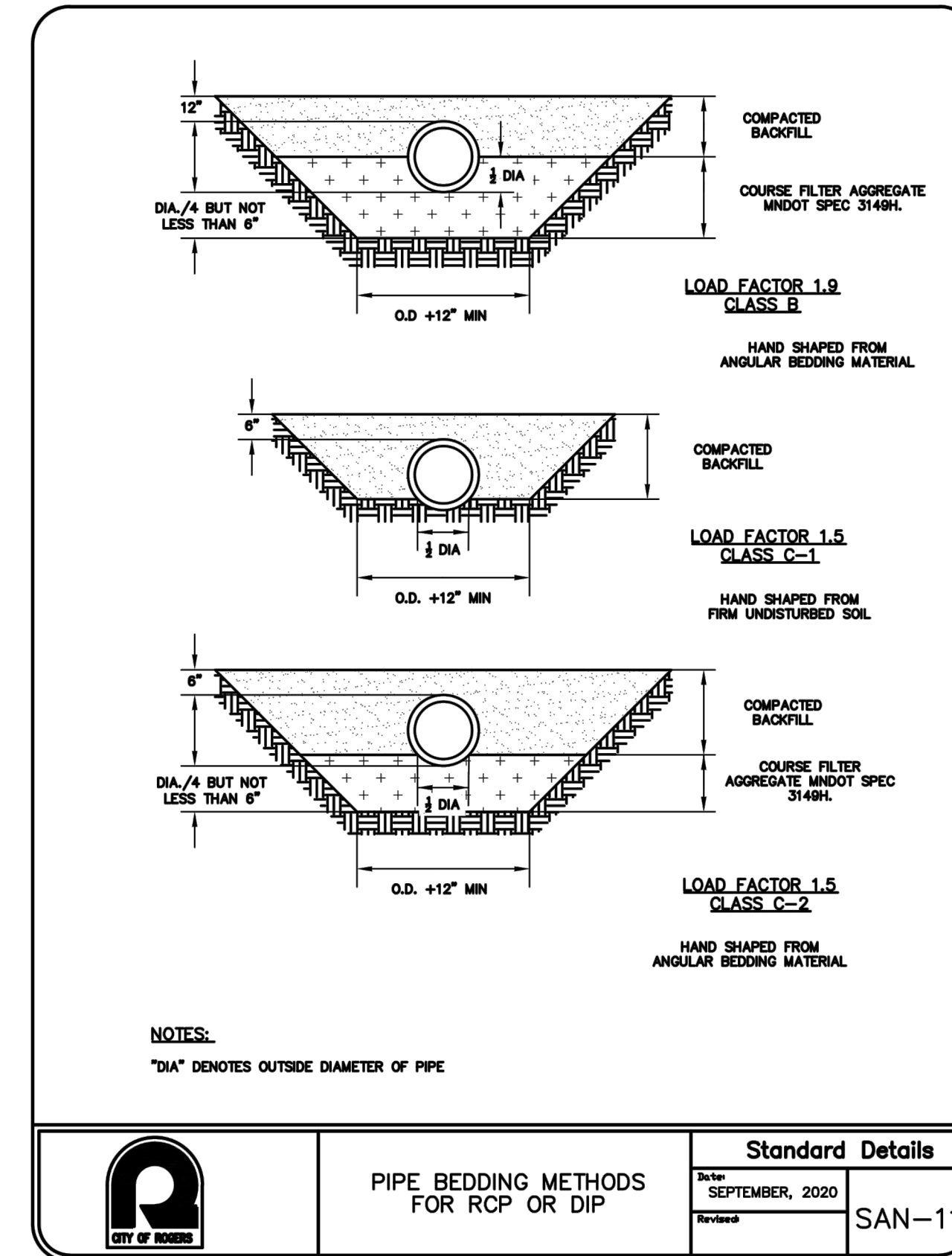
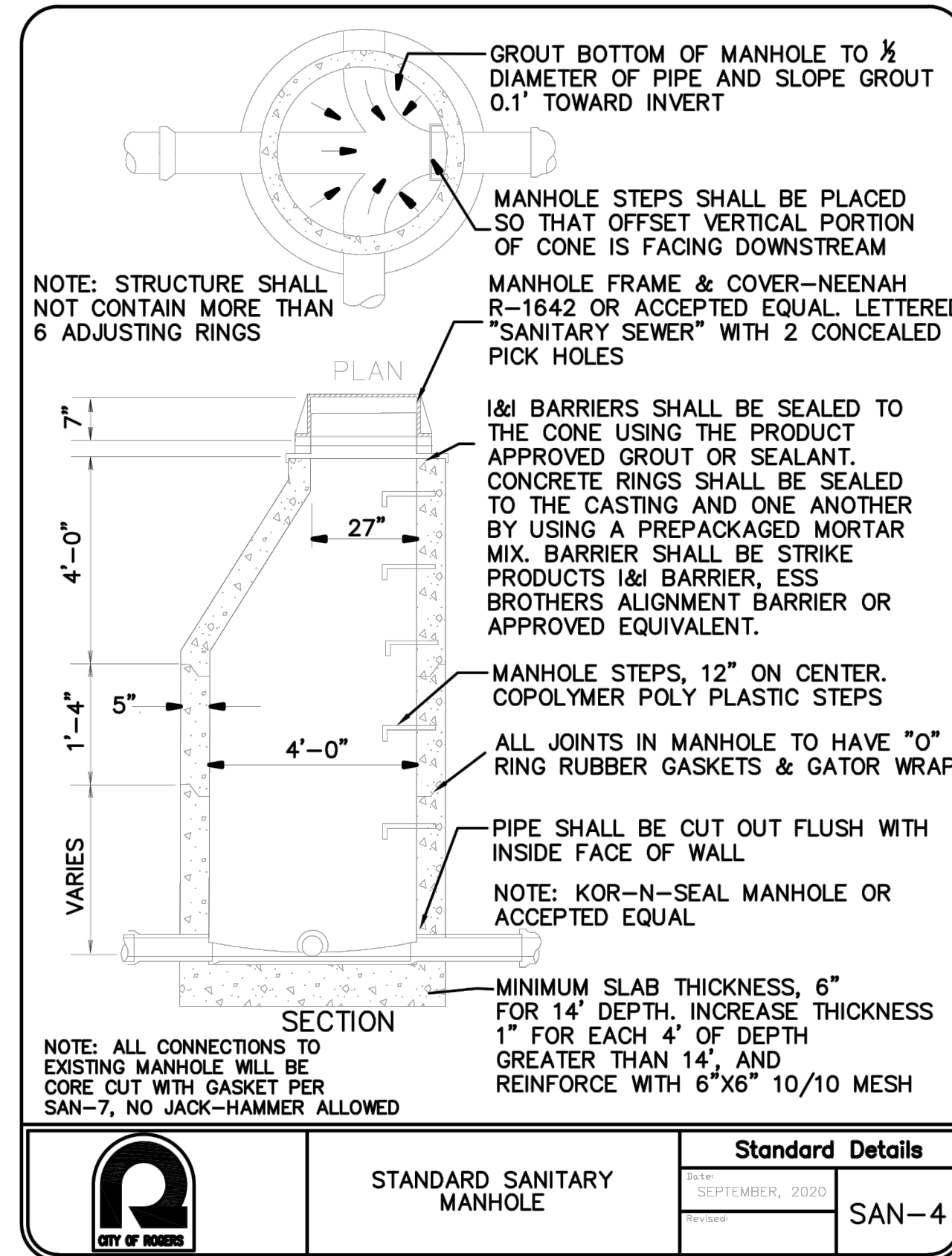
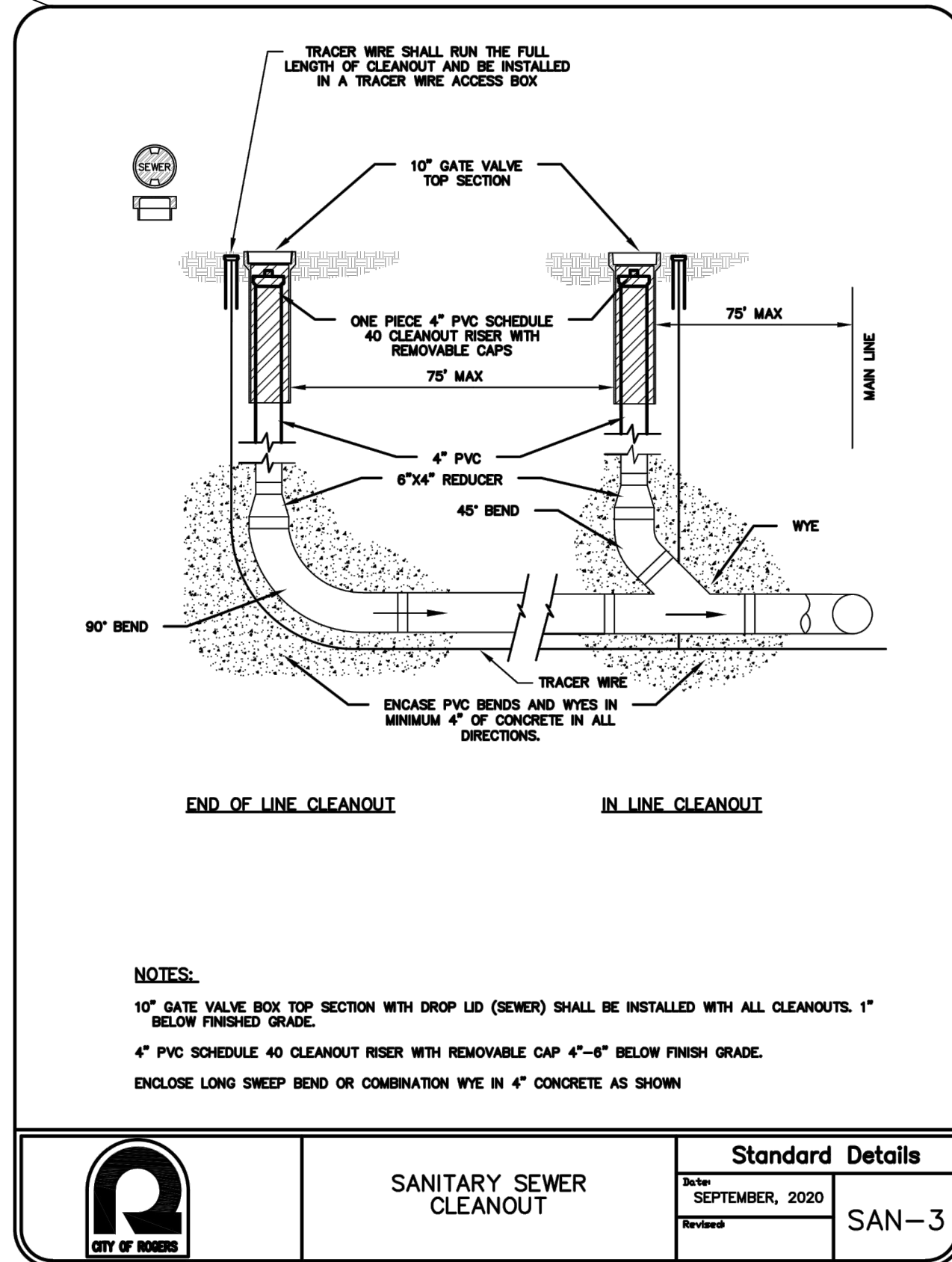
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53862



UTILITY PLAN
 CRCL GROUP
 COMMERCE BOULEVARD DEVELOPMENT
 PRELIMINARY DESIGN DOCUMENTS
 ROGERS, MN

SHEET
C6.01
 15 OF 21
 REV.

24.15 (LWS TECH) | TREVOR CONWAY | 9/23/2025 3:39:05 PM
 L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-C6.01-UTIL.DWG-C6.01 UTILITY PLAN



24.15 (LWS TECH) | TREVOR CONWAY | 9/23/2025 12:03:25 PM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-C9.01-DTL.DWG\C9.01.DETAILS

NO	DATE	BY	CKD	APPR	COMMENT

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Date: _____ License # _____

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PERMIT SUBMITTAL	CHECKED BY TC
CONSTRUCTION DOCUMENTS	PROJECT NO. 53862

DETAILS

CRCL GROUP

COMMERCE BOULEVARD DEVELOPMENT

PRELIMINARY DESIGN DOCUMENTS

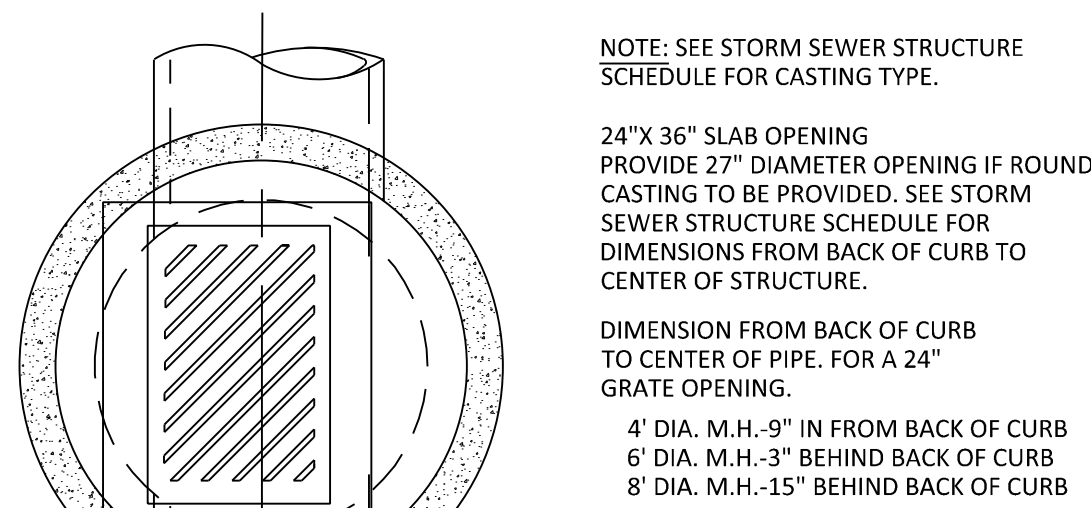
ROGERS, MN

SHEET

C9.01

16 OF 21

REV.

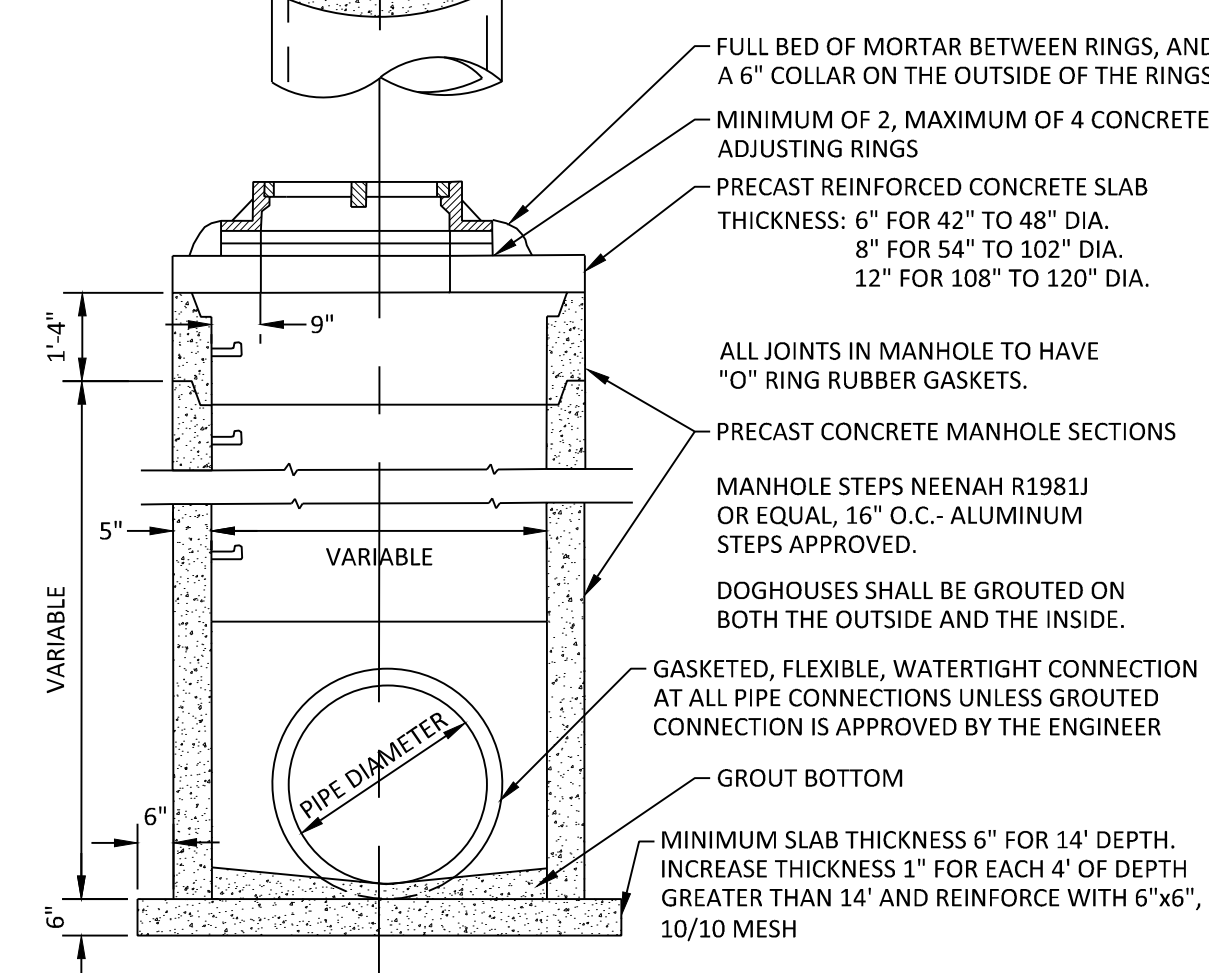


NOTE: SEE STORM SEWER STRUCTURE SCHEDULE FOR CASTING TYPE.

