



AGENDA

Rogers City Council

May 12, 2026 - 7:00 PM

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

2. OPEN FORUM

Individuals may address the Council about any item not contained on the regular agenda. A maximum of 10 minutes is allocated for the Forum. If the full 10 minutes are not needed for the Forum, the Mayor will continue with the agenda. If additional time is needed for the Forum, the Council will continue the Forum following Other Business on the agenda. The Council will take no official action on items discussed at the Forum, with the exception of referral to staff or Commission for future report.

3. PRESENTATIONS

4. APPROVE AGENDA

Council members may add items to the agenda for discussion purposes or staff direction only. The Council will not normally take official action on items added to the agenda.

5. CONSENT AGENDA

These items are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the Consent Agenda and placed elsewhere on the agenda.

5.1 Approval of Minutes

5.2 Approval of Bills and Claims

5.3 Approval of Special Event Permit Application for Hisco, Inc. for September 17, 2026

5.4 Approval of Ice Resurfacer Purchase for Rink 2

5.5 Approve Second Amendment to May 26, 2020 Trailway Cooperative Agreement with Three Rivers Park District for the grade-separated crossing of CR 144/141st Avenue, City Project No. 2107

5.6 Approve Fleet and Equipment Proposed Changes

- 5.7 Approve Payment to Xcel Energy to Relocate Overhead Power for City Hall and Police Department Civic Campus, City Project No. 2202
- 5.8 Call a Public hearing for Tuesday, May 26, 2026 at 7:00 p.m. to Consider the Adoption of Franchise Fee Ordinances for the Public and Cooperative Utilities Serving the City
- 5.9 Approval of the First Amendment to the Purchase Agreement with Cloutier Properties for the Sale of City-Owned Property Setting a Closing Date
- 5.10 Approval of the Fifth Amendment to the Purchase Agreement with Jacob Ventures, LLC Granting Additional Time to Close
- 5.11 Authorize Execution of Early Grading Agreement for Northview Preserve 2nd Addition.
- 5.12 Authorize Execution of Early Grading Agreement for Cowley Lake Preserve 2nd Addition Area

6. PUBLIC HEARINGS

- 6.1 Public Hearing to identify Qualified 501(c)(3) Users of the Rogers Activity Center in the City of Rogers

7. GENERAL BUSINESS

- 7.1 Approval of Resolution 2026-49 Approving a Site Plan and Variance Request for a Retail Center at 21355 136th Ave (Lot Adjacent to Maynards) by Cloutier Properties

8. OTHER BUSINESS

9. CORRESPONDENCE AND REPORTS

10. ADJOURN



STAFF REPORT
ROGERS CITY COUNCIL

Meeting Date: May 12, 2026

Agenda Item: 5.1

Subject: Approval of Minutes
Prepared By: Stacie Brown, City Clerk

Recommended Council Action

Motion to approve the April 28, 2026 Council Work Session minutes and the April 28, 2026 City Council meeting minutes.

Overview / Background / Analysis

Staff Recommendation

Motion to approve the April 28, 2026 Council Work Session minutes and the April 28, 2026 City Council meeting minutes.

Financial Impact:

Source Fund:

Budgeted?

Supporting Documentation

- A. 04282026min - work session
- B. 04282026min

1. CALL TO ORDER

The Work Session of the City Council of the City of Rogers was called to order by Mayor Klick on Tuesday, April 28, 2026, at 5:30 PM at Rogers Community Room, 21201 Memorial Drive, Rogers, MN, 55374 and online in the Teams application.

Council present: Shannon Klick, Kevin Jullie, Amy Enga, Joel Brockman
Council excused: Mark Eiden

Staff present: Steve Stahmer, Administrator; Stacy Scharber, Assistant City Administrator/HR Director; Bridget Bruska, Finance Director; Jason Foster, Deputy Chief of Police; Doran Cote, Public Works Director/City Engineer; Mike Bauer, Parks and Recreation Director; Brett Angell, Community Development Director; Jason Greninger, IS Director; and Stacie Brown, City Clerk.

2. GENERAL BUSINESS

2.1 Discussion on Utility Fees

Finance Director Bruska introduced Jon Eaton of AE2S, who shared an overview of the Utility Rate Study recently completed by their firm for the City of Rogers. He noted that the City's current fees are in line with comparable cities, however, would be considered low. This means there is room for an increase.

Mr. Eaton provided information about Impact Fees:

- New or expanded customers offset costs that existing users paid for service, supply, capacity expansions, etc. Impact fees cover the development and building phases
- Considerations/Limitations: Fee cannot exceed cost, proportional to demand from development, equal level of service, avoid double charging
- Typically used for growth-related capital, however, it can generally be used for all capital projects (cannot be used for operations)

Mr. Eaton reviewed the City's current Impact Fees for water, sanitary sewer, and stormwater. Compared to similar cities, fees in Rogers are on the lower end. He shared the process of determining a maximum justifiable Impact Fee, and a simplified proposed structure and distribution, with 40% in the development phase, and 60% in the building phase. Mr. Eaton shared an Impact Fee comparison for surrounding cities.

Councilor Brockman asked how much the proposed increase could impact the ability to market property in the city. Angell stated that there has been substantial discussion, and he has concerns about any fee increases. However, he will work with the changes.

Bruska noted that any developments who have submitted applications prior to adoption of the Ordinance being considered tonight will have the fees charged which were in effect at the time

of the application. The amended fee schedule would only be for new commercial/industrial development applications coming in after May 1st. She added this would be a four-year transition, and the fees would be increased gradually instead of one large jump.

2.2 Discussion on Civic Campus Bid Packages #1 and #2, City Project No. 2202

Public Works Director shared the background of the Civic Campus project, including the recent approval of the Preliminary and Final Plats. He explained there is a nearly year-long lead time on precast concrete panels, and Terra Construction is proposing an early bid package to prevent any delays.

Cote presented the bidding schedule, with Council approval of the final Guaranteed Maximum Price anticipated on 7/28/26. He reviewed the bidder selection process, with all details included in tonight's regular meeting packet. He shared a proposed fee reconciliation from Leo A. Daly, building plans, and tonight's recommended Council action.

Council discussed the fee reconciliation, noting the uncertainty of costs with current economic conditions. Councilor Brockman asked if the overground utilities would be buried. Cote explained that Xcel Energy is proposing to relocate the overhead power to the South side of the street, so there won't be a visual impact. Councilor Enga asked why they wouldn't bury them, and Cote stated it was due to cost and lack of space, with many other utilities buried on the boulevard.

Enga inquired about communication with the public. City Administrator Stahmer shared that there have been extensive discussions on the subject relative to the Main Street Master Plan, and Cote is also working with Terra Construction to develop signage on the site. Communications Manager Williams is also developing a plan for the project. Angell added that meetings have been held with multiple stakeholders and businesses, and information has been provided via the Main Street open house, and a public survey.

Brockman asked about signage on the campus. Todd LaVold of Leo A. Daly explained that as of right now, the side facing Main Street will have a City of Rogers sign, including an electronic message board.

Councilor Jullie asked about the bonding process. Bruska explained that a bonding CIP needs to be done, and this speaks to what projects are planned for issuing bonds. That part has been done, with a Public Hearing and petition having been completed. At this point, we would be able to move forward with bonding.

3. ADJOURN

Mayor Klick adjourned the meeting at 6:33 p.m.

Respectfully submitted,

Stacie Brown
City Clerk

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

The regular meeting of the City Council of the City of Rogers was called to order by Mayor Klick on Tuesday, April 28, 2026, at 7:00 PM at Rogers Community Room, 21201 Memorial Drive, Rogers, MN, 55374 and online in the Teams application.

Council present: Shannon Klick, Kevin Jullie, Amy Enga, Joel Brockman

Council excused: Mark Eiden

Staff present: Steve Stahmer, Administrator; Stacy Scharber, Assistant City Administrator/HR Director; Bridget Bruska, Finance Director; Jason Foster, Deputy Chief of Police; Patrick Farrens, Fire Chief; Doran Cote, Public Works Director/City Engineer; Mike Bauer, Parks and Recreation Director; Brett Angell, Community Development Director; Jason Greninger, IS Director; Bob Vose, City Attorney; and Stacie Brown, City Clerk.

2. OPEN FORUM

Ruth Bagniewski, 13048 Brookside Lane North, came forward to express concerns related to Main Street Crosswalks and Clean Up Day. She pointed out that there is a crosswalk sign but no painting on the ground on the crosswalk by the Event Center. Regarding Clean-Up day, she had only seen information about Clean-Up Day in the Spring Newsletter. Public Works Director/City Engineer Cote noted that it was also posted on the main page of the City website.

Mayor Klick asked where Ms. Bagniewski would like to see Clean-Up Day advertised, and she replied that it could be posted on signs similar to hydrant flushing notifications. She would also like to see more security at public meetings, and more availability of bike racks. Mayor Klick thanked her for sharing her concerns.

3. PRESENTATIONS

None.

4. APPROVE AGENDA

Councilor Brockman moved, Councilor Enga seconded a motion to approve agenda as submitted. Motion carried 4-0.

5. CONSENT AGENDA

5.1 Approval of April 14, 2026 City Council Meeting Minutes

5.2 Approval of Bills and Claims

5.3 Approve Professional Services Agreement with GTEL Advisors for Police Department Records Management System Consulting

- 5.4 Approval of Resolution No. 2026-44, A Resolution Rescinding Assessment Incorrectly Levied Against 21309 Poate Court (PID 26-120-23-13-0070) in 2025 for Delinquent Utilities
- 5.5 Approval of Resolution 2026-29 Approving a Lot Split for 20061 Vevea Rd (PID 24-120-23-34-0012) Related to the Oppidan Light Industrial Development
- 5.6 Approval of Resolution 2026-42 Approving the Rogers Athletic Complex Final Plat (TruStone Center)
- 5.7 Approval of Resolution 2026-43 Supporting a Job Creation Fund Application in Connection with Twin City Hose
- 5.8 Approval of Contract Extension for Front Burner Sports and Entertainment Naming Rights Agreement
- 5.9 Cooperative Agreements between the Elm Creek Watershed Management Commission (ECWMC) and the City of Rogers
 - Approve and Authorize Execution of Cooperative Agreement between the Elm Creek Watershed Management Commission (ECWMC) and the City of Rogers for Fox Creek Streambank Restoration Phase 2 (Creekview)
 - Approve and Authorize Execution of Cooperative Agreement between the Elm Creek Watershed Management Commission (ECWMC) and the City of Rogers for Fox Creek Streambank Restoration Phase 3 (Hyacinth)
 - Approve and Authorize Execution of Cooperative Agreement between the Elm Creek Watershed Management Commission (ECWMC) and the City of Rogers for Rogers Downtown Pond Expansion and Reuse
- 5.10 Approve Professional Services Agreement for Material Testing with American Engineering and Testing (AET) for South Diamond Lake Road and Hassan Parkway Mill and Overlay & 2026 Pavement Management Project, City Project Nos. 2401, 2402 & 2501
- 5.11 Approval to Use Park Dedication Funds for Improvements to Rogers High School Baseball Facilities
- 5.12 Approval of Resolution No. 2026-46, A Resolution Calling for a Public Hearing to Identify Qualified 501(c)(3) Users of the Rogers Activity Center in the City of Rogers
- 5.13 Approve Changes to FirstDue Contract

Councilor Jullie requested to pull items 5.9 and 5.11 for separate discussion.