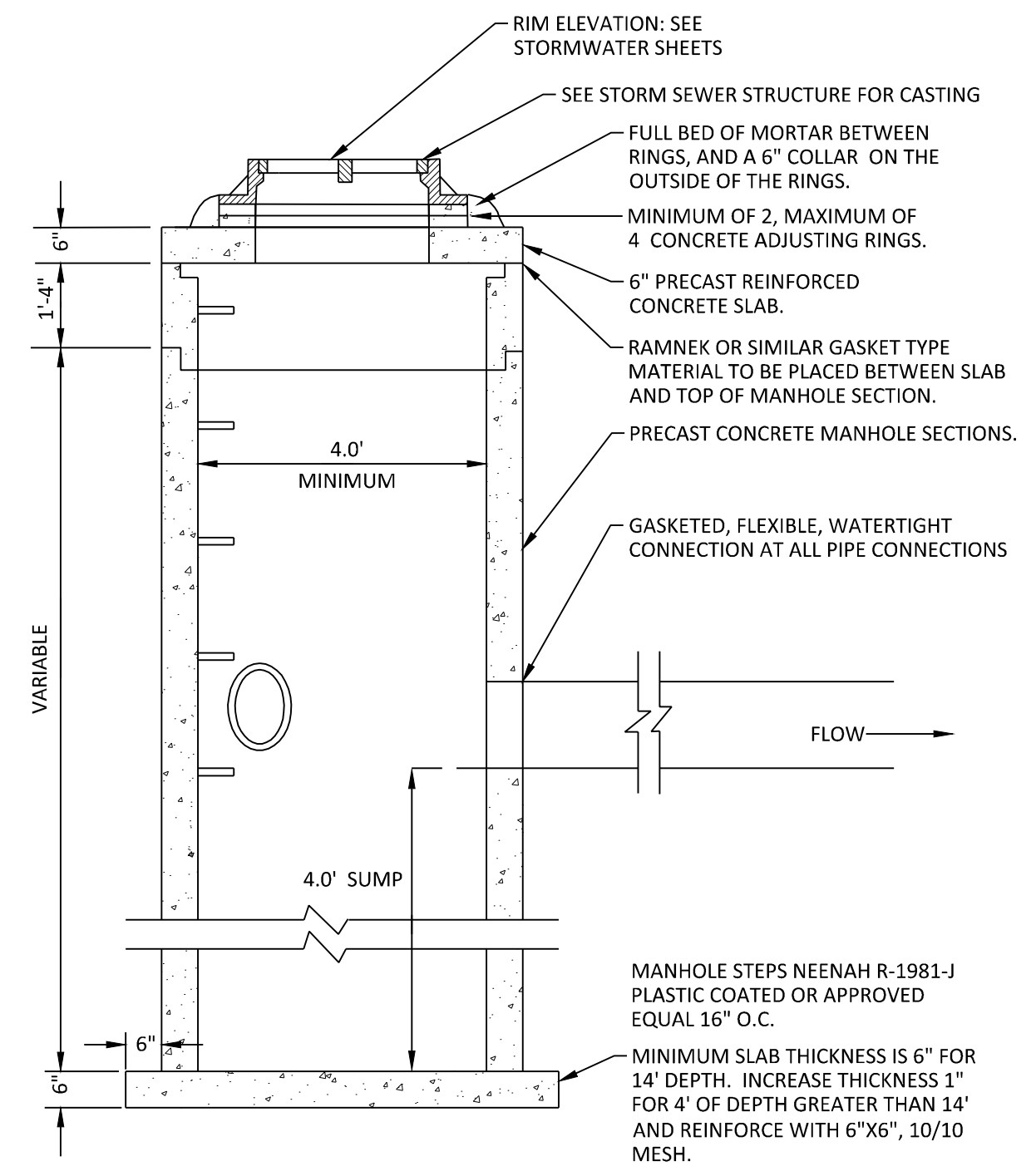
24"X 36" SLAB OPENING PROVIDE 27" DIAMETER OPENING IF ROUND CASTING TO BE PROVIDED. SEE STORM SEWER STRUCTURE SCHEDULE FOR DIMENSIONS FROM BACK OF CURB TO CENTER OF STRUCTURE.

DIMENSION FROM BACK OF CURB TO CENTER OF PIPE. FOR A 24" GRATE OPENING.

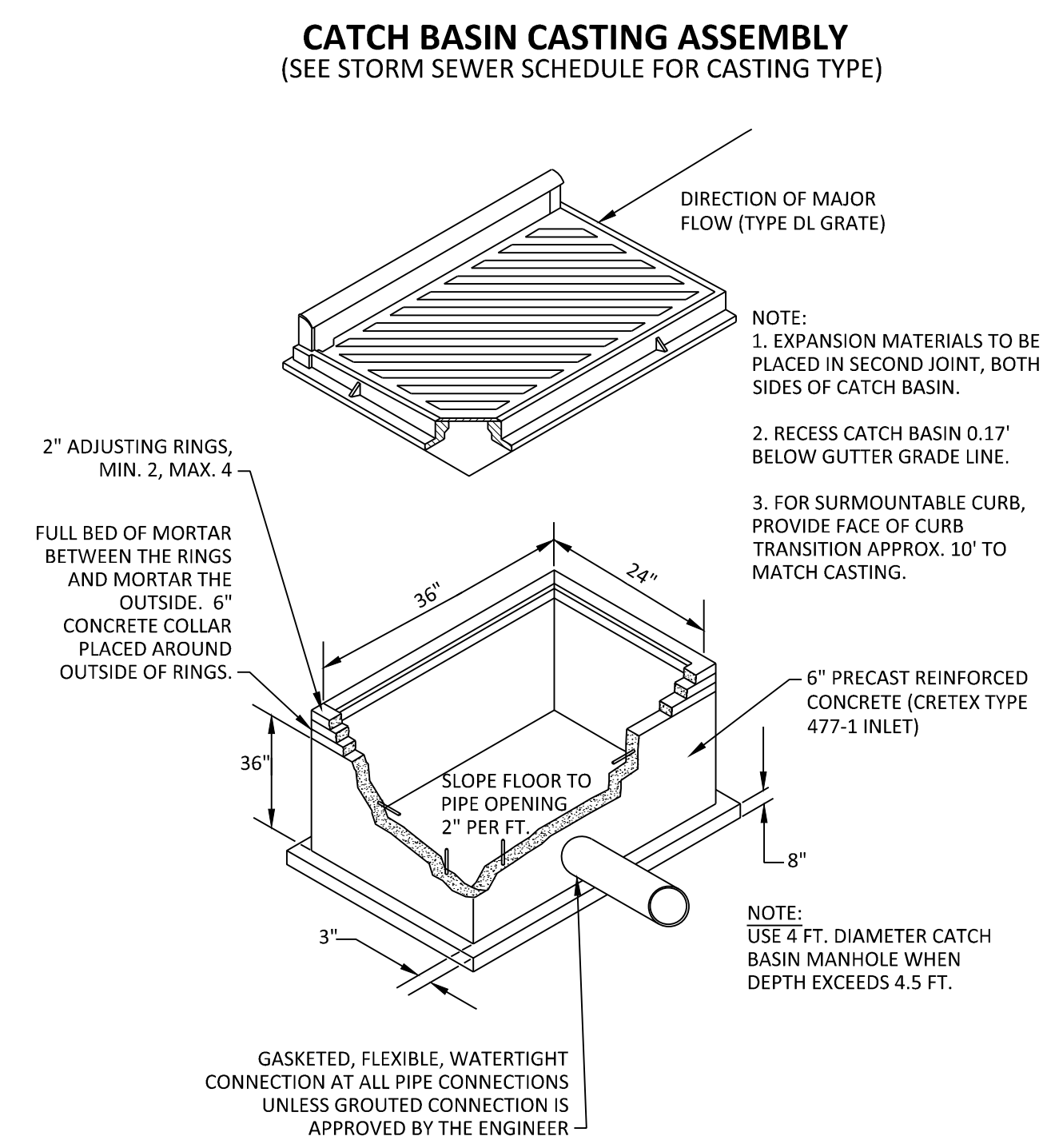
4" DIA. M.H.-9" IN FROM BACK OF CURB
6" DIA. M.H.-3" BEHIND BACK OF CURB
8" DIA. M.H.-15" BEHIND BACK OF CURB



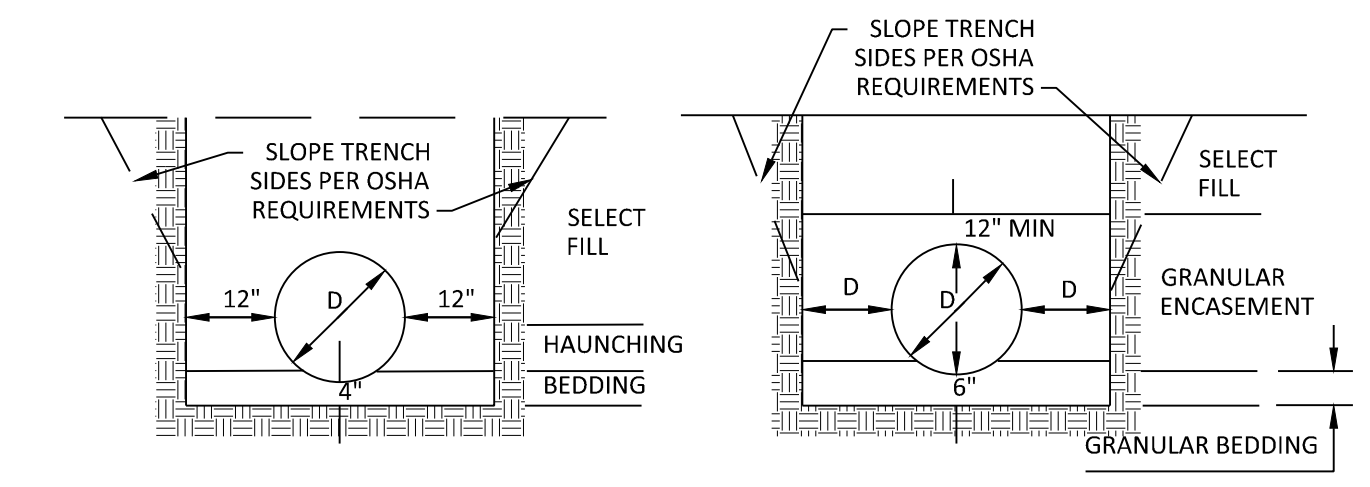
01 CATCH BASIN MANHOLE
N.T.S.



02 STORM MANHOLE WITH SUMP
N.T.S.



03 24"x36" CATCH BASIN
N.T.S.



REINFORCED CONCRETE PIPE OR DIP

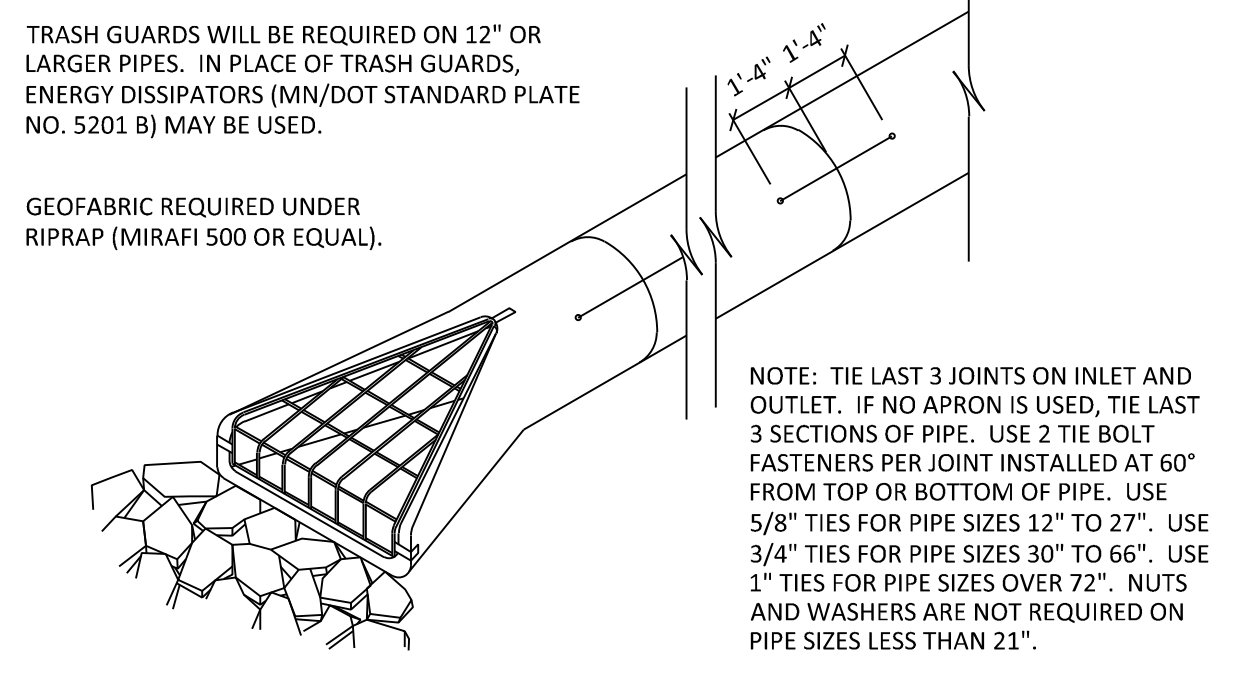
- BEDDING AND HAUNCHING MATERIAL SHALL BE ASTM D2321-CL I, II, III, OR IV A SOILS, AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE. COMPACT BEDDING MATERIAL TO 95% STANDARD PROCTOR.
- SELECT FILL SHALL BE SELECT MATERIAL FREE OF LARGE ROCKS (3"+) AND SHALL BE PLACED IN 8" MAX. LOOSE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.

FLEXIBLE PIPE: INCLUDES CORRUGATED METAL PIPE, CORRUGATED POLYETHYLENE PIPE AND/OR POLYVINYL CHLORIDE PIPE

- GRANULAR BEDDING AND ENCASUREMENT MATERIAL SHALL BE CLASS I OR II (REF. ASTM D2321 OR MN/DOT 3149.2F) GRANULAR MATERIAL, AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
- SELECT FILL PLACEMENT AND COMPACTION. SAME AS FOR RCP.

NOTE: FOR HDPE INSTALLED BELOW EXISTING OR FUTURE GROUND WATER ELEVATIONS, PIPE BEDDING AND ENCASUREMENT SHALL BE CLASS I, CRUSHED ROCK PER ASTM D2321.

04 TRENCH AND BEDDING DETAILS
N.T.S.

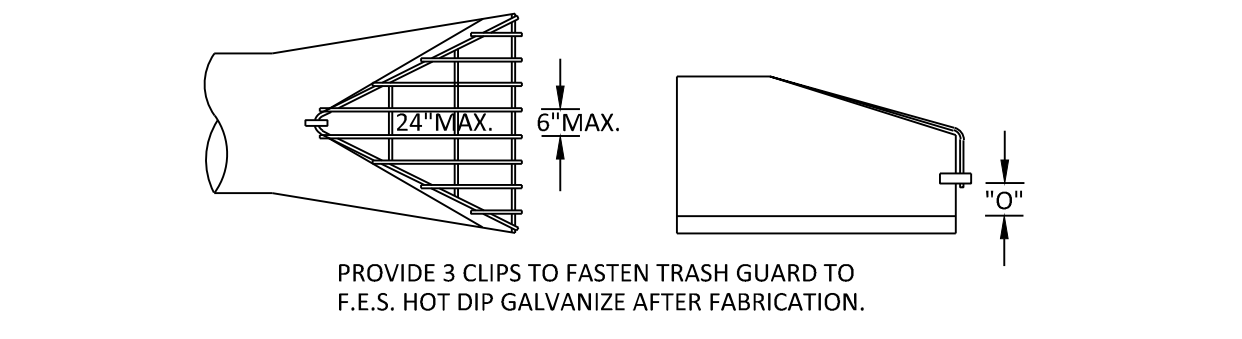


TRASH GUARDS WILL BE REQUIRED ON 12" OR LARGER PIPES. IN PLACE OF TRASH GUARDS, ENERGY DISSIPATORS (MN/DOT STANDARD PLATE NO. 5201 B) MAY BE USED.