Councilor Jullie moved, Councilor Brockman seconded a motion to approve the Consent Agenda as amended. Motion carried 4-0.

Item 5.9: Cooperative Agreements Between the Elm Creek Watershed Management Commission (ECWMC) and the City of Rogers

Councilor Jullie inquired about the City's involvement in the project, and if it is led by the ECWMC. Public Works Director/City Engineer Cote explained that the Fox Creek Stream Bank Restorations (Phases 2 and 3) are future projects which are programmed in the Elm Creek Watershed CIP. The City of Rogers will be the lead on the project, and the ECWMC will be funding it. In seeking reimbursement for the projects, it was recently discovered that the

three agreements still needed to be brought before the City Council for approval.

Councilor Jullie moved, Mayor Klick seconded a motion to approve Cooperative Agreements between the Elm Creek Watershed Management Commission and the City of Rogers. Motion carried 4-0.

Item 5.11: Approval to Use Park Dedication Funds for Improvements to Rogers High School Baseball Facilities

Councilor Jullie inquired about Park Dedication funds being utilized for improvements on School District property. Parks and Recreation Director Bauer explained that the subject area is covered by the City's Joint Powers Agreement with Independent School District 728, with some sections on City property, and others on School District property. The Park Commission stipulated that the facilities must remain open for use by the community, not just the High School.

Councilor Jullie moved, Councilor Enga seconded a motion to approve the use of Park Dedication funds for improvements to Rogers High School Baseball Facilities. Motion carried 4-0.

6. PUBLIC HEARINGS

6.1 Public Hearing to Consider Adopting the Following Ordinance and Resolution:

- Ordinance No. 2026-08, An Ordinance Amending the 2026 Master Fee Schedule for the City of Rogers
- Resolution No. 2026-30, A Resolution Authorizing Summary Publication of Ordinance No. 2026-08

Finance Director Bruska shared the background of a Utility Rate Study which was recently completed for the City by AE2S, LLC. She introduced Jon Eaton from AE2S to present the findings and recommendations.

Mr. Eaton reviewed the objectives of the Utility Rate Study, including development of a rate plan to meet revenue requirements for each utility. He explained the rate study approach and methodology, and reviewed the rate structures for Sewer, Water and Storm. He presented recommended structure changes and bill impacts for various usage categories. He further explained changes in the tiered billing to lower the rate and keep fees as equitable as possible for the low-end user.

Mr. Eaton provided an overview of Impact Fees, which occur at a time of development, and are designed so that "growth pays for growth." He shared a map of the future growth areas supporting Impact Fees, as well as current and proposed fees.

Bruska thanked Mr. Eaton and AE2S for their work on this study. She recapped changes to the fee schedule, to become effective on the usage date of May 1, 2026 for utility billing. For

Impact Fees, developments which are in the pipeline as of now would be calculated based on the time when they submitted their application.

Mayor Klick moved, Councilor Enga seconded a motion to open the Public Hearing at 7:37 p.m. Motion carried 4-0.

Mark Johnson, 25300 Tucker Road, stated he has a property in the Agricultural Preserve Program. He is concerned about the Stormwater fee and wants to know if his property will remain exempt. He has challenged this charge previously and got the City to agree not to charge.

Bruska explained that previously, the charges were based on land use, and there was a slight loophole which put agricultural properties in a gray area. To clarify, the money was refunded to Mr. Johnson and a small group of other agricultural property owners with the caveat that the City would be reevaluating this in the future.

Bruska noted that agricultural properties are one of the main contributors to stormwater runoff and chemicals in the system. With this in mind, they would be subject to the \$6.00 monthly fee. Mr. Johnson challenged the findings that agricultural properties are significant contributors, stating that stormwater on his property stays on his property. He stated that he sees no benefit to his property with the stormwater system, and development comes closer, he is seeing more water coming onto his property.

Mayor Klick inquired on the process for a dispute of this type, noting there had been a work-around for a long time. Public Works Director/City Engineer Cote stated he would be able to meet with Mr. Johnson to review his concerns, and if there is a different outcome, it would be brought back to the City Council.

Jim Kelley, 12165 Kelley Lane, stated he owns 28 acres which is not agricultural, but there is a large swamp that collects extra water. He asked if he is charged for having that large reservoir. Cote replied that the residential charge would apply, as not all water actually stays on Mr. Kelley's property; Stormwater pays for the entire city and all water flowing to the river. City Administrator Stahmer added that there were significant engineering stormwater challenges in that vicinity during the reconstruction of Kelley Lane.

Jim Kemmetmueller, 25105 Territorial and 25465 Territorial Rd, stated his properties are in the Agricultural Preserve Program. He maintains the ditch, and the developments are putting more water and pressure on their land. He thinks there are more problems with development, and he doesn't want to see a charge. He stated this would take the enjoyment out of his livelihood.

Mayor Klick moved, Councilor Enga seconded a motion to close the Public Hearing at 7:45 p.m. Motion carried 4-0.

Councilor Enga asked if additional discussion is needed about the properties in the Agricultural Preserve Program. Councilor Brockman asked if this is more affected by developments alongside it, or the practice of the land itself. Cote stated that a simple Google search shows agricultural land is shown to be the largest polluter of water resources. All

properties drain into the stormwater system, and everyone contributes to it, not just development, mining, etc. That is why staff propose that the fee be paid by all, and the funds are used for repairs and maintenance of that system.

Enga asked if there is a process for inquiring about changes in stormwater flow due to development. Cote explained that every development is reviewed by the Elm Creek Watershed and must conform to their rules. The development cannot generate more water than before it was constructed, and all developers have to demonstrate compliance through a stormwater study. Enga asked how a property owner who disagrees can discuss this. Cote stated they could contact Public Works for review and determination.

Mayor Klick moved, Councilor Jullie seconded a motion to approve Ordinance 2026-08; An Ordinance Amending the 2026 Master Fee Schedule. Motion carried 4-0.

Mayor Klick moved, Councilor Jullie seconded a motion to approve Resolution 2026-30, A Resolution Authorizing Summary Publication of Ordinance 2026-08. Motion carried 4-0.

Mayor Klick moved, Councilor Enga seconded a motion to adopt the 2026 Utility Rate Study. Motion carried 4-0.

6.2 Items Related to the Issuance of 2024B General Obligation Abatement Bonds

- Public Hearing on Proposed Property Tax Abatements for the Purpose of Issuing Tax Abatement Bonds to Finance the Expansion of the Rogers Activity Center
- Resolution No. 2026-47, A Resolution Approving Tax Abatements
- Resolution No. 2026-45, A Resolution Providing for the Competitive Negotiated Sale of \$9,985,000 General Obligation Tax Abatement Bonds, Series 2026A

Jason Aarsvold of Ehlers shared a presentation covering the General Financing Plan for the Rogers Activity Center, as well as Tax Abatement requirements. This process requires a Public Hearing to be held and passage of a Resolution. He reviewed the Tax Abatement Bond details, including revenue details for naming rights, operating income, Rogers Youth Hockey Association and Booster Club contributions.

Councilor Jullie moved, Councilor Brockman seconded a motion to open the Public Hearing at 8:02 p.m. Motion carried 4-0.

No one came forward.

Councilor Jullie moved, Councilor Brockman seconded a motion to close the Public Hearing at 8:03 p.m. Motion carried 4-0.

Councilor Jullie moved, Councilor Enga seconded a motion to approve Resolution 2026-47, A Resolution Approving Tax Abatements. Motion carried 4-0.

Councilor Enga moved, Councilor Brockman seconded a motion to approve Resolution 2026-

45. A Resolution Providing for Competitive Negotiated Sale of \$9,985.000 General Obligation Tax Abatement Bonds, Series 2026A. Motion carried 4-0.

7. GENERAL BUSINESS

7.1 Approve Items Related to Park Maintenance

- Recognize Park Maintenance Supervisor Scott Weltzin
- Approve Promotion of Tim Daluge to Park Maintenance Supervisor
- Approve Promotion of Zach Moen to Park Maintenance Crew Leader
- Authorize the Backfill of Park Maintenance Medium Equipment Operator (MEO)
- Approve Reorganization to Create Facilities Supervisor Position
- Approve Facilities Maintenance Supervisor Position Description
- Approve Promotion of Jason Doboszanski to Facilities Supervisor

Cote recognized Park Maintenance Supervisor Scott Weltzin for his service with the City of Rogers, noting that for over 20 years, he has played a key role in overseeing park operations. His notable accomplishments include oversight of park maintenance and capital improvement projects, leadership and mentorship of staff, collaboration with community groups and stakeholders, development of the park and trail system (including two regional parks), and a full-size indoor turf facility.

Council expressed gratitude for Mr. Weltzin's service and wished him well in retirement. He thanked Council for their support in building the Parks department to the level it is today.

Cote reviewed the following proposed staffing changes with Mr. Weltzin's retirement:

- Promotion of Tim Daluge to Park Maintenance Supervisor
- Promotion of Zach Moen to Park Maintenance Crew Leader
- Authorize the backfill of Park Maintenance Medium Equipment Operator (MEO)
- Approve reorganization to create Facilities Supervisor Position
- Approve Facilities Maintenance Supervisor position description
- Approve Promotion of Jason Doboszanski to Facilities Supervisor

Mayor Klick moved, Councilor Enga seconded a motion to approve the following items:

- Recognize Park Maintenance Supervisor Scott Weltzin
- Approve Promotion of Tim Daluge to Park Maintenance Supervisor
- Approve Promotion of Zach Moen to Park Maintenance Crew Leader
- Authorize the Backfill of Park Maintenance Medium Equipment Operator (MEO)
- Approve Reorganization to Create Facilities Supervisor Position
- Approve Facilities Maintenance Supervisor Position Description
- Approve Promotion of Jason Doboszanski to Facilities Supervisor

Motion carried 4-0.

7.2 Items Related to City Hall and Police Department Civic Campus, City Project No. 2202

- Approve Bid Package #1 and Bidder Qualification Selection Criteria and Authorize Solicitation of Bids
- Approve Contract Modification Number 01 with Leo A Daly

Public Works Director/City Engineer Cote presented the background of City Project No. 2202; the proposed City Hall and Police Department campus. He shared that in the planning process, the City's Construction Manager at Risk (Terra Construction) advised staff and the City's architectural consultant about extended lead times with orders for precast concrete. To address this issue, Terra Construction has proposed an early bid package to include demolition, precast panels, earthwork and underground utilities (Bid Package No. 1). Bid Package No. 2 would cover the remainder of the project.

Cote shared details of the proposed bidding schedule, and bidder qualification and selection criteria. He presented a proposed fee reconciliation for the City's architectural Firm, Leo A. Daly, with a total increase in fees of \$335,304.90. He shared schematics of the facility, noting only minor changes to the floor plan. Todd LaVold of Leo A. Daly was present at the meeting and expressed enthusiasm for the project.

Councilor Jullie moved, Councilor Brockman seconded a motion to approve Bid Package No. 1 and Bidder Qualification Selection Criteria and authorize solicitation of bids. Motion carried 4-0.

Councilor Jullie moved, Councilor Enga seconded a motion to approve Contract Modification Number 01 with Leo A. Daly. Motion carried 4-0.

7.3 Approve Professional Services Agreement (PSA) with SRF Consulting Group for Main Street (CSAH 150) and Territorial Road (CSAH 159) Roundabout Design, City Project No. 1811

Public Works Director/City Engineer Cote recalled that in May 2025, staff applied for a \$500,000 Hennepin County grant to construct a roundabout at the intersection of Main Street and Territorial Road. The application was successful, and the City was awarded the full \$500,000.

Cote shared that a Request for Proposals (RFP) was subsequently issued for qualified engineering and planning firms to provide professional engineering services for the design of the roundabout. The RFP was issued to three firms; SRF Consulting, Kimley-Horn and Associates, and Bolton and Menk. The proposals were ranked with input from a Hennepin County representative, and the consensus was that SRF delivered the most comprehensive proposal.

Councilor Brockman asked if the turnback of Main Street to the City needs to happen before the roundabout construction can start. Cote stated that it's possible either way.

Councilor Brockman moved, Councilor Enga seconded a motion to approve a Professional

Services Agreement with SRF Consulting Group for Main Street and Territorial Road roundabout design. Motion carried 4-0.

7.4 Approval of 2025 Year-End Closing Activity

Finance Director Bruska shared details of the year-end activity in accordance with accounting standards. The auditors will present the actual final results of the audit at the first Council meeting in June.

Bruska explained that the year-end General Fund balance is looking to increase by approximately \$600,000, which can be attributed to several factors including a strong interest rate environment with positive market value adjustments. Investments must be recorded at fair market value, as required by accounting standards.

Bruska noted that in 2025, building permits and development exceeded expectations, and Police State Aid revenues exceeded the budgeted historical estimates. Additionally, there were salary and benefits savings as two budgeted Fire Department positions were filled later in the year.

Bruska reviewed the fund balance policy, recommended transfers and budget adjustments. At this time, she is requesting approval for a year-end transfer and budget adjustments for two items approved in 2025. These transfers will not impact the levy.

Councilor Enga moved, Mayor Klick seconded a motion to authorize the 2025 transfers and budget carriers as identified in the memo as of 12/31/2025. Motion carried 4-0.

8. OTHER BUSINESS

None.

9. CORRESPONDENCE AND REPORTS

9.1 Report of City Administrator Annual Review

10. ADJOURN

Mayor Klick adjourned the meeting at 8:30 p.m.

Respectfully submitted,

Stacie Brown
City Clerk



STAFF REPORT
ROGERS CITY COUNCIL

Meeting Date: May 12, 2026

Agenda Item: 5.2

Subject: Approval of Bills and Claims
Prepared By: Bridget Bruska, Finance Director

Recommended Council Action

Motion to approve bills and claims as presented.

Overview / Background / Analysis

According to the City's purchasing policy, all purchases made by City staff must be reviewed and approved by the City Council during each Council meeting via the consent agenda.

Attached is a summary of payments issued by the City since the cutoff date of the previous Council meeting. Detailed supporting documentation is provided to Council as nonpublic background material to reduce fraud risk and is available for public inspection upon request, as permitted by law.

Staff Recommendation

Motion to approve bills and claims as presented.

Financial Impact: N/A

Source Fund: N/A

Budgeted? N/A

Supporting Documentation

- A. AP Cover Sheet
- B. 05-01-2026 Checks #97497-97548 & ACH Payments \$491,277.48
- C. March Purchasing Cards

CITY OF ROGERS
05.12.2026 CITY COUNCIL MEETING
OPERATING ACCOUNTS - ADDITIONAL CLAIMS PAID/TO BE PAID

City Payroll Checks, Taxes & Misc Fees Paid	
4/30/2026 ADP Child Support/Garnishment	279.77
4/30/2026 ADP Direct Deposits	335,870.03
4/30/2026 ADP Payroll Taxes	127,858.86
4/24/2026 Associated Bank FSA/DCAP	290.00
5/5/2026 Associated Bank FSA/DCAP	50.00
4/27/2026 Group Health EAP Charges	200.20
5/4/2026 ICMA Deferred Compensation	3,125.00
4/30/2026 Associated Bank Health Plan Fund	7,147.94
5/4/2026 Associated Bank Health Plan Fund	3,400.00
5/4/2026 PERA	84,139.13
5/4/2026 State of MN HCSP	4,597.41
5/4/2026 State of MN - Deferred Comp	14,310.00
4/22/2026 The Hartford - April	2,429.66
Payroll & Misc Fee Expenditures	<u>583,698.00</u>
City Checks & ACH Paid	
5/1/2026 City Checks & ACH Paid (97497-97548)	491,277.48
City Check & ACH Expenditures	<u>491,277.48</u>
City Misc ACH/Wires Paid	
5/4/2026 Credit Card Fees City	9,508.19
5/4/2026 Civic Pay Fees Utility Billing	5,243.93
3/18/2026 US Bank Credit Cards - March	35,441.44
5/4/2026 Finnly Sports Payments Credit Card Fees RAC	2,909.81
5/5/2026 Payment Services Network Processing Fees	335.35
City ACH/Wire Expenditures	<u>53,438.72</u>
City Total To Be Approved	<u><u>1,128,414.20</u></u>
Liquor Misc ACH/Wires Paid	
5/4/2026 Credit Card Processing Fees - RWAS	5,642.17
5/4/2026 Credit Card Processing Fees - RWAS	463.06
5/4/2026 Credit Card Interchange Fees- RWAS	125.34
5/4/2026 Credit Card Adjustment Charges- RWAS	1,250.00
Liquor ACH/Wire Expenditures	<u>7,480.57</u>
Liquor Total to Be Approved	<u><u>7,480.57</u></u>



STAFF REPORT
ROGERS CITY COUNCIL

Meeting Date: May 12, 2026

Agenda Item: 5.3

Subject: Approval of Special Event Permit Application for Hisco, Inc. for September 17, 2026

Prepared By: Stacie Brown, City Clerk

Recommended Council Action

Motion to approve a Special Event Permit application for Hisco, Inc. on September 17, 2026, conditioned upon department approvals.

Overview / Background / Analysis

Hisco, Inc. has submitted a Special Event Permit Application with required fees for an Open House event to be held on September 17, 2025 at 13000 Wilfred Lane in Rogers.

The application has been routed to the appropriate departments for review, and a permit will not be issued until all departments have granted approval.

Staff Recommendation

Motion to approve a Special Event Permit application for Hisco, Inc. on September 17, 2026, conditioned upon department approvals.

Financial Impact:

Source Fund:

Budgeted? N/A

Supporting Documentation

None



STAFF REPORT
ROGERS CITY COUNCIL

Meeting Date: May 12, 2026

Agenda Item: 5.4

Subject: Approval of Ice Resurfacer Purchase for Rink 2
Prepared By: Mike Bauer, Parks & Recreation Director

Recommended Council Action

Motion to authorize staff to purchase the Zamboni Model 552AC ice resurfacer for Rink 2 using Sourcewell pricing in the amount of \$157,431.66, and to approve the required \$25,000 deposit at the time of order.

Overview / Background / Analysis

The City of Rogers is preparing for the opening of Rink 2, anticipated in Fall 2027. To maintain the construction timeline and ensure the facility is operational as planned, staff must proceed with ordering the ice resurfacer, given the manufacturer's approximately 400-day lead time (Zamboni Company USA, Inc.).

Staff has reviewed the proposal for the Zamboni Model 552AC equipped with a traditional lead acid battery package, consistent with the City's current operational preferences. This recommendation follows operational challenges with the City's previous lithium-ion battery system, which was replaced earlier this year. Zamboni has honored Sourcewell cooperative purchasing pricing equivalent to the City's last unit purchase, providing cost stability for this acquisition.

The Zamboni 552AC includes:

- 510 AH lead-acid battery with charger
- Aluminum wheels
- Guide wheel
- Parking brake
- Poly side plate
- Spare tire and wheel assembly
- (2) 77" blades
- Wash water system with a poly tank
- Board brush
- Single-point battery water system
- Tire wash system
- Stainless steel water distribution pipe
- Galvanized conditioner and other standard items

Total Cost: \$157,431.66

Terms: \$25,000 deposit at order; balance net 30 days from shipment. The purchase will be funded through the approved capital budget for Rink 2 equipment.

Staff Recommendation

Staff recommends the City Council authorize staff to order the Zamboni Model 552AC ice resurfacers using Sourcewell pricing in the amount of \$157,431.66, to ensure timely delivery for the opening of Rink 2.

Financial Impact: \$157,431.66

Source Fund: Project Funds

Budgeted? Yes

Supporting Documentation

A. 552AC 03.23.26 Proposal

March 23, 2026

Mike Bauer
City of Rogers
Rogers Activity Center
21080-141st Ave N
Rogers MN 55374



PROPOSAL

“The principal product you have to sell is the ice itself.”

– Frank J. Zamboni

Maintaining an ice surface presents a multitude of challenges. Having efficient and reliable resurfacing equipment should not be one of them. Driven by our founder’s commitment to innovation, we put our product to the test in the harsh environment it will call home. Every feature is deliberately designed to make resurfacing easier and to ensure that the end result is an exceptional sheet of ice. Built by hand. One at a time. The result is an ice resurfacing machine legendary for its quality, durability and superior performance.

MODEL 552AC:

Clean ice. Clean air. Clear choice. Building upon the solid reputation of its predecessor, the Model 552AC features worry-free AC motors and controls, introducing new efficiencies and virtually eliminating associated maintenance. The battery package is easy to access and maintain. Proven and dependable controls built for tough industrial applications. Microprocessor controlled smart chargers deliver long battery life. The Model 552AC provides a low maintenance option for your high maintenance surface.

MODEL 552AC LITHIUM-ION (OPTIONAL):

Zero battery maintenance and lithium-ion power combine for the ultimate upgrade to the world’s most popular electric ice resurfacer. Lithium-ion batteries charge quickly between resurfacings, eliminating overnight charging. Sealed zero maintenance batteries are truly emission-free. Charging is controlled by battery management system to optimize charging and balancing. Strong conveyor performance at any speed. Our unrivaled down pressure system ensures that all you leave behind is perfect.

INNOVATION:

Our commitment to constant innovation is an investment in the end product. We apply decades of experience working with facility owners and operators into every decision we make. Automated processes provide a consistent end result and reduce the chance for operator error. Opportunities to retrieve and display data from the machine provide a new tool in rink management. The incremental and continued introduction of new and better technologies to our ice resurfacing machines facilitates savings of time and valuable resources.