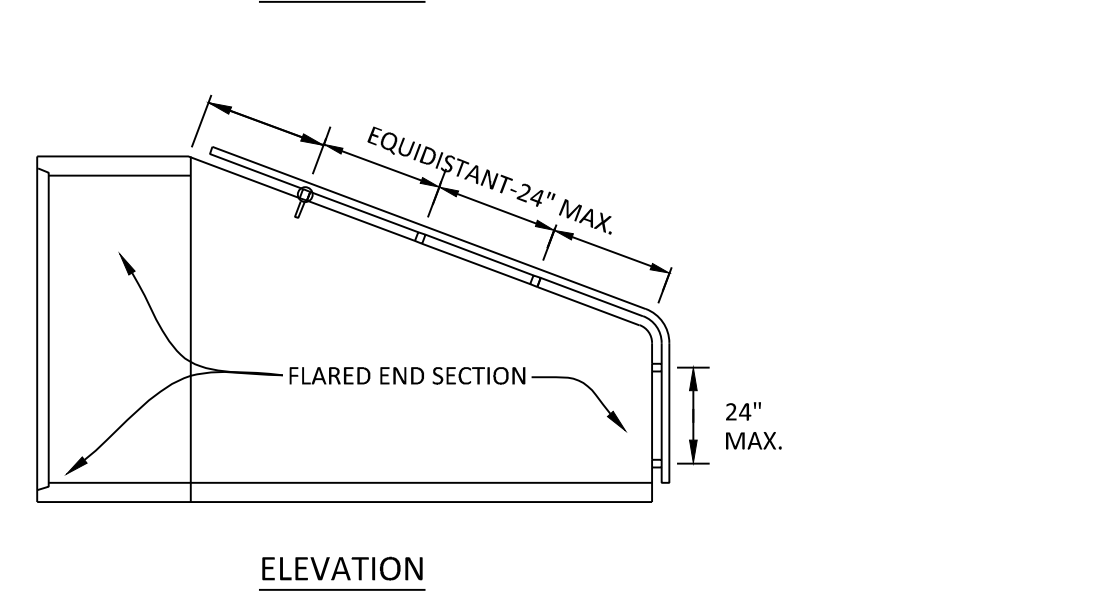
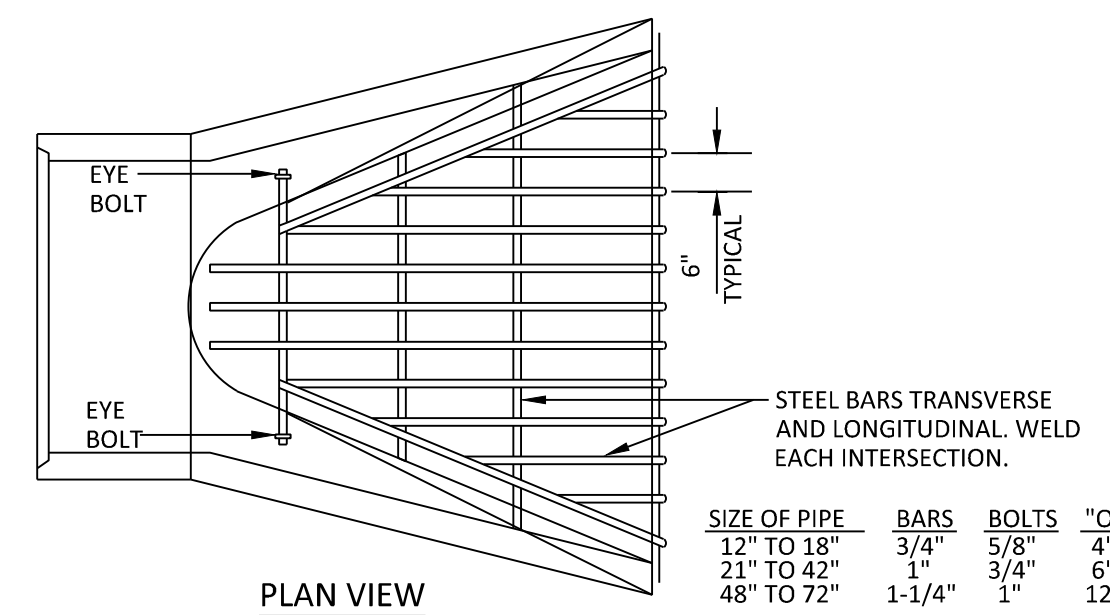
GEOFABRIC REQUIRED UNDER RIPRAP (MIRAFI 500 OR EQUAL).

NOTE: THE LAST 3 JOINTS ON INLET AND OUTLET. IF NO APRON IS USED, THE LAST 3 SECTIONS OF PIPE. USE 2 TIE BOLT FASTENERS PER JOINT INSTALLED AT 60" FROM TOP OR BOTTOM OF PIPE. USE 5/8" TIES FOR PIPE SIZES 12" TO 27". USE 3/4" TIES FOR PIPE SIZES 30" TO 66". USE 1" TIES FOR PIPE SIZES OVER 72". NUTS AND WASHERS ARE NOT REQUIRED ON PIPE SIZES LESS THAN 21".

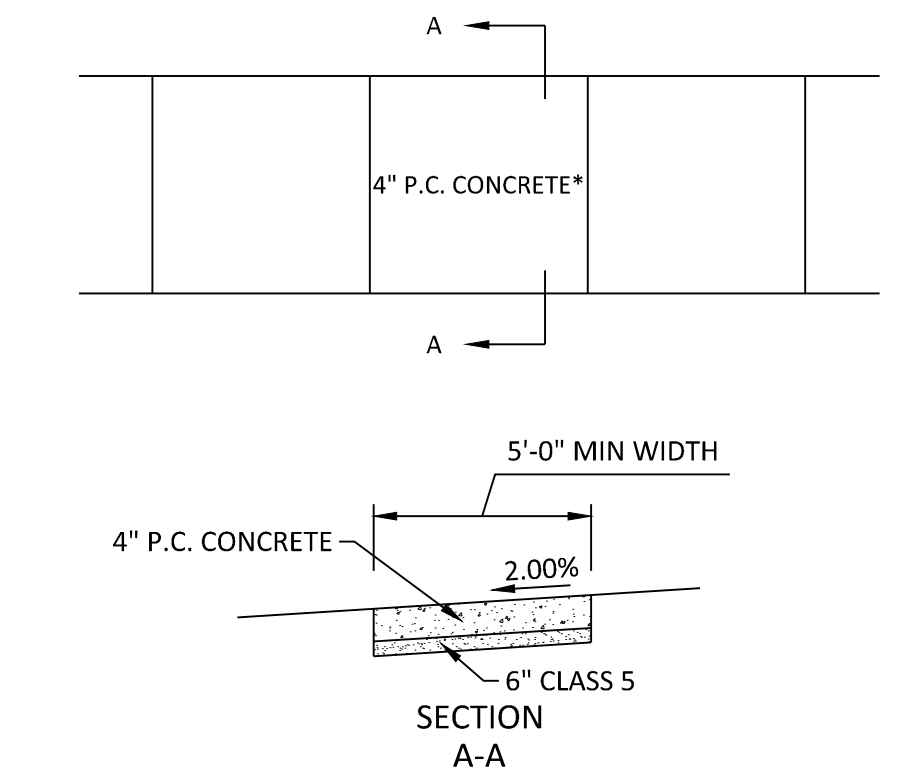
SIZE OF PIPE	BAR	BOLTS	"O"
12" TO 18"	3/4"	5/8"	4"
21" TO 42"	1"	3/4"	6"
48" TO 72"	1-1/4"	1"	12"



05 FLARED END SECTION
N.T.S.



06 TRASH GUARD
N.T.S.

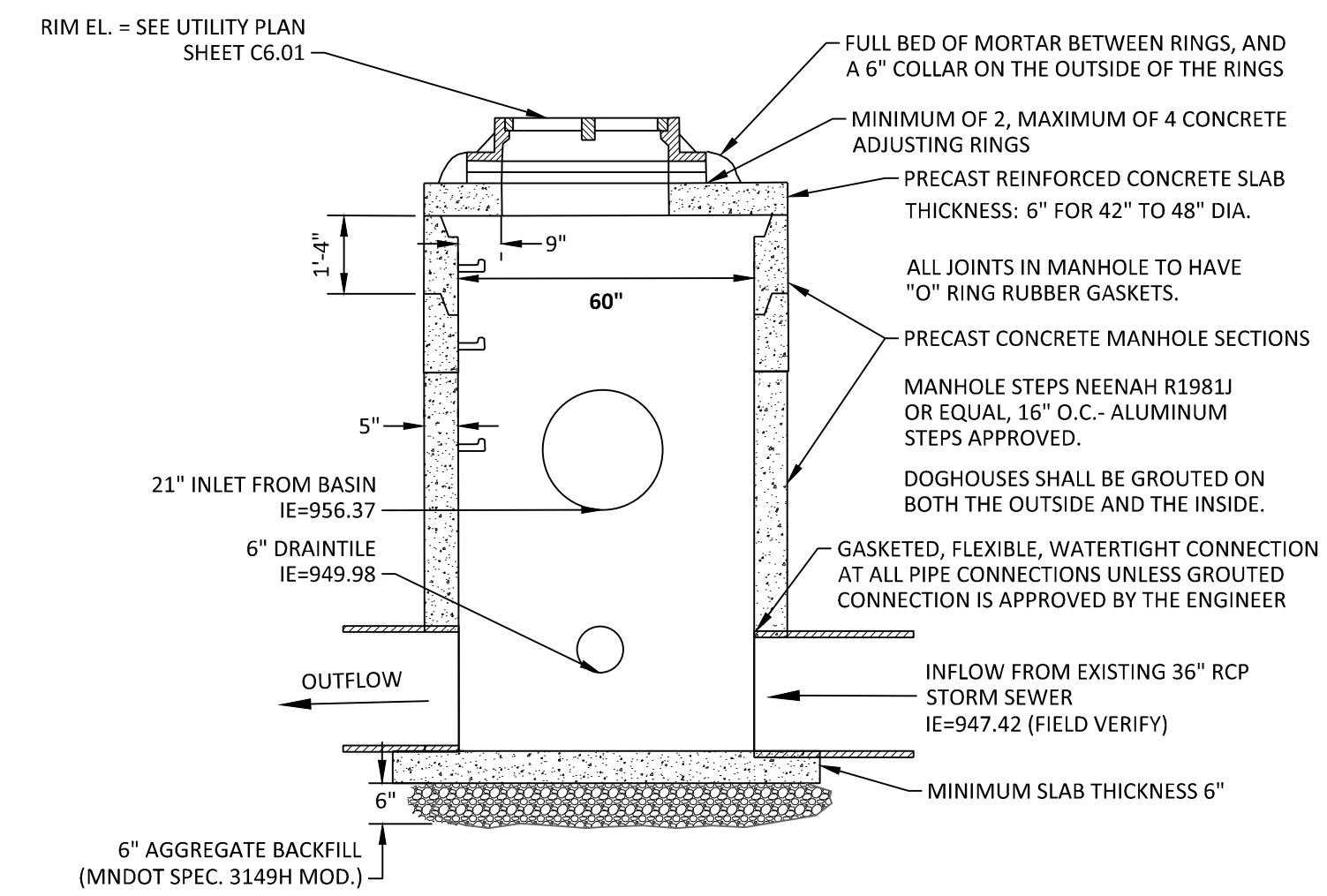


GENERAL NOTES FOR CONCRETE CONSTRUCTION:

- THE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF MN/DOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
- SIDEWALK CONTROL JOINTS SHALL BE LOCATED AT 5 FEET ON CENTER. SIDEWALK EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM OF 100 FEET ON CENTER, AND WHERE SIDEWALK ABUTS CURB, STRUCTURES, AND OTHER FIXED OBJECTS. SEAL ALL EXPANSION JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO THE LINE OF TRAFFIC.

*THE THICKNESS SHALL BE INCREASED TO A MINIMUM DEPTH OF 8 INCHES AT DRIVEWAY CROSSINGS.

07 CONCRETE SIDEWALK
N.T.S.



03 STMH 101
N.T.S.

24.15 (LWS TECH) | TREVOR CONWAY | 9/23/2025 12:03:25 PM | PROJECTS\53862\CAD\CIVIL\SHEETS\53862-C9.01-DTL-S.DWG-C9.02-DETAILS

NO	DATE	BY	CKD	APPR	COMMENT

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Print Name: _____

Date _____ License # _____

DATE ISSUED
09/22/2025

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PROJECT NO.
53862



DETAILS

CRCL GROUP

COMMERCE BOULEVARD DEVELOPMENT

PRELIMINARY DESIGN DOCUMENTS

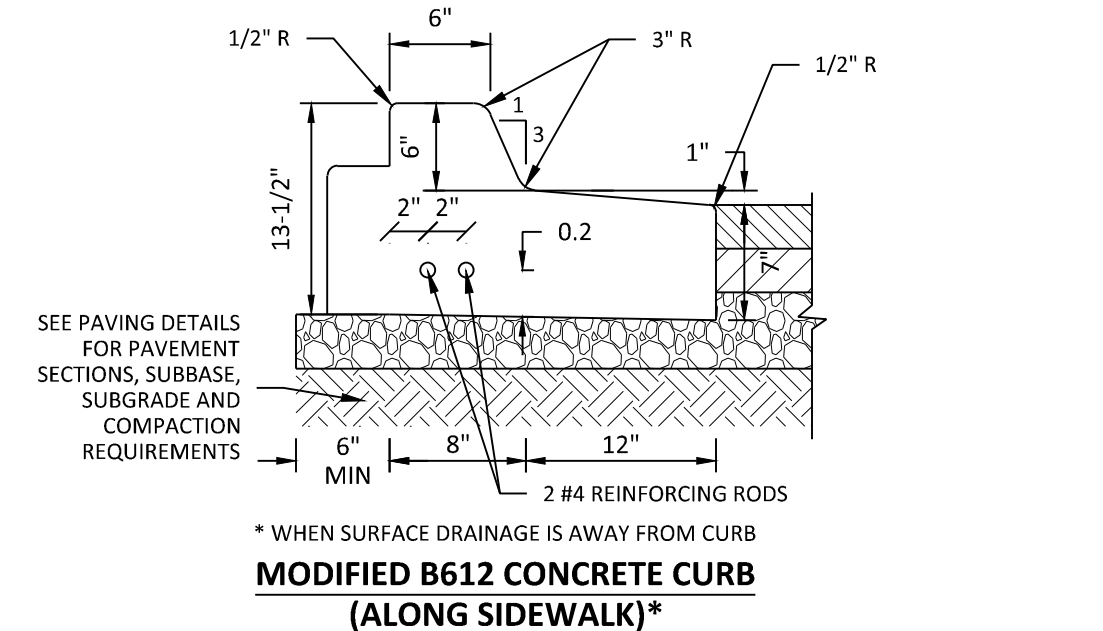
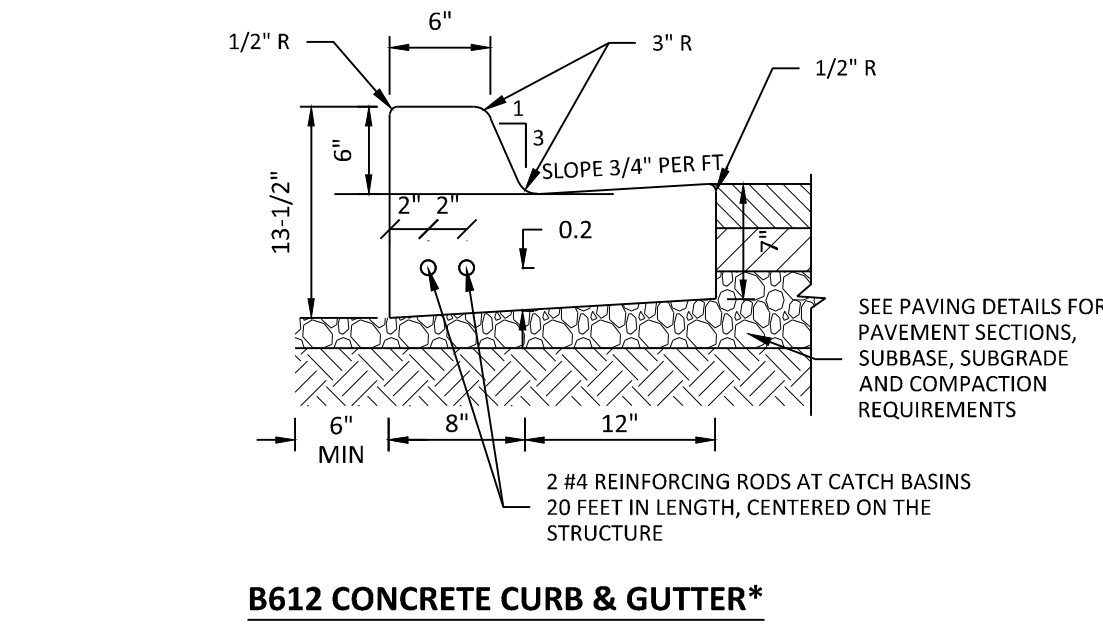
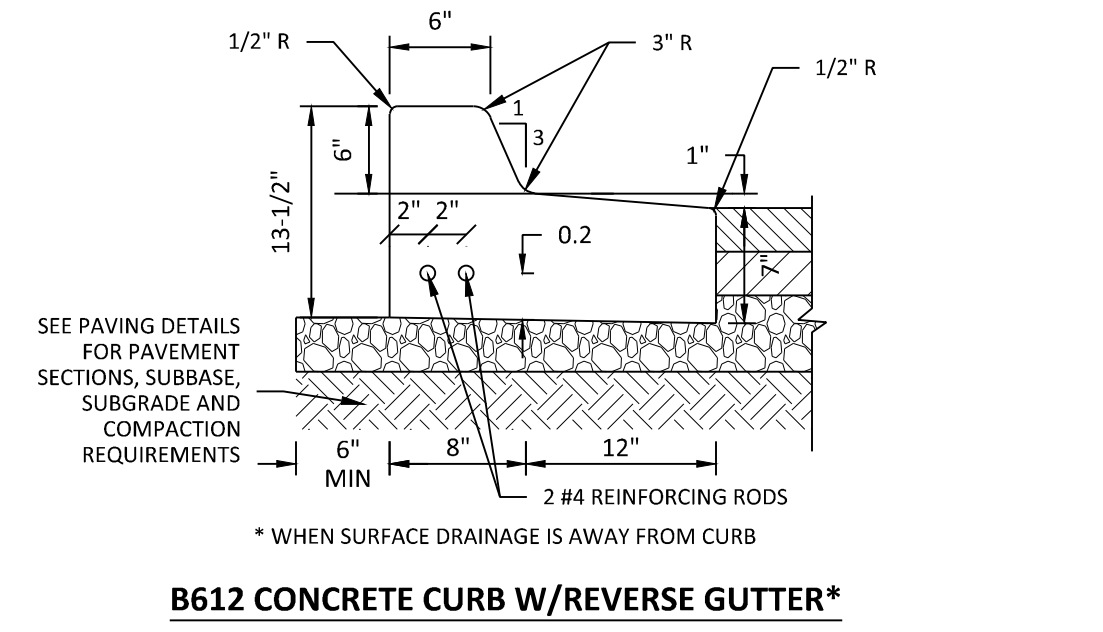
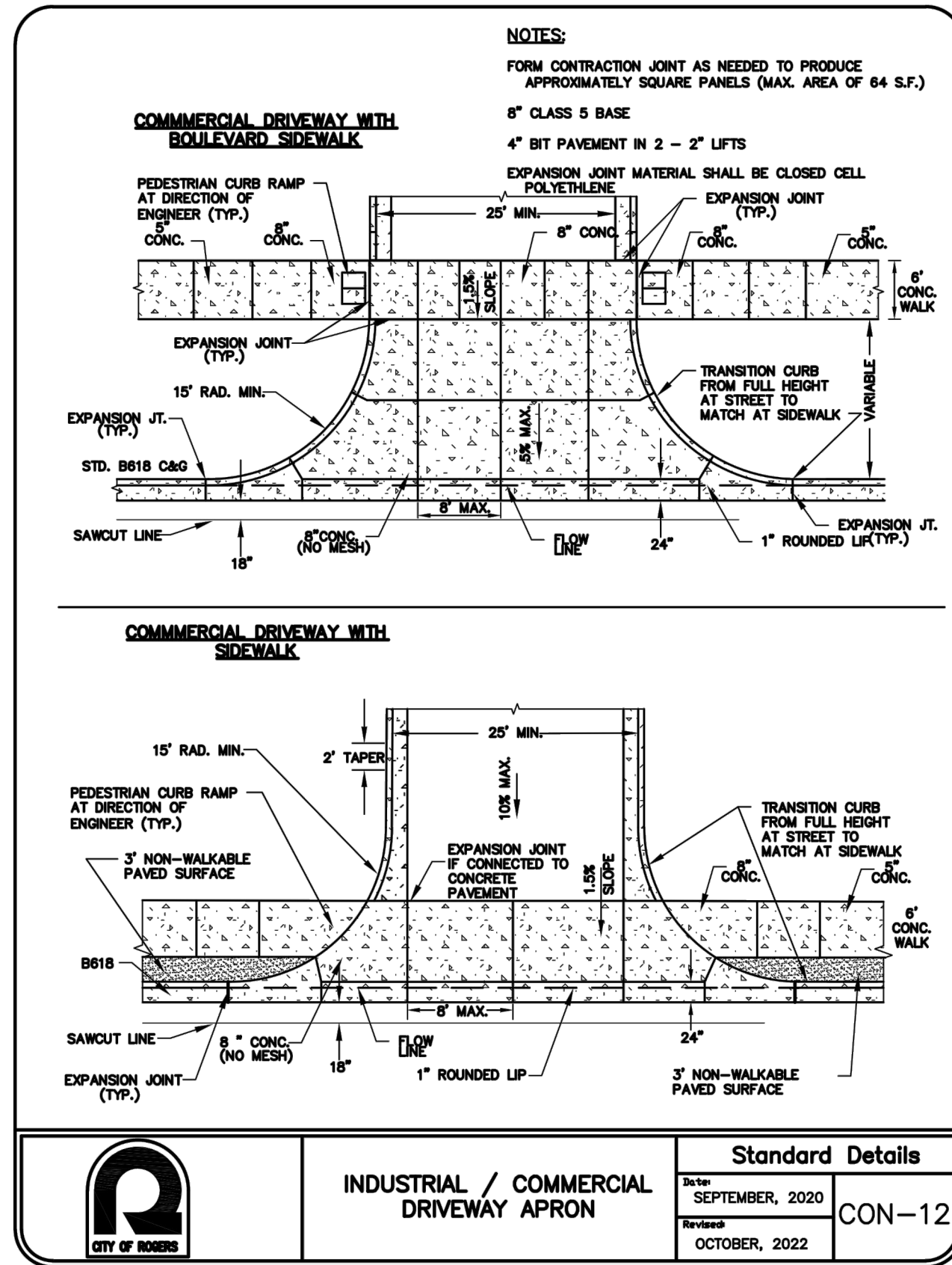
ROGERS, MN

SHEET

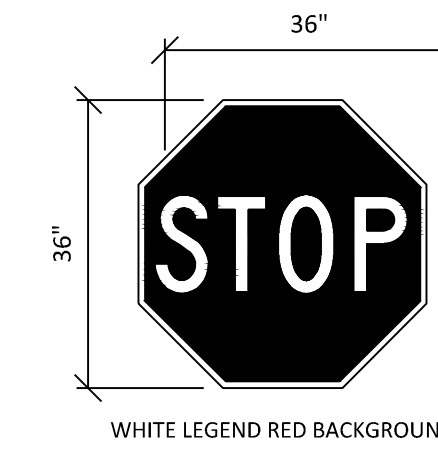
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17 OF 21

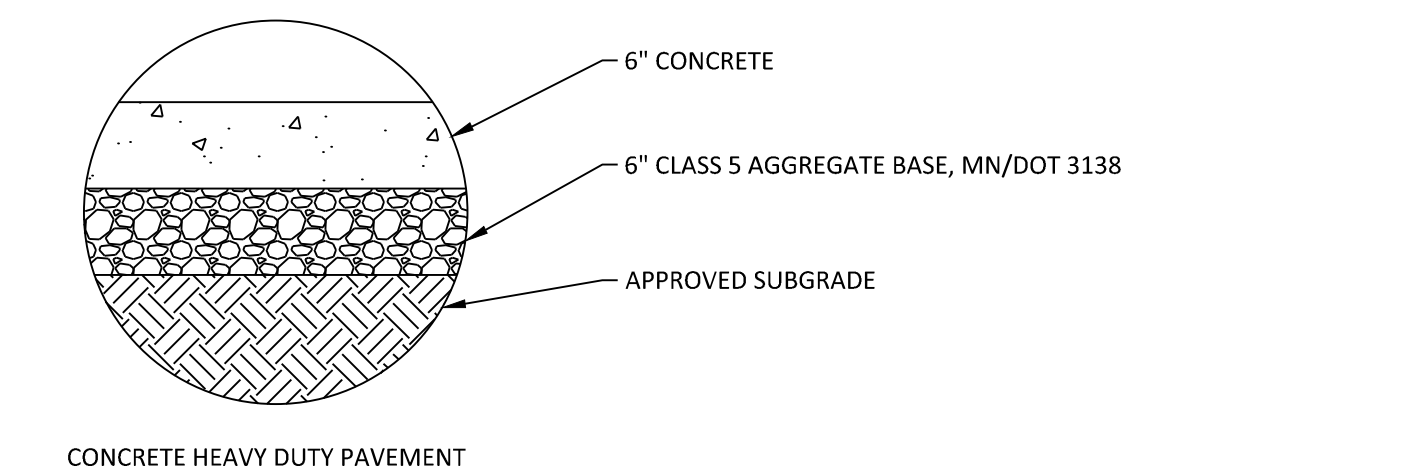
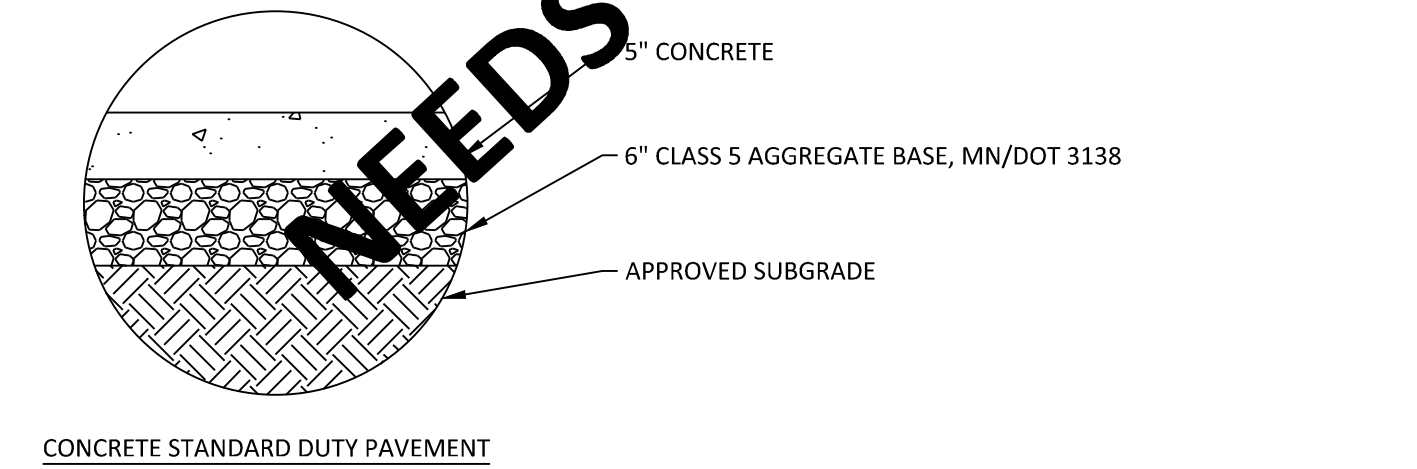
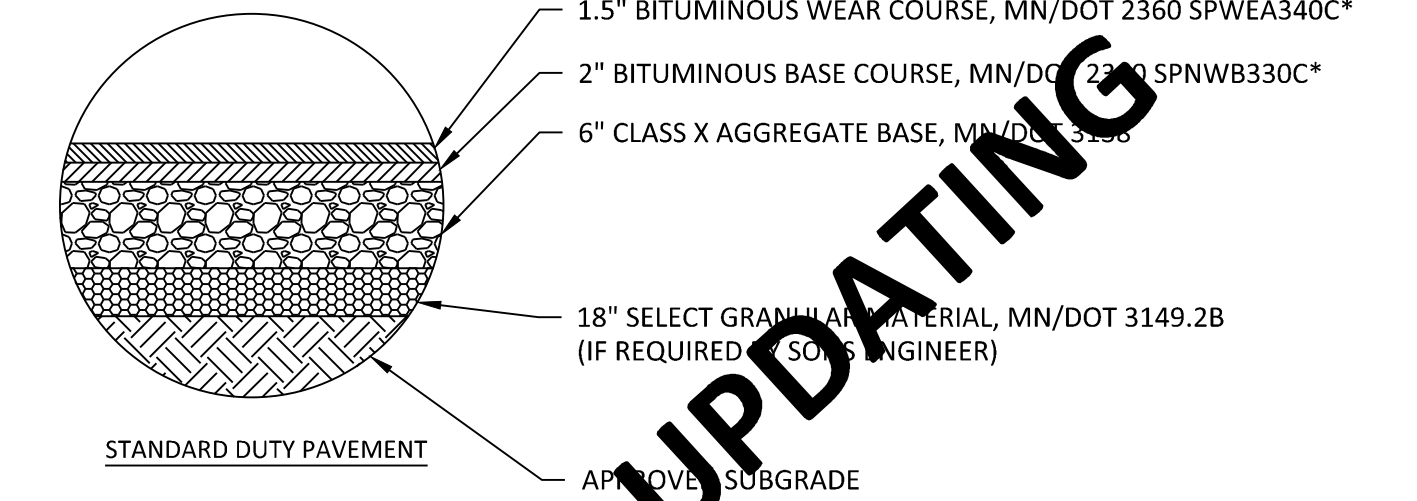
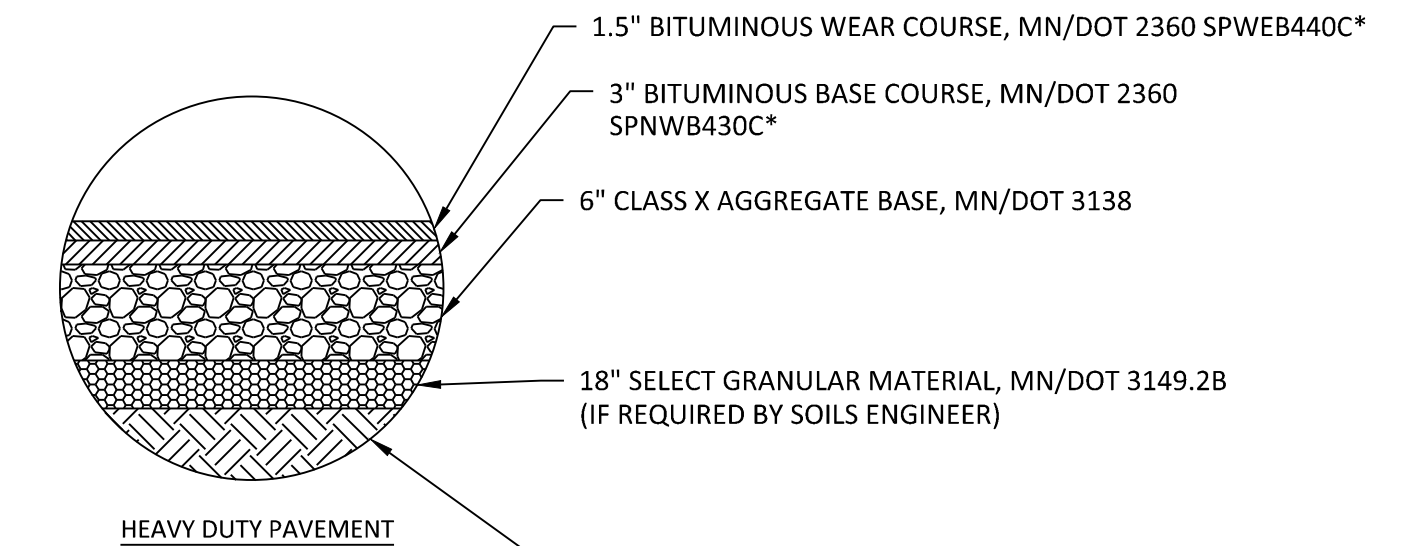
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01 — STOP SIGN —
 N.T.S.

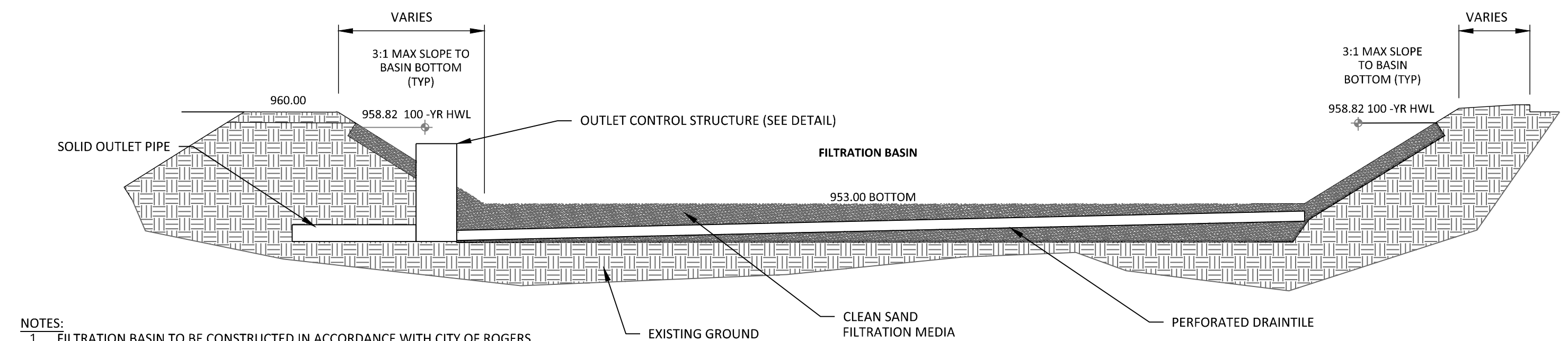


02 — STOP SIGN —
 N.T.S.