ZAMBONI®

QUALITY:

Zamboni sets the standard of quality to which the industry is held. The Zamboni Company holds itself to an even higher standard with ongoing assessment and meticulous quality control, resulting in products which consistently produce the finest sheet of ice even after many years of use. Our rugged four-wheel drive chassis is hand-built using strong all-welded steel tubing. Premium materials and components are used throughout. We continually collaborate with our customers to ensure the products that will ultimately end up in their facility exceed the high expectations of quality associated with our brand.

VALUE:

Zamboni has a well-deserved reputation as the Industry Leader. One which we don't take for granted. Our products have the lowest cost of operation and maintain the highest residual value. A network of Zamboni Authorized Distributors and our own Customer Service teams provide local service and support for our products. In the world of ice, time is money and unreliable equipment can be a show-stopper. Yet another reason that worldwide, more facility operators choose Zamboni for their ice resurfacing needs. Nothing else is even close.

MACHINE SPECIFICATIONS:

Machine specifications are also available online. Please copy the web links below into your browser.
https://zamboni.com/wp-content/uploads/specs/552AC_specs.pdf
https://zamboni.com/wp-content/uploads/specs/552AC_Lithium-ion_specs.pdf

MANUFACTURER'S STATEMENT:

This machine is proudly designed and manufactured in Paramount, California by Zamboni Company USA, Inc., a United States company.

WARRANTY:

Twenty-Four (24) months or 2,000 hours, whichever comes first, parts replacement only.

SAFETY STANDARDS:

This machine is engineered to meet or exceed OSHA and ANSI safety labeling requirements. In addition to digital safety information, operating instructions and service manuals being provided with the delivery of the machine, all owners/operators have access to all of these materials online at www.zamboni.com to view and download at any time.

FOR ADDITIONAL INFORMATION:

zamboni.com/machines/model-552ac

zamboni.com/machines/model-552ac-lithium-ion

zamboni.com/options

Zamboni 552AC	\$ 153,124.00
510 AH Lead Acid Battery with Charger, Aluminum Wheels, Guide Wheel, Black Powder Coated Conditioner, Parking Brake, Conditioner Poly Side Plate, Spare Tire & Wheel Assembly, (2) 77" Blades, Wash Water System w/ Poly Tank, Board Brush	
ADDITIONAL EQUIPMENT:	
Single Point Water System for LA Battery	\$ 1,863.00
Wash water system with poly tank	\$ Standard
Board Brush Assembly	\$ Standard
Standard Water Level Sight Gauge	\$ 326.03
Tire Wash System	\$ 1,640.48
Stainless Steel Water Distribution Pipe	\$ 470.93
Galvanized Conditioner	\$ 1,268.00
Subtotal	\$158,692.43
Sourcewell Discount	-\$4,760.77
Transportation (estimate will be adjusted at time of shipment)	\$3,500.00
TOTAL	\$157,431.66

F.O.B:

Paramount, California USA

TERMS:

\$25,000.00 deposit with order, balance Net 30 days from date of shipment.
Shipment 400 days or sooner from receipt of order. Pricing firm for 30 days.

PRICING DOES NOT INCLUDE ANY APPLICABLE SALES TAX

THANK YOU:

Brandon Radeke

March 23, 2026

Brandon Radeke,
Regional Sales Manager

Date

Zamboni Company USA, Inc.

15714 Colorado Ave. Paramount, California 90723 USA
Phone: +1 562 633 0751 Fax: +1 562 633 9365



STAFF REPORT

Meeting Date: May 12, 2026

ROGERS CITY COUNCIL

Agenda Item: 5.5

Subject: Approve Second Amendment to May 26, 2020 Trailway Cooperative Agreement with Three Rivers Park District for the grade-separated crossing of CR 144/141st Avenue, City Project No. 2107

Prepared By: Doran Cote, Public Works Director/City Engineer

Recommended Council Action

Motion to Approve Second Amendment to May 26, 2020 Trailway Cooperative Agreement with Three Rivers Park District for the grade-separated crossing of CR 144/141st Avenue, City Project No. 2107

Overview / Background / Analysis

The CSAH 144 pedestrian tunnel between Rogers High School and Middle School had been identified as a priority on the City's Trail Capital Improvement Program and is a project listed on the Local Option Sales Tax Referendum. The pedestrian tunnel would provide a safer connection between the High School and Middle School eliminating the need for pedestrians to have to cross CSAH 144. The pedestrian tunnel had also been identified as a component of the Crow River Regional Trail and Three Rivers Park District has also pledged funding for the construction of the tunnel. Hennepin County has also agreed to fund a portion of the project costs.

The latest construction cost estimate from SEH for the pedestrian crossing is \$2,064,000. The total estimated cost including contingencies, engineering, surveying and administration is \$2,758,000. The total funding identified for the project to date is \$750,000 from L.O.S.T., \$162,000 from Three Rivers Park District and \$175,000 from Hennepin County for a total of \$1,087,000. ISD 728 has not committed any funding for this project, and they have declined staff's request to apply for Safe Routes to School grant funding. At the May 30, 2023 City Council Goalsetting this project was rated as the lowest priority L.O.S.T. project.

The City and Park District entered into the First Amendment to revise the Park District's financial contribution for the grade-separated crossing of CR 144/141st Avenue connecting the Rogers Middle and High Schools from \$75,000 to 10% of the total project cost up to \$160,000. The City has since elected to not complete the project due to project costs and available funding. The Second Amendment terminates the First Amendment and further amends the Agreement to eliminate any City obligation to design, construct and fund the County Road 144/141st Avenue N grade-separated crossing.

Staff Recommendation

Motion to Approve Second Amendment to May 26, 2020 Trailway Cooperative Agreement with Three Rivers Park District for the grade-separated crossing of CR 144/141st Avenue, City Project No. 2107

Financial Impact: \$2,758,000

Source Fund: LOST

Budgeted? No

Supporting Documentation

A. 2ndAmendment_CRRT_Rogers

**CITY OF ROGERS
AND
THREE RIVERS PARK DISTRICT**

**SECOND AMENDMENT TO MAY 26, 2020
TRAILWAY COOPERATIVE AGREEMENT**

This Second Amendment ("Second Amendment") to the Trailway Cooperative Agreement made and entered into on May 26, 2020 (the "Agreement") and then amended on August 23, 2022 (the "First Amendment"), by and between Three Rivers Park District, a public corporation and a political subdivision of the State of Minnesota ("Park District"), and the City of Rogers, a Minnesota municipal corporation ("City"), is hereby made and entered into this _____ day of _____ 2026, by and between the Park District and City.

WHEREAS, Park District is a political subdivision of the State of Minnesota authorized by statute to acquire, establish, operate and maintain park and trail systems; and

WHEREAS, Park District promulgates master plans for the development of park facilities and regional trail systems and submits master plans to the host community(ies) and Metropolitan Council for approval; and

WHEREAS, Park District prepared a specific master plan for the Crow River Regional Trail ("Trail") in cooperation with the City which was subsequently supported by the City with a resolution of support on May 24, 2016, and adopted by the Park District Board of Commissioners on April 20, 2017; and

WHEREAS, City and Park District entered into the Agreement for the Trail establishing the planning, design, construction, operation, maintenance, and funding responsibilities of the Trail on May 26, 2020; and

WHEREAS, City and Park District entered into the First Amendment to revise the Park District's financial contribution for the grade-separated crossing of CR 144/141st Avenue (the "Project") connecting the Rogers Middle and High Schools from \$75,000 to 10% of the total project cost up to \$160,000; and

WHEREAS, City has since elected to not complete the Project due to project costs and available funding and desires to terminate the First Amendment and further amend the Agreement to eliminate any City obligation to design, construct and fund the County Road 144/141st Avenue N grade-separated crossing; and

WHEREAS, all other Agreement terms and conditions remain unchanged.

NOW THEREFORE, in consideration of the mutual covenants herein, and other good and valuable consideration, the sufficiency of which is hereby acknowledged, Park District and City agree as follows:

Except as herein provided, the terms, conditions, and provisions of the Agreement shall apply to and govern the provisions of this Second Amendment.

1. Termination of the Second Amendment.

The Second Amendment is hereby terminated in its entirety.

2. Design and Construction.

Paragraph C(iii).(b.)(3) of the Agreement is hereby deleted in its entirety, and City shall have no obligation to design, construct or fund a grade-separated crossing at County Road 44/141st Avenue N. unless otherwise agreed to at a future date and via an amendment to the Agreement.

IN WITNESS WHEREOF, the parties have entered into this Second Amendment on the day and year first written above.

City of Rogers,
a Minnesota municipal corporation

Its Mayor

Date _____

Its City Clerk

Date _____

THREE RIVERS PARK DISTRICT,
a public corporation and political subdivision
of the State of Minnesota

John Gibbs, Board Chair

Date _____

Boe R. Carlson, Superintendent
and Secretary to the Board

Date _____



STAFF REPORT

ROGERS CITY COUNCIL

Meeting Date: May 12, 2026

Agenda Item: 5.6

Subject: Approve Fleet and Equipment Proposed Changes

Prepared By: Doran Cote, Public Works Director/City Engineer

Recommended Council Action

Motion to Approve Fleet and Equipment Proposed Changes

Overview / Background / Analysis

The 2026 Capital Equipment Plan includes funding in the amount of \$185,000 for replacement of a 1999 Case 621C front end loader. After evaluating the current condition and operational needs of this unit, staff are recommending that the replacement be deferred and that the existing loader be retained for continued use in a reduced capacity.

The 1999 Case 621C loader remains in good working condition and recently received \$20,000 worth of new tires, which represent a significant investment. Staff believes this unit can continue to serve the city effectively for an additional 10 years as a secondary “yard” loader for loading materials such as salt during winter months and supporting other operations within the Public Works facility. Based on this assessment, replacing the loader at this time is not the most efficient use of capital funds.

Staff are requesting authorization to reallocate the budgeted funds toward the purchase of street maintenance equipment that will provide immediate operational value and reduce reliance on contracted services. Specifically, staff proposes the purchase of a used 2018 Weiler P265 asphalt paver from C&S Blacktopping for \$45,000. This unit has approximately 4,000 hours of use, has been recently overhauled, and was maintained by a local contractor. The paver is well suited for municipal applications including trail work, patching, and small paving projects, and would allow the city to complete more work in-house.

In addition, staff are proposing the purchase of a new crack sealing machine in the amount of \$76,705.90 and a new air compressor for crack preparation in the amount of \$60,000, both of which would be acquired off the State Contract. The city previously owned a crack sealing unit which was sold a couple of years ago when the city elected to participate in the Joint Powers Agreement (JPA) for crack sealing services. At that time, staff made the decision to utilize the JPA rather than purchase a replacement unit, as it provided an efficient shared service model. The JPA was dissolved last year when Coon Rapids elected to no longer manage the program, leaving the city without access to that service. Replacement of this equipment will restore the city’s ability to perform crack sealing operations internally. Crack sealing is a critical preventative maintenance

activity that extends pavement life and reduces long-term reconstruction costs.