- NOTES:**
- THE PAVEMENT SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MNDOT "STANDARD SPECIFICATION FOR CONSTRUCTION", AND ALSO THE REQUIREMENTS OF THE OWNER'S GEOTECHNICAL CONSULTANT.
 - ALL THICKNESSES, AS SPECIFIED, ARE TO BE CONSIDERED MINIMUM DEPTHS, AFTER COMPACTION.
 - MN/DOT SPEC. 2357 BITUMINOUS TACK COAT SHALL BE PLACED BETWEEN SUCCESSIVE BITUMINOUS LIFTS AND AGAINST ABUTTING CONCRETE CURB EDGES.
- * REFER TO BITUMINOUS MIX DESIGN REQUIREMENT PROVIDED BY THE GEOTECHNICAL CONSULTANT

03 — PAVEMENT SECTIONS —
 N.T.S.



- NOTES:**
- FILTRATION BASIN TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ROGERS SPECIFICATIONS
 - FILTRATION BASIN TO BE DRY WITHIN 48 HOUR PERIOD, UNLESS DESIGNED OTHERWISE.
 - CONTRACTOR TO PROVIDE FILTRATION TESTING AND OBTAIN APPROVAL BY ENGINEER.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL THE CORRECT SOIL MIX, PROTECTION DURING CONSTRUCTION AND COMPACTION RATES.

05 — SAND FILTRATION BASIN 1P SECTION —
 NOT TO SCALE

24:15 (LWS TECH) | TREVOR CONWAY | 9/23/2025 12:03:25 PM
 L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-C9.01-DTLS.DWG:C9.03 DETAILS

NO	DATE	BY	CKD	APPR	COMMENT

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Print Name: _____

 Date _____ License # _____

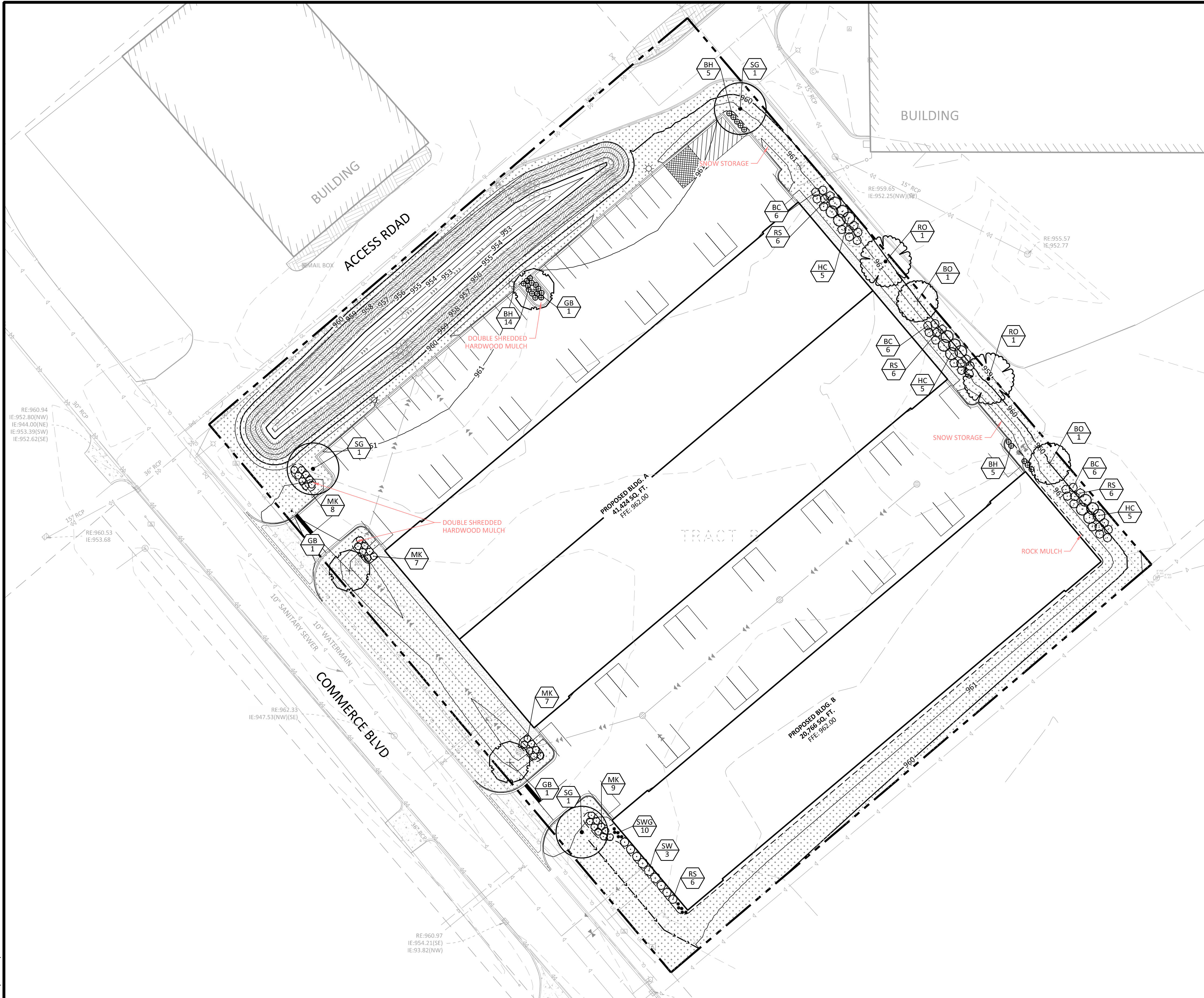
DATE ISSUED
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DETAILS
 CRCL GROUP
 COMMERCE BOULEVARD DEVELOPMENT
 PRELIMINARY DESIGN DOCUMENTS
 ROGERS, MN

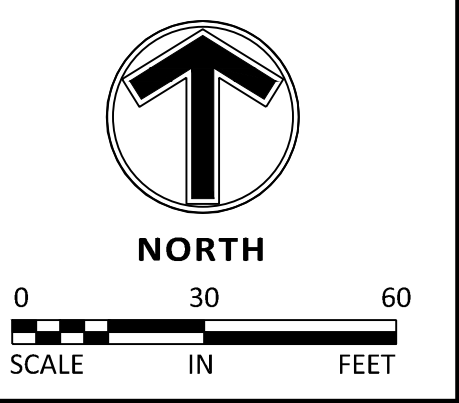
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C9.03
 18 OF 21
 REV.



LEGEND	
PROPOSED	EXISTING
PROPERTY LIMIT	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	CONCRETE PAVING
EASEMENT	CONCRETE SIDEWALK
BUILDING	
RETAINING WALL	
WETLAND LIMITS	
TREELINE	
LANDSCAPE EDGING	
STORM SEWER	
SANITARY SEWER	
FORCEMAIN (SAN.)	
WATERMAIN	
YARDDRRAIN	
LIMITS OF DISTURBANCE	
TREE PROTECTION FENCE	
TREE TO BE REMOVED	
SIGN	
PIPE BOLLARD	
RIPRAP	

ROGERS LANDSCAPE CODE		
LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED
ONE TREE PER LANDSCAPE ISLAND	8	8

PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
TREES					
●	SG	Acer freemanii 'Sienna Glen' / Sienna Glen Maple	B & B	2.5"Cal	3
+	GB	Ginkgo biloba 'Autumn Gold'™ / Maidenhair Tree	B & B	2.5"Cal	3
+	BO	Quercus macrocarpa / Burr Oak	B & B	2.5"Cal	2
●	RO	Quercus rubra / Red Oak	B & B	2.5"Cal	2
SUBTOTAL:					10
SHRUBS					
●	RS	Amelanchier alnifolia 'Regent' / Saskatoon Serviceberry	#5	18"	24
●	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	#5	24"	18
●	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	#5	12"	24
●	HC	Hamamelis virginiana 'Champlin's Red' / Champlin's Red Witch Hazel	#5	36"	15
+	SW	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	#5	24"	3
●	MK	Syringa patula 'Miss Kim' / Miss Kim Lilac	#5	18"	31
SUBTOTAL:					115
GRASSES					
★	SWG	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass	#1		10
SUBTOTAL:					10
GROUND COVERS					
■	WD	MNDOT Seed Mix Wet Ditch / Formerly MNDOT Seed Mix 33-261	Seed		
■	TUR HIG	Turf Sod Highland Sod / Sod	Sod		



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Date: _____ License #: _____

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LANDSCAPE PLAN

CRCL GROUP

COMMERCE BOULEVARD DEVELOPMENT

PRELIMINARY DESIGN DOCUMENTS

ROGERS, MN

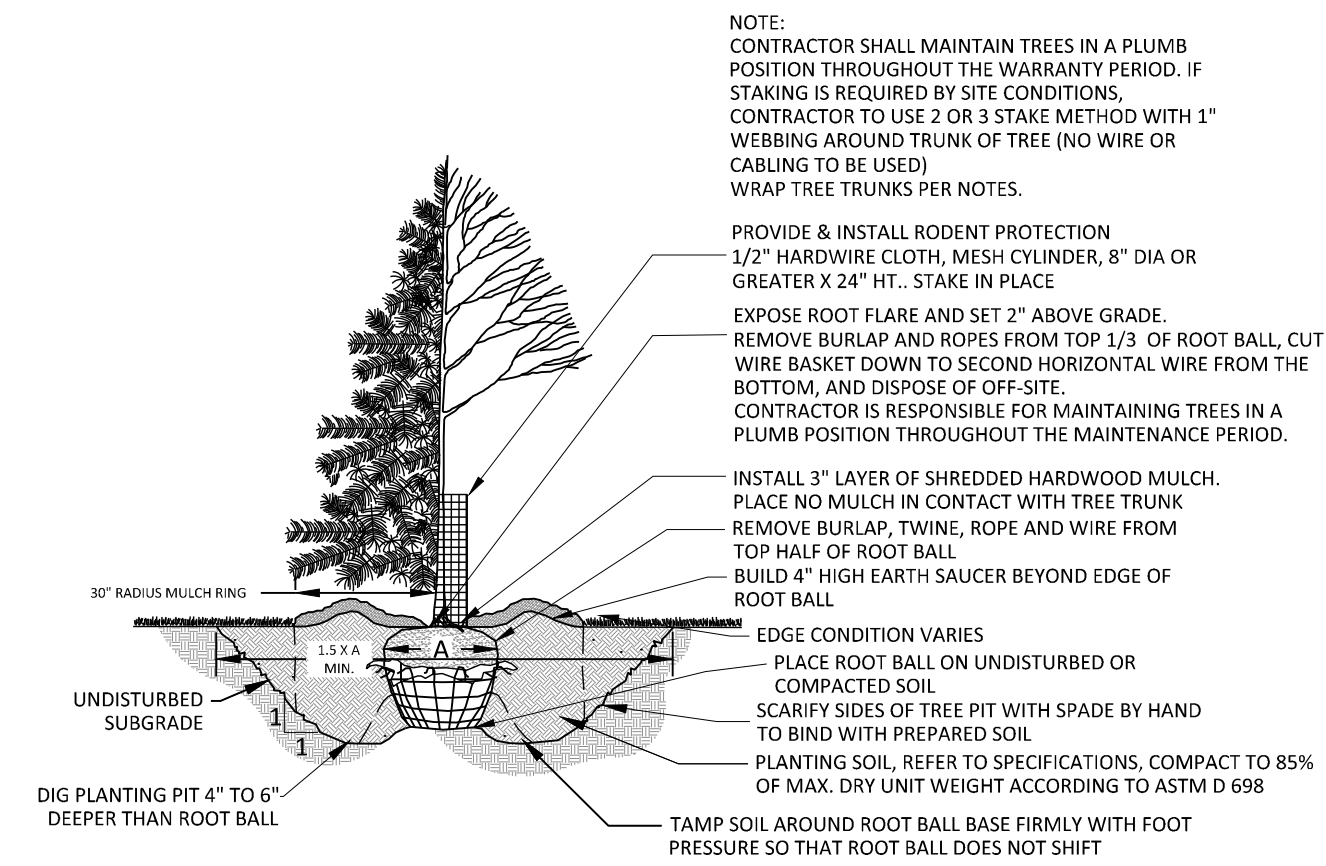
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L1.01

19 OF 21

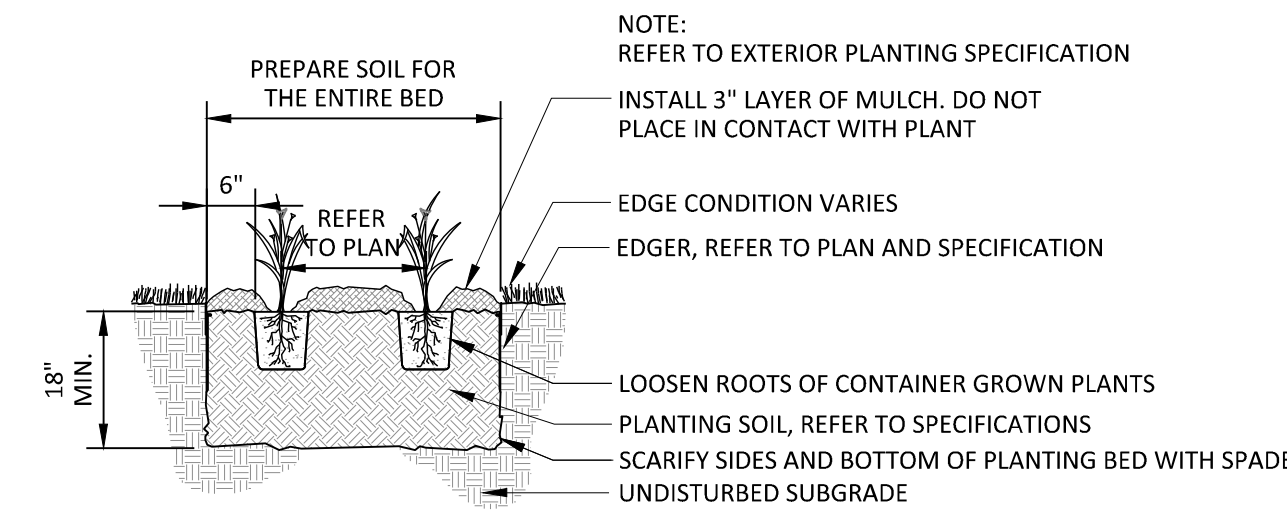
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24.15 (LWS TECH) | TREVOR CONWAY | 9/22/2025 1:57:28 PM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-11.01-LSCP.DWG-11.01 LANDSCAPE PLAN



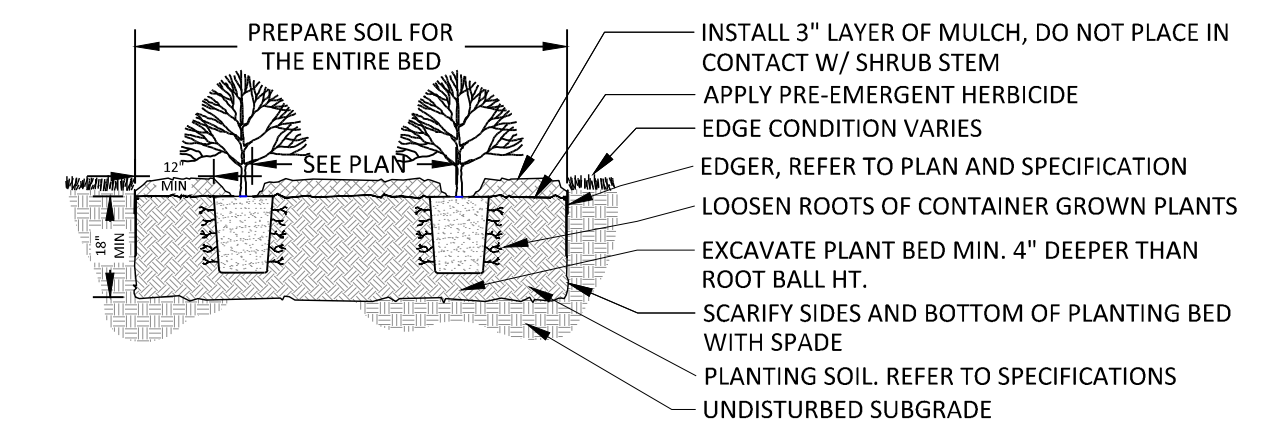
1 TREE PLANTING DETAIL
L1.02 1/4" = 1'-0"