The total proposed reallocation for the paver, crack sealing equipment, and air compressor is \$181,705.90, which is within the approved budget amount for the loader replacement. This approach maximizes the value of the allocated funds by addressing immediate operational needs while extending the service life of existing equipment.

Approval of this request will allow the Public Works Department to improve efficiency, increase flexibility in scheduling work, and reduce contractor costs associated with routine pavement maintenance and small paving projects.

Staff Recommendation

Motion to Approve Fleet and Equipment Proposed Changes

Financial Impact: \$181,705.90

Source Fund: Fund 400

Budgeted? Yes

Supporting Documentation

None



STAFF REPORT

Meeting Date: May 12, 2026

ROGERS CITY COUNCIL

Agenda Item: 5.7

Subject: Approve Payment to Xcel Energy to Relocate Overhead Power for City Hall and Police Department Civic Campus, City Project No. 2202

Prepared By:

Recommended Council Action

Motion to Approve Payment to Xcel Energy to Relocate Overhead Power for City Hall and Police Department Civic Campus, City Project No. 2202

Overview / Background / Analysis

The proposed site plan includes the construction of a civic campus building of approximately 60,000 square feet. The civic campus would be comprised of City Hall, Council Chambers, and the Police Department. The City Hall and Council Chambers would sit on the east side of the property and the Police Department, and the secured and enclosed parking areas would sit on the west side of the site. The City Hall side of the building would be 1-story while the Police Department offices would be 2-stories in height. The main entrance and primary parking for visitors would front John Deere Lane. Adjacent to the Council Chambers along Main Street includes a plaza space that would be connected via sidewalk to the broader downtown area. The attached narrative and plans more fully describe the proposed improvements.

On January 13, 2026 the City Council approved Approve AIA Document A133-2019, Standard Form of Agreement between the City of Rogers and Terra Construction for Construction Manager at Risk (CM@R) for the Police Department/City Hall Civic Campus, City Project No. 2202. On February 10, 2026, the City Council approved the preliminary plat and site plan for the Civic Campus. On April 28, 2026, the City Council approved Bid Package #1 and Bidder Qualification Selection Criteria and authorized solicitation of bids for Bid Package #1.

In order to facilitate the construction of the Civic Campus, existing overhead power along the south side of Industrial Boulevard right-of-way must be relocated or buried.

Undergrounding the power was considered, but the boulevard area below the power lines currently has watermain, natural gas, two fiberoptic lines and cable buried. Xcel Energy would also require space for a 125 cubic foot vault for equipment. The cost to bury the power was estimated to be at least \$300,000.

Instead, Xcel Energy proposes to relocate the overhead lines from the south side of Industrial Boulevard into existing utility easements on the north side of Industrial Boulevard then underground from the gas station to the east side of County Road 81. Since the relocation is for convenience, the city has to pay Xcel Energy to relocate the

power lines. The total estimated cost is \$130,386.16 but to initiate the project, Xcel Energy only requires 50% down payment or \$65,193.08.

Staff Recommendation

Motion to Approve Payment to Xcel Energy to Relocate Overhead Power for City Hall and Police Department Civic Campus, City Project No. 2202

Financial Impact: \$130,386.16

Source Fund: Bonds, 400

Budgeted?

Supporting Documentation

- A. Xcel Energy Customer Packet
- B. Xcel Energy Proposed Design



STAFF REPORT

Meeting Date: May 12, 2026

ROGERS CITY COUNCIL

Agenda Item: 5.9

Subject: Approval of the First Amendment to the Purchase Agreement with Cloutier Properties for the Sale of City-Owned Property Setting a Closing Date

Prepared By: Brett Angell, Community Development Director

Recommended Council Action

Motion to approve the First Amendment to the Purchase Agreement setting a closing date with Cloutier Properties for the sale of city-owned property.

Overview / Background / Analysis

On January 28, 2025, the City of Rogers entered into a purchase agreement with Cloutier Properties for the sale of 1.31 acres of city-owned land at Rogers Drive and 136th Ave. The proposed sale related to the future development of the property into a multi-tenant commercial building of approximately 10,000 square feet. Since that time, the Buyer has completed the necessary due diligence for the site conditions.

More recently, the Buyer has submitted land use applications for site plan and variance approval related to the proposed development. The proposed development includes an approximately 9,100 square foot building that would be filled with 3–4 tenants, dependent on finalization of leases. The proposed tenant mixture is anticipated to include two quick-service restaurants and a retail/fitness use. The site plan and variance request are on this agenda (May 12th) for council consideration and approval.

The proposed first amendment to the purchase agreement would amend the section related to closing date. The proposed changed language would set a closing date to occur on or before July 1st, 2026. No other sections, including sale price, would be changed with the proposed amendment. This amendment is a minor administrative item that is needed in advance of closing which will be occurring in the near future and construction commencing summer 2026.

Staff Recommendation

Staff recommend the approval of the First Amendment to the Purchase Agreement with Cloutier Properties corresponding to setting a must-close by date.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

A. First Amendment to Purchase Agreement with Cloutier Properties

FIRST AMENDMENT TO PURCHASE AGREEMENT

THIS SECOND AMENDMENT is made and entered into this 12th day of May, 2026 (“Effective Date”), by and between the City of Rogers, a Minnesota municipal corporation (the “Seller”) and Cloutier Properties Corporation, a Minnesota corporation (the “Buyer”).

RECITALS

- 1) The Seller is the fee owner of approximately 1.31 acres of real property legally described at Lot 1, Block2 , Diamond Lake Village, Hennepin County, Minnesota and Outlot B, Walter Dehn Commerce Center 5th Addition, Hennepin County, Minnesota (collectively referred to as the “Property”).
- 2) The Seller has agreed to sell and the Buyer has agreed to purchase the Property, following the Buyer’s environmental investigation and testing of the Property, and subject to the additional terms and conditions of the purchase agreement duly executed between the parties on January 28, 2025 (the “Purchase Agreement”).
- 3) The parties agree to amend the closing date with the land use approval process currently underway and in advance of a closing.

NOW, THEREFORE, the parties hereto agree as follows:

- 1) The Closing Date (within Section 7 of the Purchase Agreement) shall be amended from requiring a closing within 14 days after the expiration of the Due Diligence Period to a closing being required to occur on or before July 1, 2026.
- 2) All other terms of the purchase agreement and any amendments remain binding.

[Signatures on following page.]

BUYER:

Cloutier Properties

By: _____
Chief Manager

SELLER:

City of Rogers

By: _____
Shannon Klick, Mayor

By: _____
Stacie Brown, City Clerk



STAFF REPORT

Meeting Date: May 12, 2026

ROGERS CITY COUNCIL

Agenda Item: 5.10

Subject: Approval of the Fifth Amendment to the Purchase Agreement with Jacob Ventures, LLC Granting Additional Time to Close

Prepared By: Brett Angell, Community Development Director

Recommended Council Action

Motion to approve the Fifth Amendment to the Purchase Agreement with Jacon Ventures, LLC granting additional time to close.

Overview / Background / Analysis

On July 9th, 2024, the City of Rogers entered into a purchase agreement with Jacob Ventures, LLC for the sale of Lot 3, Block 1, Uptown Rogers 3rd Addition for the future construction of a bar and restaurant (Ray Js American Grill). Since that time, the Buyer has completed the soil testing and has received site plan approval for the construction of an approximately 4,400 square foot building.

There have been four previous amendments granted to the purchase agreement. The amendments are detailed below:

- 1st Amendment — November 25, 2024 — adjustments to the purchase price due to soil correction costs;
- 2nd Amendment — March 25, 2025 — adding another 120 days of due diligence timing;
- 3rd Amendment — June 24, 2025 — adding another 190 days of due diligence timing; and
- 4th Amendment — December 9, 2025 — adding another 121 days of due diligence timing.

The proposed fifth amendment to the purchase agreement would add 100 days to the due diligence period, bringing a potential closing to August 20th. This proposed closing date aligns well with the anticipated financial structuring for the restaurant. There are no adjustments to the purchase agreement on any other items proposed besides timing.

The Buyer has done a great job of providing regular updates to city staff, and they have expressed a commitment to seeing this project move forward. Additionally, the Buyer is exploring potential enhancements to their development, which would lead to the development being more of a destination for the city.

Staff Recommendation

Staff recommend the approval of the Fifth Amendment to the Purchase Agreement with Jacob Ventures, LLC (DBA Ray Js) granting additional time to close.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

A. Fifth Amendment to Purchase Agreement

FIFTH AMENDMENT TO PURCHASE AGREEMENT

THIS FIFTH AMENDMENT is made and entered into this 12th day of May, 2026 (“Effective Date”), by and between the City of Rogers, a Minnesota municipal corporation (the “Seller”) and Jacob Ventures, LLC., a Minnesota limited liability company (the “Buyer”).

RECITALS

- 1) The Seller is the fee owner of approximately 2.72 acres of real property legally described at Lot 3, Block 1, Uptown Rogers 3rd Addition, Hennepin County, Minnesota (the “Property”).
- 2) The Seller has agreed to sell and the Buyer has agreed to purchase the Property, following the Buyer’s environmental investigation and testing of the Property, and subject to the additional terms and conditions of the purchase agreement duly executed between the parties on July 9, 2024 (the “Purchase Agreement”).
- 3) The Seller and Buyer agreed to a First Amendment to the Purchase Agreement on November 25, 2024 adjusting the purchase price due to soil correction costs.
- 4) The Seller and Buyer agreed to a Second Amendment to the Purchase Agreement on March 25, 2025 adding an additional 120 days of due diligence timing.
- 5) The Seller and Buyer agreed to a Third Amendment to the Purchase Agreement on June 24, 2025 adding an additional 190 days of due diligence timing.
- 6) The Seller and Buyer agreed to a Fourth Amendment to the Purchase Agreement on December 9, 2025, allowing for an additional 121 days of due diligence timing.
- 7) The parties agree to amend the Due Diligence timing of the agreement to allow the Buyer sufficient time to finalize construction contracts and financing for the development and to explore additional amenities to be added to the proposed restaurant.

NOW, THEREFORE, the parties hereto agree as follows:

- 1) The Due Diligence Period (Section 5 of the Purchase Agreement) shall be amended to allow for an additional one hundred (100) days of additional due diligence timing from the date of this amendment. The new expiration shall be August 20, 2026.
- 2) All other terms of the purchase agreement and any amendments remain binding.

[Signatures on following page.]

BUYER:

Jacob Ventures, LLC

By: _____
Mark Jacob, President

SELLER:

City of Rogers

By: _____
Shannon Klick, Mayor

By: _____
Stacie Brown, City Clerk



STAFF REPORT
ROGERS CITY COUNCIL

Meeting Date: May 12, 2026

Agenda Item: 5.11

Subject: Authorize Execution of Early Grading Agreement for Northview Preserve 2nd Addition.

Prepared By: Alec Henderson, City Planner

Recommended Council Action

Motion to authorize the execution of an early grading agreement for Northview Preserve 2nd Addition contingent upon the receipt of financial guarantee and required grading permits.