P-01



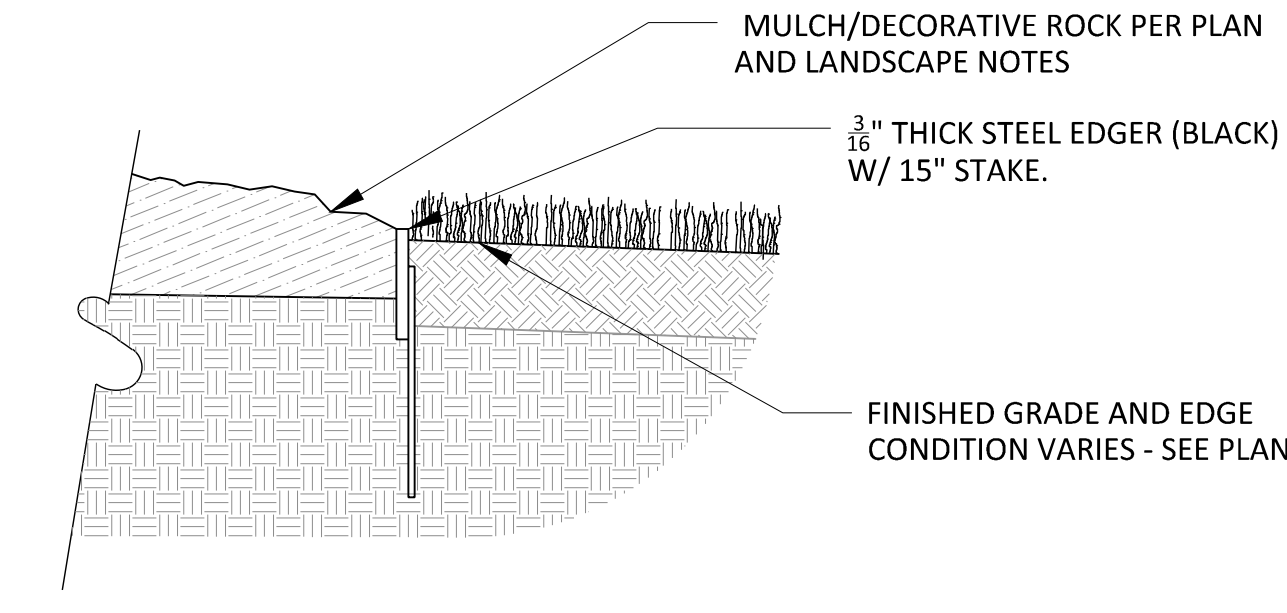
2 PERENNIAL PLANTING DETAIL
L1.02 1/2" = 1'-0"

P-03



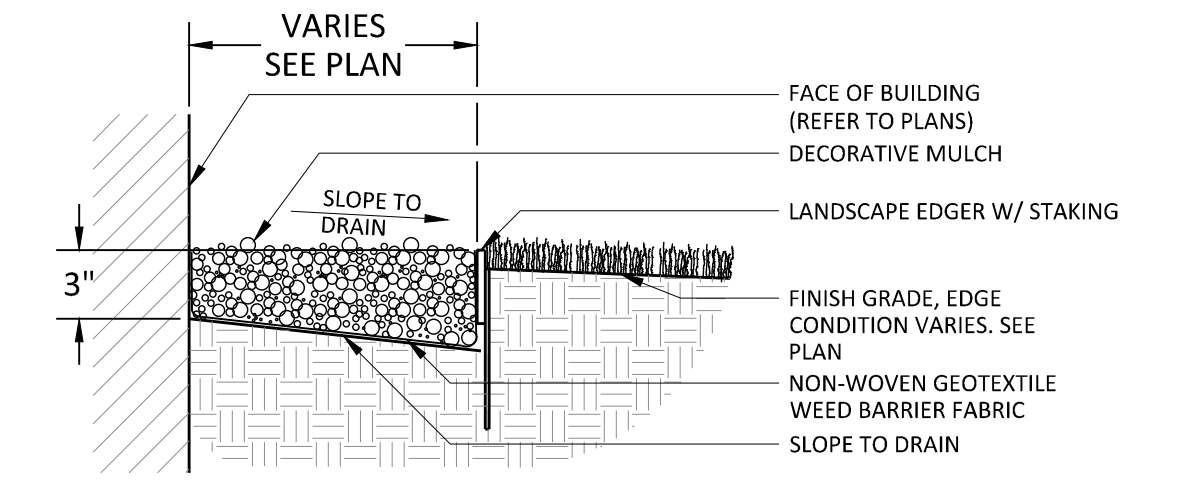
3 SHRUB PLANTING DETAIL
L1.02 3/8" = 1'-0"

P-02



4 STEEL EDGER
L1.02 1 1/2" = 1'-0"

P-06



5 MAINTENANCE STRIP
L1.02 1" = 1'-0"

P-05

24.15 (LWS TECH) | TREVOR CONWAY | 9/22/2025 1:57:28 PM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-11_01-1-SCP.DWG-L1.02 LANDSCAPE NOTES & DETAILS

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LANDSCAPE NOTES & DETAILS

CRCL GROUP

COMMERCE BOULEVARD DEVELOPMENT

PRELIMINARY DESIGN DOCUMENTS

ROGERS, MN

SHEET
L1.02
20 OF 21
REV. #

Mirada Small Area (MRS)

Turtle friendly LED Area Light



OVERVIEW	
Lumen Package	2,000 - 4,000
Wattage Range	35 - 93
Efficacy Range (LPW)	39 - 73
Weight (lbs)	20 (30)

QUICK LINKS

[Ordering Guide](#) | [Performance](#) | [Photometrics](#) | [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory pre-wired driver and optical unit. Hinged die-cast aluminum wing access door located underneath.
- Features are finished with LSi's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSi finishes available. Contact factory.
- Shipping weight: 27 lbs in carton.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over-temperature protection.
- 0-10V dimming (100% - 100%) standard.
- Standard Universal Voltage (100-277 VAC) Input (50/60 Hz) or optional High Voltage (247-480 VAC).
- Total harmonic distortion <20%.
- Operating temperature: -40°C to +50°C (-40°F to +122°F).
- Power factor >.90
- Input power stays constant over life.
- Field replaceable 10W surge protection device meets minimum Category C Low cost per ANSI/IEEE C82.42.2.
- LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Warranty

- LED Luminaires carry a 5-year limited warranty. Refer to <https://www.lsi.com/condition-warranty> for more information.
- 5-year warranty on Battery Back-up option.

Controls

- Integral passive infrared (Bluetooth™) motion and photo-cell sensor options. Features operate independently and can be commissioned via iOS or Android configuration app.
- LSi's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Optical System

- State-of-the-art one-piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone reflector optics provide exceptional coverage and uniformity in distribution types 2, 3, BW, and FT.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 93%.
- Zero uplight.
- Available in narrow band amber with peak intensity at 590nm.
- Integral louvers (L) and integral half cover (H) options available for enhanced backlight control.
- External shading available for blocking visibility from side of the luminaire.

Installation

- Designed to mount to poles or eave.

Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

ORDERING GUIDE

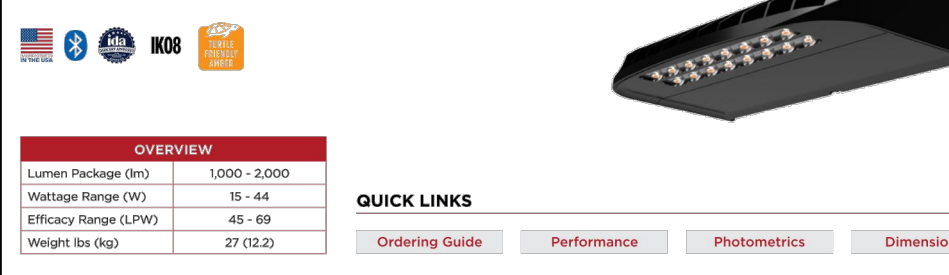
TYPICAL ORDER EXAMPLE: MRS 18L 4L 5L 1T 1 UNW 0W AMT ALKCL1 BK W

Profile	Light Source	Lumen Package	Size	Installation	Orientation	Voltage	Driver
MRS - Small Area Light	18L - 18W	4L - 4,000lm	4 - 4.000lm	1 - 1-pole 2 - 2-pole 3 - 3-pole 4 - 4-pole 5 - 5-pole 6 - 6-pole 7 - 7-pole 8 - 8-pole 9 - 9-pole 10 - 10-pole	AMT - Ambient ALKCL1 - Ambient BK - Black	100V - 100V 277V - 277V 480V - 480V	0W - 0W 10W - 10W 20W - 20W 30W - 30W 40W - 40W 50W - 50W 60W - 60W 70W - 70W 80W - 80W 90W - 90W

Color Temp	Control (Choose One)	Finish	Option
AMT - Ambient	AMT - Ambient	BK - Black ALKCL1 - Ambient BK - Black	0W - 0W 10W - 10W 20W - 20W 30W - 30W 40W - 40W 50W - 50W 60W - 60W 70W - 70W 80W - 80W 90W - 90W

Mirada Medium Wall Scone (XWM)

Turtle Friendly LED Wall Scone



OVERVIEW	
Lumen Package (lm)	1,000 - 2,000
Wattage Range (W)	15 - 44
Efficacy Range (LPW)	42 - 68
Weight (lbs)	27 (32.2)

QUICK LINKS

[Ordering Guide](#) | [Performance](#) | [Photometrics](#) | [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory pre-wired driver and optical unit. Hinged die-cast aluminum wing access door located underneath.
- Galvanized steel universal wall mount bracket comes standard with hanging mechanism to easily access the junction box wire connections without removing the luminaire.
- Optional pole-mounting bracket (XPM) permits mounting to standard poles.
- Features are finished with LSi's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSi finishes available. Contact factory.
- Shipping weight: 30 lbs in carton.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (100% - 100%) standard.
- Standard Universal Voltage (100-277 VAC) Input (50/60 Hz) or optional High Voltage (247-480 VAC).
- Operating temperature: -40°C to +40°C (-40°F to +104°F).
- LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.

Warranty

- LED Luminaires carry a 5-year limited warranty. Refer to <https://www.lsi.com/condition-warranty> for more information.
- 1 Year warranty on Battery Back-up option.

Controls

- Integral passive infrared (Bluetooth™) motion and photo-cell sensor options. Features operate independently and can be commissioned via iOS or Android configuration app. Updates and modifications to the control strategy are easily implemented via an intuitive app.
- LSi's AirLink™ Blue lighting control system is a single feature rich wireless (Bluetooth mesh network). The integrated feature sensor module provides wireless control of grouped fixtures based on motion sensors, daylight or a fully customizable schedule.

Optical System

- State-of-the-art one-piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone reflector optics provide exceptional coverage and uniformity in Types 2, 3, and Forward Throw (FT) distributions.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 93%.
- Zero uplight.
- Narrow band amber LEDs.

Installation

- Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
- 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for installing wiring.
- Optional terminal block accepts up to 12 ga wire.

Mirada Medium Wall Scone (XWM)

Have questions? Call us at (800) 436-7800

ORDERING GUIDE

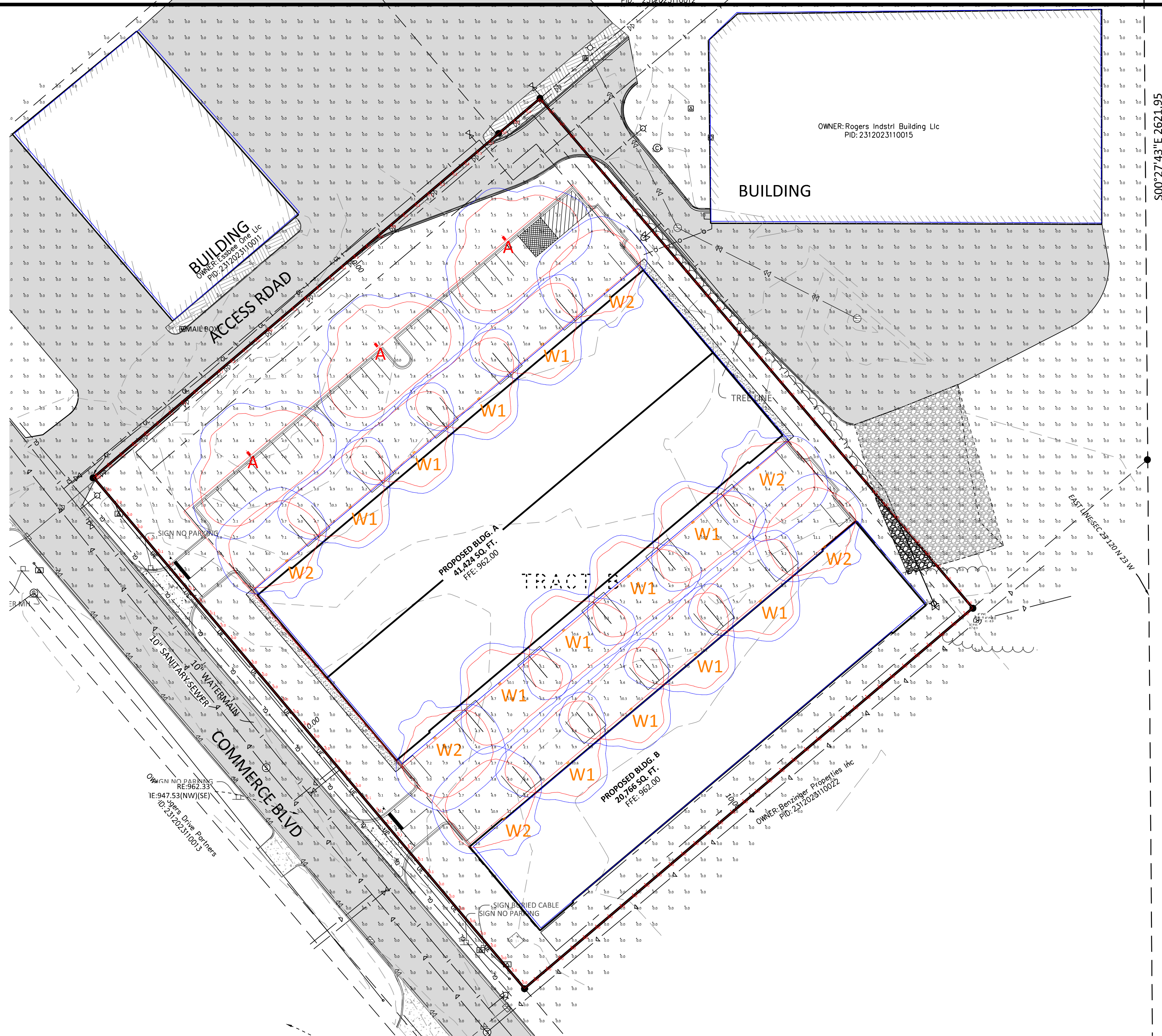
TYPICAL ORDER EXAMPLE: XWM 2 LED 2L AMT UE BK B21 ALK

Profile	Light Source	Lumen Package	Color Temperature	Voltage
XWM - Medium Wall Scone	2 LED - 2W	2L - 2,000lm	4L - 4,000lm 5L - 5,000lm 6L - 6,000lm 7L - 7,000lm 8L - 8,000lm 9L - 9,000lm 10L - 10,000lm	100V - 100V 277V - 277V 480V - 480V

Finish	Control (Choose One)	Option
BK - Black ALK - Ambient BK - Black	AMT - Ambient ALKCL1 - Ambient BK - Black	0W - 0W 10W - 10W 20W - 20W 30W - 30W 40W - 40W 50W - 50W 60W - 60W 70W - 70W 80W - 80W 90W - 90W

Need more information? Click here for our glossary

Have additional questions? Call us at (800) 436-7800



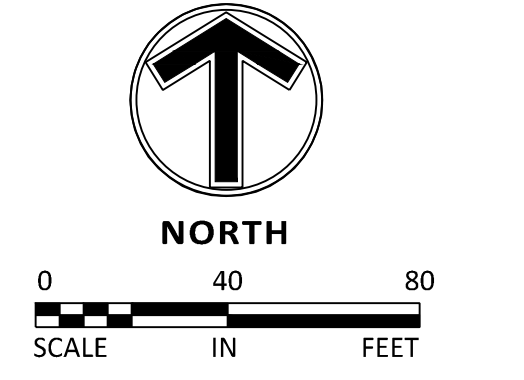
LIGHTING NOTES

- REFER TO LUMINAIRE SCHEDULE FOR TYPE, DESCRIPTION, QUANTITY, AND MOUNTING HEIGHT. MOUNTING HEIGHT IS PER BACKLIGHT, UPLIGHT, AND GLARE (BUG) REGULATIONS.
- CORRELATED COLOR TEMPERATURE (CCT) SHALL BE 4K CCT.
- COLOR RENDERING INDEX (CRI) SHALL BE 80CRI.
- LIGHTING CONTROLS: PHOTOCELL CONTROL. COORDINATE WITH OWNER.

24.15 (LWS TECH) | TREVOR CONWAY | 9/19/2025 8:43:11 AM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-L2.00-PHOTOMETRIC-DWG\L2.00 PHOTOMETRIC PLAN

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
ALL CALCULATIONS AT GRADE	ILLUMINANCE	Fc	0.87	12.4	0.0	N.A.	N.A.	0
BOUNDARY	ILLUMINANCE	Fc	0.04	0.3	0.0	N.A.	N.A.	N.A.
PARKING LOT AREAS	ILLUMINANCE	Fc	4.75	12.4	0.6	7.92	20.67	N.A.