Overview / Background / Analysis

Summergate Development received preliminary plat approval for the subdivision of the 22885 Territorial Rd for a 10-lot single-family residential development (Northview Preserve 2nd Addition). The Council approved the preliminary plat by Resolution 2026-34 on April 14, 2026. The developer is requesting early grading authorization, which is permissible with an approved preliminary plat provided they execute an early grading agreement and provide a financial surety. Staff request City Council authorization for the city to enter into an early grading agreement for Northview Preserve 2nd Addition.

The Final Plat application has been submitted, and the Council will see final construction plans in the near future.

Staff Recommendation

Staff recommends authorization of the agreement and allowing early grading upon receipt of financial guarantee for the grading work.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

A. Early_Grading_Agreement_Northview_Preserve_2nd_Addition

**AGREEMENT ALLOWING
EARLY DEVELOPMENT GRADING**

This AGREEMENT ALLOWING EARLY DEVELOPMENT GRADING (“Agreement”) is made this ____ day of _____, 2026 by and between the City of Rogers, a municipal corporation under the laws of Minnesota (“City”), and Summergate Companies LLC, a Minnesota limited liability company (“Developer”).

RECITALS

- A. The Developer is proposing to construct a 10-lot single-family residential subdivision development, called Northview Preserve 2nd Addition, consisting of single-family homes (“Development”), located on one property (PIDs: 22-120-23-33-0004) (“Subject Property”) located at 22885 Territorial Road.
- B. The Preliminary Plat for the Development was approved by the City Council on April 14, 2026 per Resolution 2026-34 (“Preliminary Plat”).
- C. The Developer anticipates approval of the Final Plat for the Development and Developer shall enter one (1) or more agreements with the City governing the Development including, but not limited to, a Subdivision Agreement with each phase of the Development, which will set-forth certain requirements and obligations relating to the installation of certain public improvements, including, but not limited to, grading, streets and utilities, landscaping, trails and sidewalks.
- D. Prior to entering any agreements governing the Development, the Developer has requested authorization to commence early grading (“Grading Work”), which shall include the mass grading of the development area that were a part of the preliminary plat.

In consideration of the mutual covenants and promises contained herein, the parties hereto agree and stipulate as follows:

AGREEMENT

- 1. **Permit.** Contemporaneous with the execution of this Agreement, Developer shall submit a grading permit application to the Public Works Department for review and approval and pay the appropriate permit fees, and Developer shall provide a copy of its National Pollutant Discharge Elimination System (NPDES) permit and watershed district approval authorizing the proposed grading activities. All grading activities shall be subject to, and completed in conformance with, the grading permit, NPDES permit, and watershed district approval. Approval is contingent upon receipt of a WCA approved wetland replacement plan.
- 2. **Security.** The Developer shall deposit with the City security, in the form of a cash deposit or letter of credit, ensuring that the Developer completes grading, erosion control and other related early improvements according to the applicable permits and approved plans for the Development. The security amount shall be 125% of the Engineer’s Estimate (shown in Exhibit A) for the Grading Work as provided by the Developer and reviewed and approved by the City Engineer. If security is provided by Letter of Credit, said Letter shall conform to City policy and

shall be reviewed and approved by the Finance Director and City Attorney. The Letter of Credit Amount is shown in Exhibit B.

3. **Effect and Entire Agreement.** This Agreement contains the entire understanding of the parties regarding the Grading Work, but does not impact, amend or replace any Master Development Agreement, Subdivision Agreement, or any other agreement which may be entered with respect to the Development. Nothing herein constitutes an approval, or a promise or assurance of any other approval, related to the Development, including specific approval of any Final Plat thereof. No modifications to this Agreement shall be in effect unless reduced to writing and signed by the all of the parties.

4. **Miscellaneous.**

- a. The Developer shall pay all costs incurred by it, or the City, in conjunction with the grading of the Property, including but not limited to legal, planning, engineering, and inspection expenses incurred in connection with approval and acceptance of the work, review of plans and documents, and all costs and expenses incurred by the City in monitoring the grading of the Subject Property.
- b. The Developer will provide for construction inspection and material testing for the grading of the Property. The Developer shall instruct its engineer to provide full-time field inspection personnel in order for the Developer's engineer to be able to certify that the construction work meets the approved City standards as a condition of City acceptance. In addition, the City may, at the City's discretion and at the Developer's expense, have one or more City inspectors inspect the work on a full or part-time basis. The Developer, its contractors and subcontractors, shall follow all instructions received from the City's inspectors. The Developer and/or the Developer's engineer shall provide for on-site project management.
- c. The Developer shall hold harmless the City and its officials, employees, and agents from claims made by themselves and third parties for damages sustained or costs incurred resulting from this grading approval. The Developer shall indemnify the City and its officials, employees, and agents for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees.
- d. The Developer agrees to obtain and maintain until after completion of the work under this Agreement, public liability and property damage insurance coverage covering personal injury, including death, and claims for property damage which may arise out of the Developer's work or the work of its contractors or subcontractors. Liability limits shall not be less than \$1,500,000 for any number of claims arising out of a single occurrence. The City shall be named as an additional insured on the policy. The certificate of insurance shall provide that the City must be given the same advance written notice of the cancellation or nonrenewal of the insurance as is afforded to the Developer.
- e. The Developer shall reimburse the City for costs incurred in the enforcement of this Agreement, including reasonable engineering and attorneys' fees.

- f. The Developer shall pay in full all bills submitted by the City for obligations incurred under this Agreement within 30 days after receipt. Upon request, the City will provide copies of detailed invoices of the work performed.
- g. The Developer agrees to comply with all laws, ordinances, regulations, and directives of the State of Minnesota and the City applicable to the Subject Property. This Agreement shall be construed according to the laws of Minnesota.
- h. In the event that any provision of this Agreement shall be held invalid, illegal, or unenforceable by any court of competent jurisdiction, such holding shall pertain only to such section and shall not invalidate or render unenforceable any other provision of this Agreement.
- i. This Agreement may be executed simultaneously in any number of counterparts, each of which shall be an original and shall constitute one and the same Agreement

IN WITNESS OF THE ABOVE, the duly authorized representatives of the parties have caused this Agreement to be executed in duplicate on the date and year written above.

SUMMERGATE COMPANIES, LLC

CITY OF ROGERS

By _____
 Casey Wollschlager,
 Summergate Companies, LLC
 17505 Cedar Ave S, Lakeville, MN 55044
 Ste 200
 Its: Manager

By _____
 Shannon Klick

By _____
 Stacie Brown
 Its Clerk

THIS INSTRUMENT WAS DRAFTED BY:

City of Rogers
 22350 South Diamond Lake Road
 Rogers MN 55374
 (763) 428-2253

EXHIBIT A

GRADING ESTIMATE

Northview Preserve 2nd Addition REV 1
4/30/2026
Final Grading & Erosion Control Cost Opinion

Description	Unit	Est. Qty. Total	Unit Price	Total Price
GRADING				
Clearing and Grubbing (P)	A.C.	1	\$ 20,000.00	<u>\$ 20,000.00</u>
Common Excavation (EV) (P)	C.Y.	7,295	\$ 1.90	<u>\$ 13,860.50</u>
Subgrade Excavation (EV) (P)	C.Y.	4,095	\$ 1.90	<u>\$ 7,780.50</u>
Subgrade Correction (EV)	C.Y.	3,417	\$ 2.45	<u>\$ 8,371.65</u>
On-Site Borrow (EV)	C.Y.	1,792	\$ 2.44	<u>\$ 4,372.48</u>
Re-spread Topsoil (CV) (P)	C.Y.	1,176	\$ 1.75	<u>\$ 2,058.00</u>
Subtotal Grading				<u>\$ 56,443.13</u>
EROSION CONTROL				
Rock Construction Entrance	EACH	1	\$ 990.00	<u>\$ 990.00</u>
Silt Fence (all types)	L.F.	2,076	\$ 1.90	<u>\$ 3,944.40</u>
Seeding & Mulching MNDOT 25-141 (P)	ACRE	3	\$ 895.00	<u>\$ 2,685.00</u>
Erosion Control Blankets MnDOT 3885, Category 3, Type 2S (P)	S.Y.	2,005	\$ 1.70	<u>\$ 3,408.50</u>
Storm Inlet Protection in Turf Areas (silt fence, hay bales or InfraSafe® Sediment Control Barriers as per detail)	EACH	3	\$ 225.00	<u>\$ 675.00</u>
Storm Inlet Protection in Curbs/Pavement (Complete, per detail: WIMCO or approved equal)	EACH	6	\$ 225.00	<u>\$ 1,350.00</u>
Boulevard restoration (2 rolls of sod back of curb)	L.F.	860	\$ 0.75	<u>\$ 645.00</u>
Erosion Control Supervisor	L.S.	1	\$ 2,000.00	<u>\$ 2,000.00</u>
Subtotal Erosion Control				<u>\$ 15,697.90</u>
SUMMARY				
Subtotal Grading				<u>\$ 56,443.13</u>
Subtotal Erosion Control				<u>\$ 15,697.90</u>
TOTAL				<u>\$ 72,141.03</u>

Opinions of Probable Construction Cost

CONSULTANT's opinions of probable Construction Cost provided for herein are to be made on the basis of CONSULTANT's experience and qualifications and represent CONSULTANT's best judgement as an experienced and qualified professional generally familiar with the industry. However, since CONSULTANT has no control over the cost of labor, materials, equipment, or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, CONSULTANT cannot and does not guarantee that proposals, bids, or actual Construction Cost will not vary from opinions of probable Construction Cost prepared by CONSULTANT. If OWNER wishes greater assurance as to probable Construction Costs, OWNER shall employ an independent cost esti

EXHIBIT B
SECURITY AMOUNT

	ESTIMATE	SURETY
GRADING	\$56,443.00	125%
EROSION CONTROL	\$15,698.00	125%
TOTAL	\$72,141.00	\$90,176.00



STAFF REPORT
ROGERS CITY COUNCIL

Meeting Date: May 12, 2026

Agenda Item: 5.12

Subject: Authorize Execution of Early Grading Agreement for Cowley Lake Preserve
2nd Addition Area

Prepared By: Alec Henderson, City Planner

Recommended Council Action

Motion to Authorize Execution of the Early Grading Agreement for Cowley Lake
Preserve Phase 2

Overview / Background / Analysis

Rachel Development, inc. has requested early grading approval for phase 2 of the Cowley Lake Preserve Development. Phase 2 grading includes the area of the next 71 lots of the Cowley Lake Preserve development. Early grading can occur after preliminary plat approval with a signed agreement, letter of credit for 125% of the value of the work, and a grading permit. Staff recommends authorizing execution of the early grading agreement for Cowley Lake Preserve phase 2.

A Final Plat request for phase 2 and the Subdivision Agreement related to streets and utilities will be forthcoming.