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
A	3	A	Single	MRS-LED-18L-SIL-3-50-70CRI	18'	0.950	17592	135	B3-U0-G3
W1	12	W1	Single	XWM-3-LED-12L-50-70CRI	12'	0.970	12203	77	B2-U0-G2
W2	6	W2	Single	XWM-4-LED-12L-50-70CRI	12'	0.970	11716	77	B2-U0-G3



NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date: _____ License #: _____

DATE ISSUED
09/22/2025

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
TK

DESIGNED BY
CC

CHECKED BY
TC

PROJECT NO.
53862



PHOTOMETRIC PLAN

CRCL GROUP

COMMERCE BOULEVARD DEVELOPMENT

PRELIMINARY DESIGN DOCUMENTS

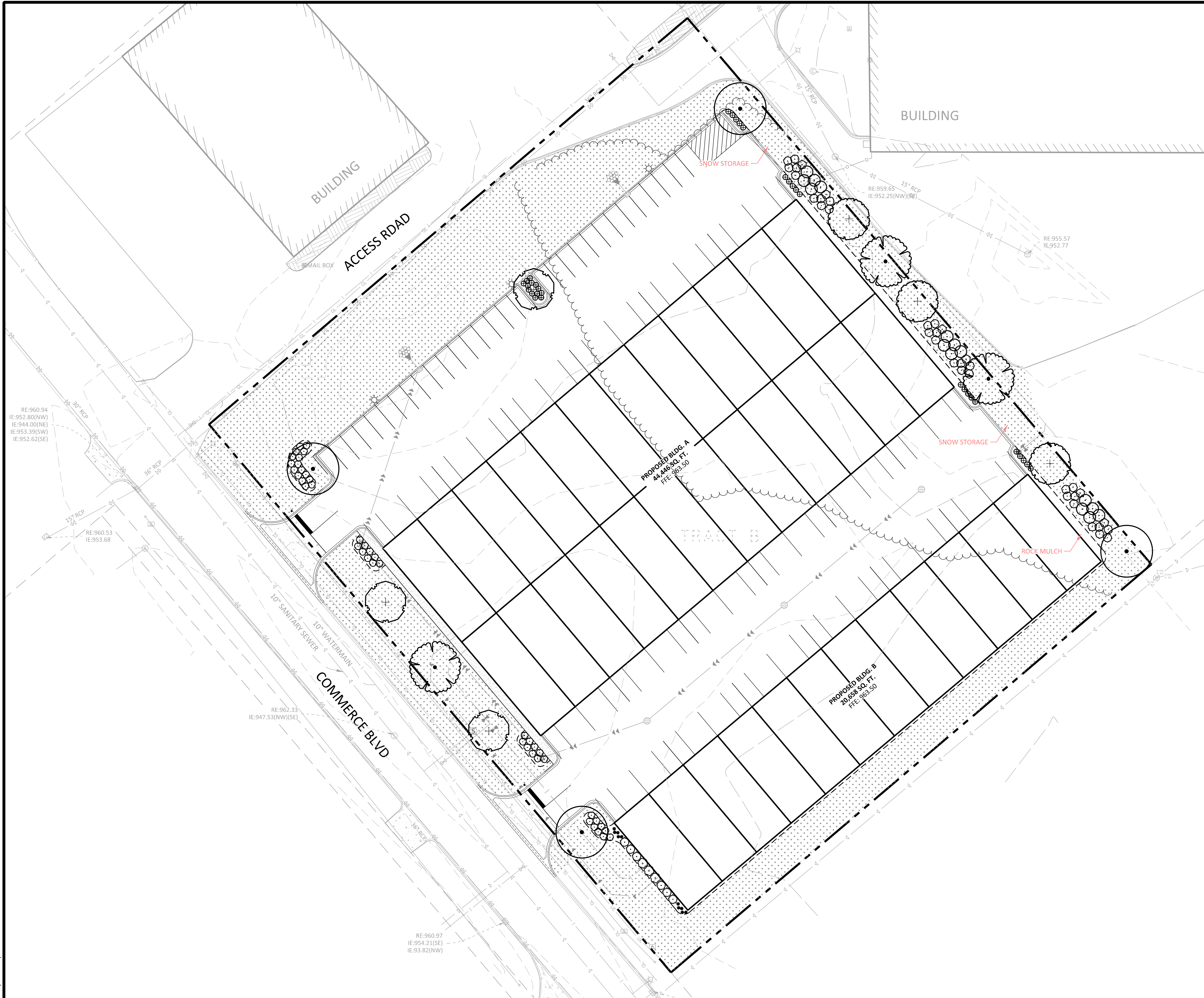
ROGERS, MN

SHEET

L2.00

21 OF 21

REV. #

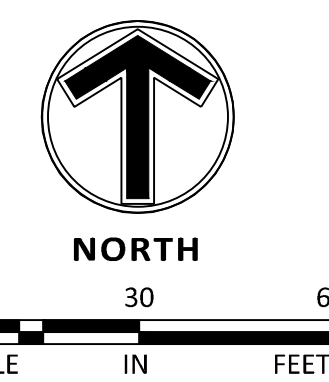


LEGEND	
PROPOSED	EXISTING
PROPERTY LIMIT	---
CURB & GUTTER	---
EASEMENT	---
BUILDING	---
RETAINING WALL	---
WETLAND LIMITS	---
TREELINE	---
LANDSCAPE EDGING	---
STORM SEWER	---
SANITARY SEWER	---
FORCEMAIN (SAN.)	---
WATERMAIN	---
YARDDRAIN	---
LIMITS OF DISTURBANCE	---
TREE PROTECTION FENCE	---
TREE TO BE REMOVED	---
SIGN	---
PIPE BOLLARD	---
RIPRAP	---
STANDARD DUTY ASPHALT PAVING	---
CONCRETE PAVING	---
CONCRETE SIDEWALK	---

ROGERS LANDSCAPE CODE	
LANDSCAPE REQUIREMENTS	REQUIRED 8
ONE TREE PER LANDSCAPE ISLAND	PROPOSED 8

PLANT SCHEDULE

PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
TREES					
	SG	Acer freemanii 'Sienna Glen' / Sienna Glen Maple	B & B	2.5"Cal	4
	GB	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	2.5"Cal	3
	BO	Quercus macrocarpa / Burr Oak	B & B	2.5"Cal	3
	RO	Quercus rubra / Red Oak	B & B	2.5"Cal	5
		SUBTOTAL:			15
CONIFERS					
	NS	Picea abies / Norway Spruce	B & B		5
	BS	Picea glauca densata / Black Hills Spruce	B & B		3
	PSP	Pinus strobus 'Patton's Silver Splendor' / Silver Splendor White Pine	B & B		3
		SUBTOTAL:			11
SHRUBS					
	RS	Amelanchier alnifolia 'Regent' / Saskatoon Serviceberry	#5	18"	24
	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	#5	24"	18
	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	#5	12"	34
	HC	Hamamelis virginiana 'Champlin's Red' / Champlin's Red Witch Hazel	#5	36"	15
	SW	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	#5	24"	3
	MK	Syringa patula 'Miss Kim' / Miss Kim Lilac	#5	18"	43
		SUBTOTAL:			137
GRASSES					
	SWG	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass	#1		10
		SUBTOTAL:			10
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT		
GROUND COVERS					
	TUR HIG	Turf Sod Highland Sod / Sod	Sod		



24.15 (LWS TECH) | TREVOR CONWAY | 9/8/2025 10:06:47 AM | L:\PROJECTS\53862\CAD\CIVIL\SHEETS\53862-L1.01-LSCP.DWG-L1.01 LANDSCAPE PLAN

NO	DATE	BY	CKD	APPR	COMMENT

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Print Name: _____

Date _____ License # _____

PRELIMINARY	DRAWN BY
DESIGN REVIEW	DESIGNED BY
PERMIT SUBMITTAL	CHECKED BY
CONSTRUCTION DOCUMENTS	PROJECT NO. 53862

LANDSCAPE PLAN
 CRCL GROUP
 COMMERCE BOULEVARD DEVELOPMENT
 PRELIMINARY DESIGN DOCUMENTS
 ROGERS, MN

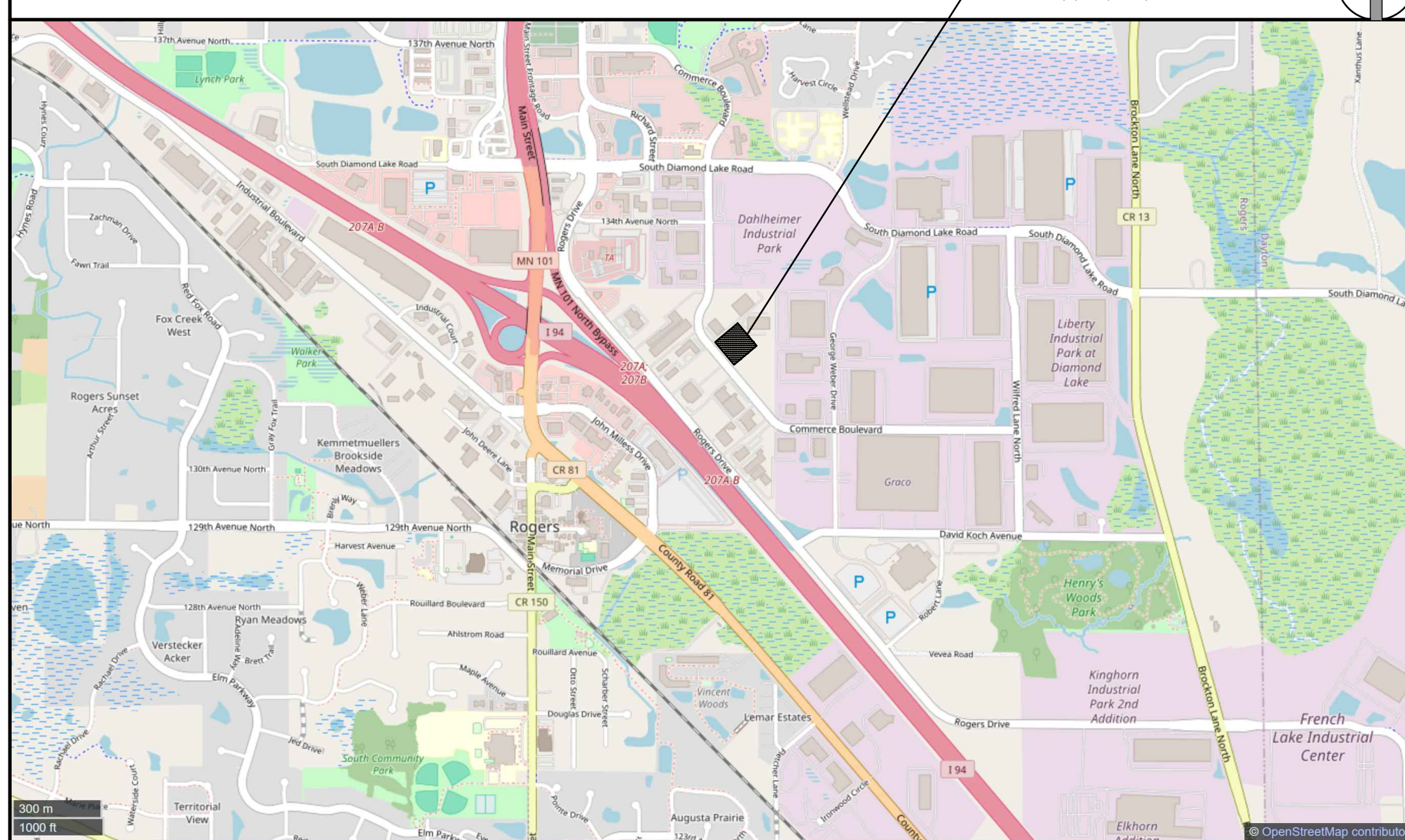
SHEET
L1.01
 OF
 REV.

Commerce Boulevard

Rogers, MN

10.01.2025

PROJECT LOCATION AND MAPS



PROJECT DIRECTORY

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GEOTECHNICAL
 BRAIN INTERTEC
 11001 HAMPSHIRE AVENUE SOUTH
 BLOOMINGTON, MN 55438
 CONTACT:
 PHONE: 952-938-2000
 EMAIL:

PROJECT SUMMARY

CONSTRUCTION OF A TWO BUILDING OFFICE/WAREHOUSE COMPLEX. EACH BUILDING UTILIZES ARCHITECTURAL PRECAST CONCRETE INSULATED SANDWICH PANELS. THE PANELS WILL BE FINISHED WITH A COMBINATION OF PAINT AND APPLIED METAL PANELS THAT SIMULATE WOOD. THE COMPLEX WILL PROVIDE A TOTAL OF 36 RENTAL BAYS, EACH APPROXIMATELY 16,000 SF. WITH AN OPTION FOR ADDING A 500 SF MEZZANINE EACH BAY WILL BE FITTED OUT WITH AN ACCESSIBLE RESTROOM AND SEPARATE MECHANICAL AND ELECTRICAL SERVICES. THE BUILDINGS WILL BE FULLY SPRINKLED.

SHEET SUMMARY

SHEET NAME AND NUMBER	PRINT LOG
A000 TITLE SHEET	<input checked="" type="checkbox"/>
ARCHITECTURAL	
A010 ARCH SITE PLAN	<input checked="" type="checkbox"/>
A110 FLOOR PLAN	<input checked="" type="checkbox"/>
A130 EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>
<input type="checkbox"/> NOT PRINTED <input checked="" type="checkbox"/> ISSUED/REVISED <input type="checkbox"/> PRINTED AS REFERENCE	

ISSUED FOR CITY REVIEW 10/01/2025

PROJECT RENDERING



tanek

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 F: 612-879-8152
 www.tanek.com

Commerces Blvd. Development
 Rogers, MN 55374

CRCL Group
 6012 Minnetonka Blvd.
 St. Louis Park, MN 55416

Sambatek
 12800 Whitewater Dr. #300
 Minnetonka, MN 55343

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name _____ date _____

license number _____ signature _____

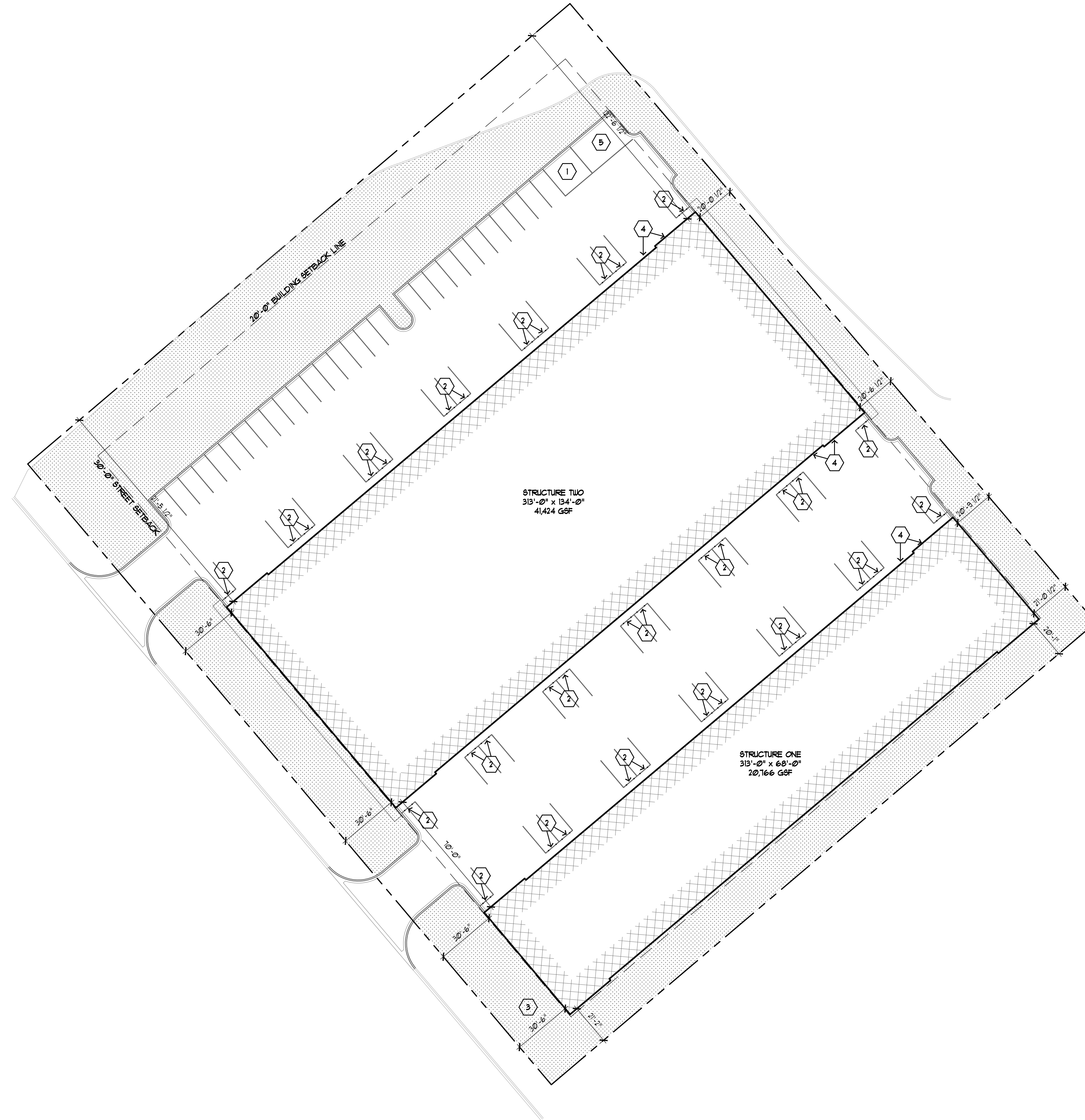
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 name _____ tvh/kp

issue date 10.01.2025

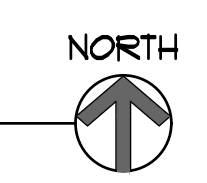
title sheet

KEY NOTES

- 1 TRASH ENCLOSURE - STEEL FRAME MOUNTED TO CAST CONCRETE SLAB, CLAD IN VERTICAL WOOD MEMBERS, FINISH TO MATCH WOOD-LOOK SLATS ON BUILDING FACADES.
- 2 (2) STEEL BOLLARDS TO PROTECT CODE REQUIRED LANDING AT EACH ENTRANCE DOOR.
- 3 ELECTRICAL TRANSFORMER, PROVIDE LANDSCAPE SCREENING, FINAL LOCATION AND SCREENING T.B.D. BY ELECTRICAL UTILITY.
- 4 "NO PARKING - FIRE LANE" SIGNAGE APPLIED TO OVERHEAD DOOR.
- 5 AREA STRIPPED AND SIGNED "NO PARKING - FIRE LANE".