Staff Recommendation

Motion to Authorize Execution of the Early Grading Agreement for Cowley Lake
Preserve Phase 2

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

A. Early_Grading_Agreement_Cowley_Lake_Preserve_2nd_Addition

**AGREEMENT ALLOWING
EARLY DEVELOPMENT GRADING**

This AGREEMENT ALLOWING EARLY DEVELOPMENT GRADING (“Agreement”) is made this ____ day of _____, 2026 by and between the City of Rogers, a municipal corporation under the laws of Minnesota (“City”), and Rachel Development, inc., a Minnesota Corporation (“Developer”).

RECITALS

- A. The Developer is proposing to construct a 71-lot single-family residential subdivision development, called Cowley Lake Preserve 2nd Addition, consisting of single-family homes (“Development”), the second phase of a multiple phase project totaling 156 lots, located on the properties identified as PIDs: 21-120-23-24-0005, 21-120-23-13-0004, and approximately 20 acres of 21-120-23-11-0003 (“Subject Property) north and east of Territorial Road and east of Willandale Road.
- B. The Preliminary Plat for the Development was approved by the City Council on July 8, 2025 per Resolution 2025-30A (“Preliminary Plat”).
- C. The Developer anticipates approval of the Final Plat for the Development and Developer shall enter into one (1) or more agreements with the City governing the Development including, but not limited to, a Subdivision Agreement with each phase of the Development, which will set-forth certain requirements and obligations relating to the installation of certain public improvements, including, but not limited to, grading, streets and utilities, landscaping, trails and sidewalks.
- D. Prior to entering any agreements governing the Development, the Developer has requested authorization to commence early grading (“Grading Work”), which shall include the mass grading of the development area that were a part of the preliminary plat.

In consideration of the mutual covenants and promises contained herein, the parties hereto agree and stipulate as follows:

AGREEMENT

- 1. **Permit.** Contemporaneous with the execution of this Agreement, Developer shall submit a grading permit application to the Public Works Department for review and approval and pay the appropriate permit fees, and Developer shall provide a copy of its National Pollutant Discharge Elimination System (NPDES) permit and watershed district approval authorizing the proposed grading activities. All grading activities shall be subject to, and completed in conformance with, the grading permit, NPDES permit, and watershed district approval. Approval is contingent upon receipt of a WCA approved wetland replacement plan.

2. **Security.** The Developer shall deposit with the City security, in the form of a cash deposit or letter of credit, ensuring that the Developer completes grading, erosion control and other related early improvements according to the applicable permits and approved plans for the Development. The security amount shall be 125% of the Engineer's Estimate (shown in Exhibit A) for the Grading Work as provided by the Developer and reviewed and approved by the City Engineer. If security is provided by Letter of Credit, said Letter shall conform to City policy and shall be reviewed and approved by the Finance Director and City Attorney. The Letter of Credit Amount is shown in Exhibit B.
3. **Effect and Entire Agreement.** This Agreement contains the entire understanding of the parties regarding the Grading Work, but does not impact, amend or replace any Master Development Agreement, Subdivision Agreement, or any other agreement which may be entered with respect to the Development. Nothing herein constitutes an approval, or a promise or assurance of any other approval, related to the Development, including specific approval of any Final Plat thereof. No modifications to this Agreement shall be in effect unless reduced to writing and signed by the all of the parties.
4. **Miscellaneous.**
 - a. The Developer shall pay all costs incurred by it, or the City, in conjunction with the grading of the Property, including but not limited to legal, planning, engineering, and inspection expenses incurred in connection with approval and acceptance of the work, review of plans and documents, and all costs and expenses incurred by the City in monitoring the grading of the Subject Property.
 - b. The Developer shall hold harmless the City and its officials, employees, and agents from claims made by themselves and third parties for damages sustained or costs incurred resulting from this grading approval. The Developer shall indemnify the City and its officials, employees, and agents for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees.
 - c. The Developer agrees to obtain and maintain until after completion of the work under this Agreement, public liability and property damage insurance coverage covering personal injury, including death, and claims for property damage which may arise out of the Developer's work or the work of its contractors or subcontractors. Liability limits shall not be less than \$1,500,000 for any number of claims arising out of a single occurrence. The City shall be named as an additional insured on the policy. The certificate of insurance shall provide that the City must be given the same advance written notice of the cancellation or nonrenewal of the insurance as is afforded to the Developer.
 - d. The Developer shall reimburse the City for costs incurred in the enforcement of this Agreement, including reasonable engineering and attorneys' fees.
 - e. The Developer shall pay in full all bills submitted by the City for obligations incurred under this Agreement within 30 days after receipt. Upon request, the City will provide copies of detailed invoices of the work performed.

- f. The Developer agrees to comply with all laws, ordinances, regulations, and directives of the State of Minnesota and the City applicable to the Subject Property. This Agreement shall be construed according to the laws of Minnesota.
- g. In the event that any provision of this Agreement shall be held invalid, illegal, or unenforceable by any court of competent jurisdiction, such holding shall pertain only to such section and shall not invalidate or render unenforceable any other provision of this Agreement.
- h. This Agreement may be executed simultaneously in any number of counterparts, each of which shall be an original and shall constitute one and the same Agreement

IN WITNESS OF THE ABOVE, the duly authorized representatives of the parties have caused this Agreement to be executed in duplicate on the date and year written above.

RACHEL DEVELOPMENT, INC.

CITY OF ROGERS

By _____
 David Stradtman,
 Rachel Development, inc.
 4180 Napier Ct NE, St. Michael, MN 55376

By _____
 Shannon Klick

Its: VP of Development

By _____
 Stacie Brown
 Its Clerk

THIS INSTRUMENT WAS DRAFTED BY:

City of Rogers
 22350 South Diamond Lake Road
 Rogers MN 55374
 (763) 428-2253

EXHIBIT A GRADING ESTIMATE

PRELIMINARY ENGINEER'S ESTIMATE - GRADING
 DATE: April 2, 2026
 PROJ: Cowley Lake Preserve 2nd Addition - Rogers, MN
 OWNER: Rachel Development

WK DESC: GRADING - GR

ITEM NO.	CONTRACT ITEM	UNIT	QTY	UNIT PRICE	AMOUNT
1	MOBILIZATION	LS	1	\$ 12,000.00	\$ 12,000.00
2	CLEARING AND GRUBBING	AC	1	\$ 8,000.00	\$ 8,000.00
3	COMMON EXCAVATION INCL. ORIGINAL TO FINISH GRADE, HOLD-DOWN (BUILDING PAD, STREET, BASINS, AND TOPSOIL)	CY	87,000	\$ 2.75	\$ 239,250.00
4	TOPSOIL RESPREAD (INCLUDES SHRINKAGE)	CY	17,000	\$ 2.50	\$ 42,500.00
5	ROCK CONSTRUCTION ENTRANCE - 3" MINUS	LS	1	\$ 1,200.00	\$ 1,200.00
6	SUBGRADE CORRECTION (CLEANOUTS IN FILL AREAS) - SUBGRADE CORR QUANTITY IS MEASURED FROM NATIVE GROUND	CY	15,000	\$ 3.00	\$ 45,000.00
7	STD DUTY SILT FENCE INCL MAINTENANCE - INCL DOUBLE-ROW AREAS	LF	11,270	\$ 1.80	\$ 20,286.00
8	STD DUTY POST-CONSTRUCTION SILT FENCE INCL MAINTENANCE	LF	3,280	\$ 1.80	\$ 5,904.00
9	SEED & MULCH - BWSR 32-231 - MESSIC TO DRY BUFFER, SOUTH	AC	6.70	\$ 1,200.00	\$ 8,040.00
10	SEED & MULCH - BWSR 33-231 - STORMWATER	AC	2.10	\$ 1,200.00	\$ 2,520.00
11	SEED & MULCH - MESSIC INSLOPE (GENERAL MIX)	AC	23.70	\$ 700.00	\$ 16,590.00
12	SEED & MULCH - MNDOT SEED MIX - WINTER WHEAT	AC	0.40	\$ 500.00	\$ 200.00
13	CONSTRUCT TEMP DITCHES AND CULVERTS FOR CROSSING AREAS	LS	1.00	\$ 14,000.00	\$ 14,000.00
TOTAL =					\$ 415,490.00



2999 County Road 42 West, Suite 100, Burnsville, MN 55306
 www.MNHILL.COM

EXHIBIT B
SECURITY AMOUNT

	ESTIMATE	SURETY
GRADING	\$301,750.00	125%
EROSION CONTROL	\$113,740.00	125%
TOTAL	\$415,490.00	\$519,362.50



STAFF REPORT

Meeting Date: May 12, 2026

ROGERS CITY COUNCIL

Agenda Item: 6.1

Subject: Public Hearing to identify Qualified 501(c)(3) Users of the Rogers Activity Center in the City of Rogers

Prepared By: Bridget Bruska, Finance Director

Recommended Council Action

Conduct Public Hearing to identify Qualified 501(c)(3) Users of the Rogers Activity Center in the City of Rogers - No Formal Motion Required

Overview / Background / Analysis

On February 4, 2026, the City Council accepted bids for the Rogers Activity Center (RAC) Expansion, City Project #2406. The project includes construction of a second sheet of ice between the existing Rogers Activity Center and the HealthPartners Fieldhouse, completing the TruStone Center. As previously discussed, the project will be financed through several funding sources, including the issuance of bonds.

Because certain nonprofit organizations are expected to enter into long-term use agreements for the expanded facility, a portion of the bonds are anticipated to qualify as 501 (c)(3) bonds under federal tax law. At a high level, 501(c)(3) bonds are tax-exempt bonds that may be issued for facilities used by qualified nonprofit organizations for charitable or public purposes.

Prior to issuing bonds with this designation, federal law requires the City to hold a public hearing. The hearing provides residents and interested parties an opportunity to comment on the proposed financing and the anticipated use of the facility by qualifying nonprofit organizations.

The Public Hearing needs to be conducted as a formality; there is no resolution or action to approve. The formal action will be taken within the bond sale resolution, which is scheduled for June 9, 2026.

Staff Recommendation

Conduct Public Hearing to identify Qualified 501(c)(3) Users of the Rogers Activity Center in the City of Rogers.

Financial Impact: N/A

Source Fund: N/A

Budgeted? N/A

Supporting Documentation

None



STAFF REPORT

Meeting Date: May 12, 2026

ROGERS CITY COUNCIL

Agenda Item: 7.1

Subject: Approval of Resolution 2026-49 Approving a Site Plan and Variance Request for a Retail Center at 21355 136th Ave (Lot Adjacent to Maynards) by Cloutier Properties

Prepared By: Brett Angell, Community Development Director

Overview / Background / Analysis

In 2025, the City of Rogers entered into a purchase agreement with Cloutier Properties ("Developer" or "Buyer") for the sale of city-owned property at 21355 136th Ave. The purchase agreement corresponded to the future development of the site into a new multi-tenant commercial building of approximately 10,000 square feet. The proposed development and site plan under consideration corresponds to this sale. The Developer has been pre-leasing to tenants and has had solid interest from prospective tenants. No leases have been signed to date, but there is an expectation the building will be fully leased around the time construction is completed of the building shell.