1 SITE PLAN
1" = 30'



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scale _____ x/x" = 1'-0"
name _____ tvh/kp

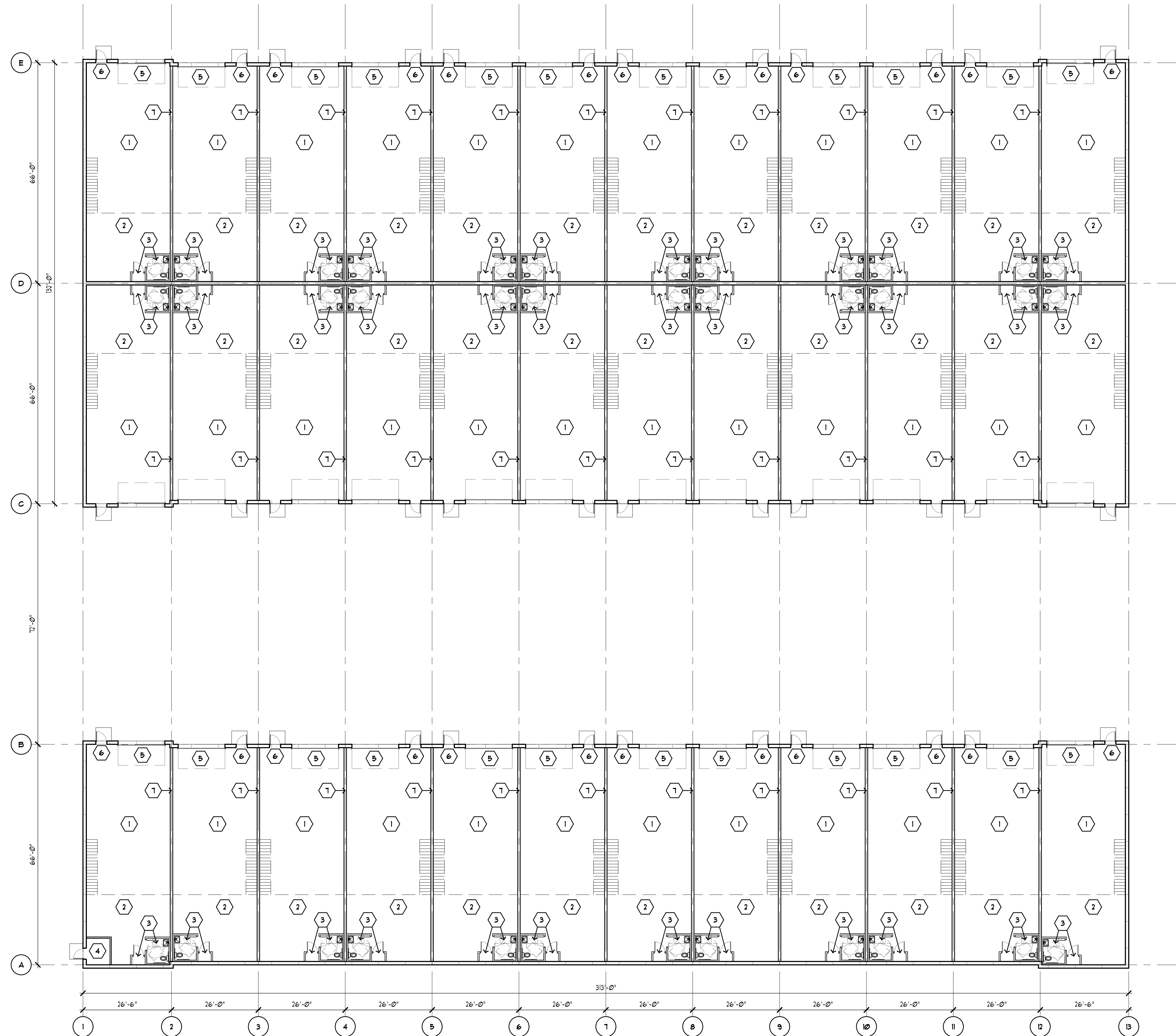
issue date 10.01.2025
site plan

a010
copyright Tanek 2025

NOT FOR CONSTRUCTION

KEY NOTES

- 1 INDIVIDUAL RENTAL BAY, APPROXIMATELY 64'-0" x 25'-0" INTERIOR DIMENSIONS (1600 SF) WITH 24'-0" CLEAR HEIGHT. 36 BAYS TOTAL.
- 2 OPTIONAL WOOD FRAMED MEZZANINE ABOVE IN EACH BAY, APPROXIMATELY 20'-0" x 25'-0" (500 SF).
- 3 SINGLE USER ACCESSIBLE RESTROOM AND ADJACENT TENANT MECHANICAL ROOM.
- 4 ROOM WITH EXTERIOR ACCESS ALLOCATED FOR COMMON UTILITY SERVICES AND SPRINKLER RISER.
- 5 14'-0" WIDE x 14'-0" TALL INSULATED OVERHEAD DOOR.
- 6 3'-0" WIDE x 7'-0" TALL ALUMINUM AND GLASS ENTRY DOOR WITH EXTERIOR FROST DEPTH STOOP.
- 7 METAL FRAMED AND SHEETROCK CLAD INTERIOR DEMISING WALLS.



1 FLOOR PLAN
1/16" = 1'-0"

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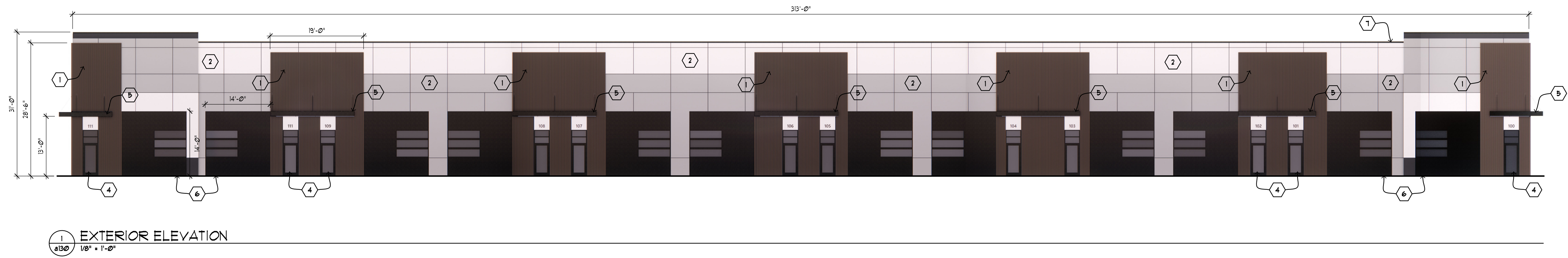
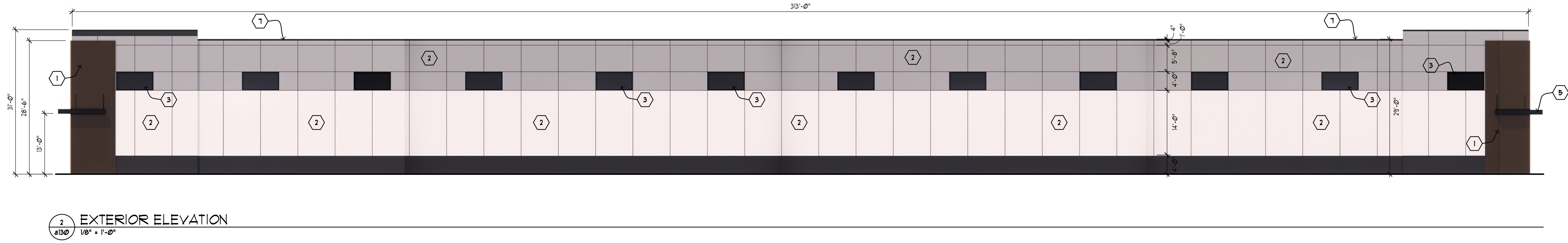
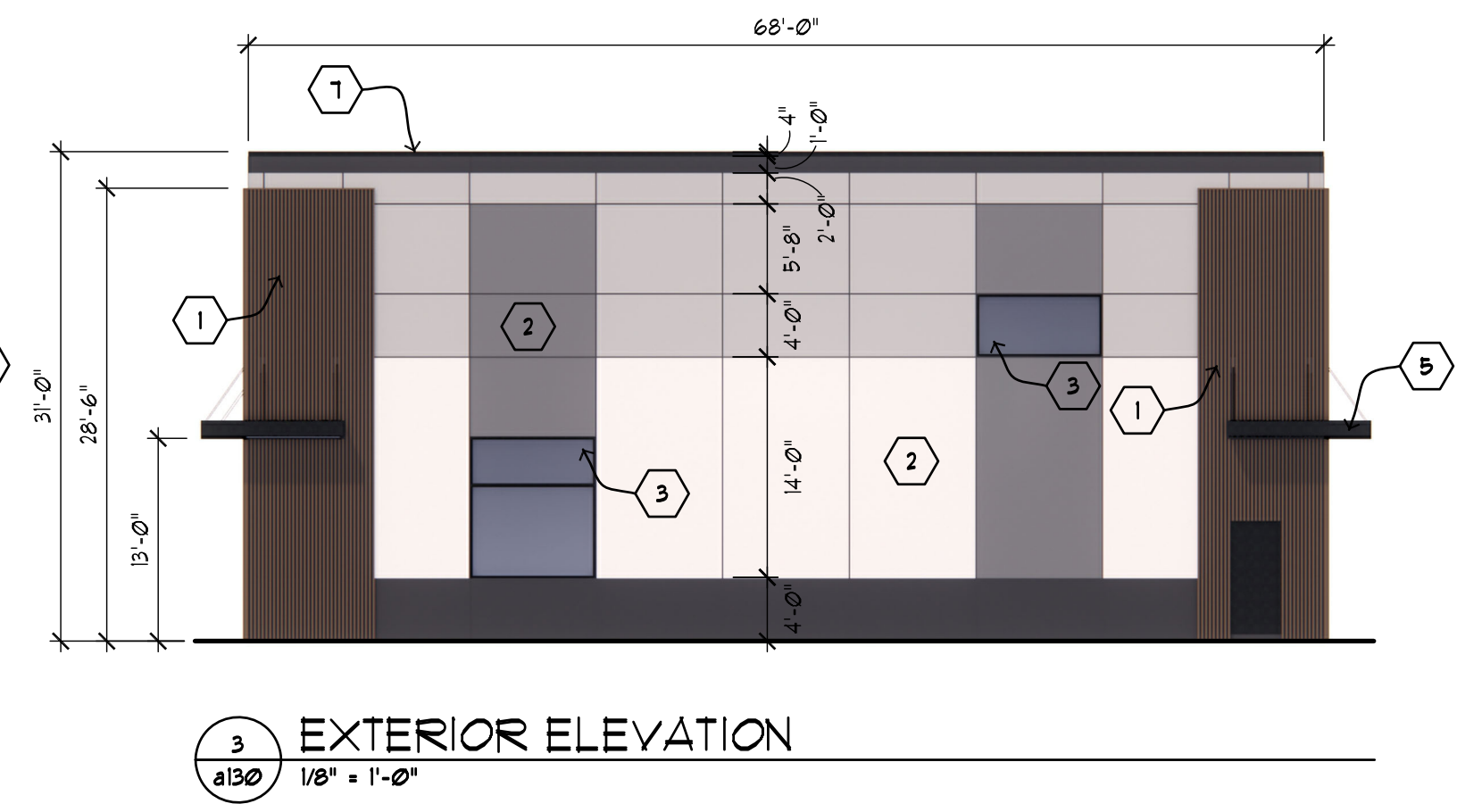
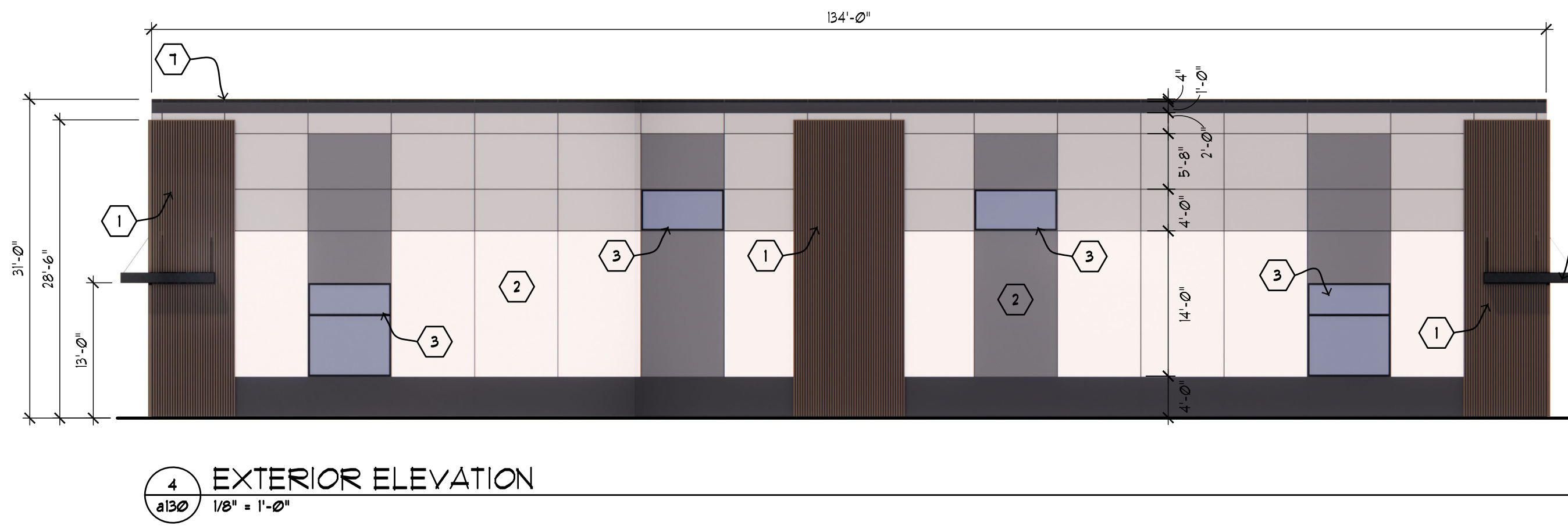
scale 1/16" = 1'-0"
name tvh/kp

issue date 10.01.2025

floor plan level 01

a110
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- KEY NOTES**
- 1 VERTICAL WOOD LOOK SLATS
 - 2 PRECAST CONCRETE PANELS - SMOOTH FINISH, PAINTED.
 - 3 ALUMINUM WINDOW SYSTEM
 - 4 ALUMINUM DOOR SYSTEM
 - 5 PAINTED METAL CANOPY WITH DECORATIVE LIGHTING OVER DOORS.
 - 6 STEEL AND GLASS OVERHEAD GARAGE DOOR
 - 7 PRE-FINISHED METAL CAP FLASHING



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Commerce Blvd
address
address
Rogers, MN 55374

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name _____ date _____

license number _____ signature _____

scale **name** as noted
tvh/kp

Issue date 10.01.2025
exterior elevations

a130
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NOT FOR CONSTRUCTION



STAFF REPORT

Meeting Date: November 3, 2025

ROGERS PLANNING COMMISSION

Agenda Item: 7.1

Subject: Past Planning Commission Items

Prepared By: Brett Angell, Community Development Director

Overview / Background / Analysis

The Planning Commission last met on Monday, October 6th. This meeting was a joint Planning Commission and City Council meeting with the intention of discussing the Main Street Master Planning process with the City's consultant, Cardo. At the meeting, the Commission reviewed the feedback heard to date from the public and provided input related to the Main Street area. Following this meeting, Cardo began to draft the master plan document and potential options related to the area. The next steps in the planning process include an Open House event, which is scheduled for Wednesday, November 19th beginning at 6 PM at the 21st Century Bank Event Center. Additionally, residents have the ability to provide online feedback on the project website: www.rogersmainstreet.com.

Other Items

- Grading and construction has begun for the Asguard mixed-use building and the Take 5 oil change addition for the former wells fargo. Asguard is expected to take approximately one year to construct. Take 5 will be converting the former bank space into commercial space that is anticipated to have two quick-service restaurant users.
- Applications for positions on the Planning Commission are now being accepted. It is anticipated that interviews will take place at the January or February Commission meeting, dependent on the number of applicants. If the Commission knows anyone who may be interested please direct them to the rogersmn.gov website to apply or to contact CD Director Angell if they have any questions.

Staff Recommendation

No action required.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

None