With the proposed development and property sale, the Developer and Theilen and Green Architecture (collectively referred to as the "Applicant") have submitted a site plan and variance request to the city for consideration. The proposed development includes the construction of a new multi-tenant commercial building of approximately 9,100 square feet that would be separated into four (4) tenant spaces. Of the four tenant spaces, it is anticipated that it will include two fast casual restaurants (one of which would have a drive-thru), a take-out space, and a retail/office tenant.

Property Details

The Subject Property is currently comprised of two parcels totaling approximately 1.31 acres and is located at the intersection of Rogers Drive and 136th Avenue, directly adjacent to Maynards restaurant. The property was originally acquired by the City of Rogers in 2006 for future city facility consideration. However, it was determined that the site would no longer be needed for future city functions. The site has not been developed in the past and has been maintained as an open grass area for the past several decades.

Directly to the east of the Subject Property includes excess right-of-way from a point in time at which the roads in the area were re-aligned. As a part of this development request, the excess right-of-way will be vacated and incorporated into the development parcel. The excess right-of-way provides additional opportunities for signage or other related development needs.

Zoning and Guidance

The Subject Property is zoned as RC - Regional Employment Center and guided as commercial within the 2040 Comprehensive Plan. The proposed use as a multi-tenant commercial building is consistent with the zoning and guidance for the property. The listed tenant uses are all consistent with the zoning and guidance as well. Adjacent uses to all sides include various commercial uses including: Maynards restaurant to the west, 21st Century Bank to the north, multi-tenant commercial (medical offices) to the east, and stormwater ponds and Dairy Queen to the south.

The proposed building meets all required building setback distances. The proposed development requires a setback to the required parking setbacks, as this property is within the corridor overlay district which has a 20 ft parking setback for front and side yards. Details related to the variance request can be found below. The proposed development meets all other zoning code requirements for landscaping, building height, and architectural materials.

Site Plan Details

The proposed development includes an approximately 9,100 square foot building sitting fairly centralized on the site. The front face of the building would face towards the east (towards Rogers Drive). Parking is situated around the edges of the site. The southern tenant space would be structured to allow for a drive-thru and stacking for the drive-thru would occur on the rear side of the building. The design for the drive-thru allows for the stacking of over 12 cars before impacting any drive lanes. The northern tenant space includes a small space for an outdoor patio space. The trash enclosure is located on the southwest corner of the property.

The north, east, and south drive aisles would allow for two-way traffic. The west (rear) drive lane would be a one-way, abutting the angled parking. The proposed drive lane widths meet the city standards for width.

Parking and Access

The proposed development includes two access points on the north and south sides of the property. The access points are pushed as far to the west as possible to ensure proper truck turning movements within the site. The proposed access points and truck turning movements exhibit have been reviewed by the Fire Department and they are comfortable with the proposed design.

The proposed development has a total of 93 parking stalls, five of which would be ADA-accessible and in the front of the building. Most of the stalls are located in the front and sides of the building for visitors/customers. Twenty of the stalls provided would be angled in the rear of the building, which are anticipated to be utilized primarily by the employees of the businesses. The proposed number of stalls is consistent with code requirements as the city code includes a provision corresponding to the total number of stalls being reduced for developments with cross parking agreements.

Stormwater Management

This area is served via regional stormwater ponding, which will be utilized for this development and has adequate capacity. The development will have to meet all rules and regulations as required by the Elm Creek Watershed Management Commission (ECWMC). The development exceeds the 1-acre threshold for disturbance and will have to receive ECWMC approval. A copy of the stormwater management plan is included with this item.

Architecture

The proposed architecture includes a mix of brick, glazing, stone veneer, EIFS, and precast and metal accents. The colors are primarily different tones of gray. The proposed materials are consistent on all sides of the building. At its top height, the building would be about 22 feet in height, below the maximum height restriction. The proposed materials are consistent with the corridor overlay district standards.

Landscaping

The applicant is proposing to plant 20 trees along with additional shrubs and grasses. The trees are primarily focused on the north and south sides of the property. The site is currently undeveloped and there are no trees that would be removed as part of this development, so all would be newly planted. The proposed landscaping meets the requirements of city code.

Variance Request

The applicant is requesting a variance from the 20-ft parking setback on the north, south, and east property lines. The proposed variance would allow for a 10-ft parking setback from the south and north property lines and a 0-ft setback, at the minimum point, from the west. The requested parking setback variances are related to the irregular shape of the lot, multiple street frontages, and the existing right-of-way around the building allowing for a greater perceived setback. If the variance is granted, the south parking lot setback from the curb would be at approximately 25 feet. The north would be 20 feet, and the west would be at about 22 feet, at its closest points. The proposed distances would be aligned with many nearby properties, many of which have parking setback under 10 feet from property lines.

Variance requests require the Planning Commission to make findings of fact that the proposed variance is consistent with the regulations and criteria as defined in City Code section 125-42. This includes that the variances are in harmony with the comprehensive plan, there are non-economic practical difficulties present, and the circumstances requiring the variance are unique to the property and not created by the owner. Variance requests are reviewed on their own merits. Each request should be considered if it meets the code provisions for granting variances. Key factors in approving variances can be simplified to: Does the proposal put the property to use in a reasonable manner? Are there unique circumstances to the property? If the variance is granted, would it alter the essential character of the locality?

Planning Commission Review

A public hearing was held and this item was reviewed at the May 4th Planning

Commission meeting. No individuals spoke at the public hearing. Planning Commission discussion focused primarily on clarifications of the variance request and information on pedestrian connectivity for the area. The Planning Commission unanimously recommended approval of the variance and site plan request.

Staff Recommendation

Staff recommends the approval of Resolution 2026-49 approving the site plan and variance request for a retail center at 21355 136th Ave by Cloutier Properties, subject to the terms and conditions as listed in the resolution.

Financial Impact: Not applicable.

Source Fund: Not applicable.

Budgeted? N/A

Supporting Documentation

- A. Resolution No. 2026-49 136th Ave Site Plan and Variance
- B. Narrative
- C. Variance Narrative
- D. Civil and Architectural Plans
- E. Stormwater Management Plan

RESOLUTION NO. 2026-49

APPROVING A SITE PLAN AND VARIANCES RELATED TO CLOUTIER PROPERTIES MULTI-TENANT RETAIL DEVELOPMENT LOCATED AT 21355 136th AVENUE

WHEREAS, Theilen and Green and Cloutier Properties (collectively referred to as “Applicant”) have submitted applications to the City of Rogers (“City”), requesting approval of a Site Plan and Variances for a development on the property located at 21355 136th Avenue. The proposed development includes an approximately 9,100 square feet multi-tenant commercial building as depicted in Exhibit B. The proposed variances are related to parking setbacks; and

WHEREAS, the property is 1.31 acres and zoned Regional Employment Center (RC), located at 21355 136th Avenue and legally described in Exhibit A (“Subject Property”) (PIDs: 14-120-23-42-0015 and 14-120-23-42-0021); and

WHEREAS, section 125-27 – Site Plan governs the procedures around site plan review processes, and subsection (b) states: “the Planning Commission shall evaluate the effects of the proposed site plans. This review shall be based upon, but not be limited to, compliance with the City’s Comprehensive Plan and provisions of this Ordinance”; and

WHEREAS, the proposed use at the Subject Property for a multi-tenant commercial building comprised of an quick service restaurants, take out, and retail use are permitted uses in the RC zoning district (§125-50 Table 4E); and

WHEREAS, the proposed development includes an approved parking plan of 93 total spaces allocated via City Code 125-86 Parking. All parking shall be utilized as open to customers of any on-site tenant; and

WHEREAS, pursuant to Minnesota Statute §462.357, the Planning Commission (“Commission”) held a Public Hearing (“Hearing”) on May 4th, 2026, to consider and receive public comment on the variance requests; and

WHEREAS, notice of the Hearing was posted, published in the City’s official newspaper, mailed to any and all owners of affected properties, as required by State Statute; and,

WHEREAS, on May 4th, 2026, the Commission reviewed the request and voted unanimously to recommend approval to the City Council of the Site Plan Review, with the following conditions:

- a. Applicant entering into all required agreements with the City prior to issuance of a building permit.
- b. All engineering and community development comments shall be satisfied prior to construction.
- c. Any necessary Elm Creek Watershed Permitting and Requirements shall be met prior to construction.

- d. SAC Determination shall be submitted to the Metropolitan Council and all building and connection fees paid prior to issuance of the building permit.
- e. The applicant shall receive approval for the vacation of public right-of-way directly adjacent to the property to be included in the overall development site.
- f. Applicant shall provide striping for individuals to cross the drive-thru aisleway.
- g. One-way signage shall be placed or marked near the northwest side of the property for the rear of the building.
- h. The trash enclosure shall match the general aesthetic of the principal structure.
- i. Permits shall be required to be issued within one year of the date of this approval or an extension to these approvals granted by the City Council.

WHEREAS, following the Hearing, the Commission recommended approval of the variance requests for the parking setback and impervious surface requirements provided based on the following findings of fact:

1. The subject property is legally described as found in Exhibit A; and
2. The Applicant has applied to the City for variances to City Code 125-57 related to the required 20-foot parking setback; and
3. The proposal would vary from the Code requirement via providing a 10-foot parking setback on the north and south sides and a 0-foot parking setback on the north side of the property; and
4. Following a public hearing on the application, the Rogers Planning Commission has recommended approval of the variance on May 4, 2026; and
5. The City Council of the City of Rogers reviewed the requested variance at its May 12th, 2026, meeting; and
6. Variances are guided by applicable State Statute Section 462.357 Subd. 6 and City Ordinance Section 125-42(c); and
7. The Applicant is in conformance with the existing neighboring properties due to the existing conditions of many of these properties being below the required setback; and
8. The Property has an effective 20-foot setback from back of curb to the property line due to the public right-of-way adjacent to this location;
9. The property is bound by roads on three of the sides and other structuring of the development would not be feasible;
10. The Property is served by regional stormwater systems which have the capacity to handle the excess impervious surface.
11. The Variance is in harmony with the general purpose and intent of City Code and is consistent with the character of other uses in the zoning district.
12. There are practical non-economic difficulties in complying with the zoning ordinance, and the Variance is the result of circumstances caused by the City Code requirements related to the development.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, the Site Plan Review and Variance requests from Cloutier Properties are hereby approved for the proposed multi-tenant commercial building of approximately 9,100 square feet at 21355 136th Avenue, and variances from City Code 125-57 related to the reduction of the parking setback from 20 feet to 10 feet on the south and north side of the property and

reduction of the parking setback from 20 feet to 0 feet on the east side of the property, based on the conditions found in this resolution.

Moved by Councilmember _____, seconded by Councilmember _____

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the City Clerk dated this 4th day of May, 2026.

Shannon Klick, Mayor

ATTEST:

Stacie Brown, City Clerk

EXHIBIT A
LEGAL DESCRIPTION

Subject Property

LOT 1, BLOCK 2, DIAMOND LAKE VILLAGE, HENNEPIN COUNTY, MINNESOTA

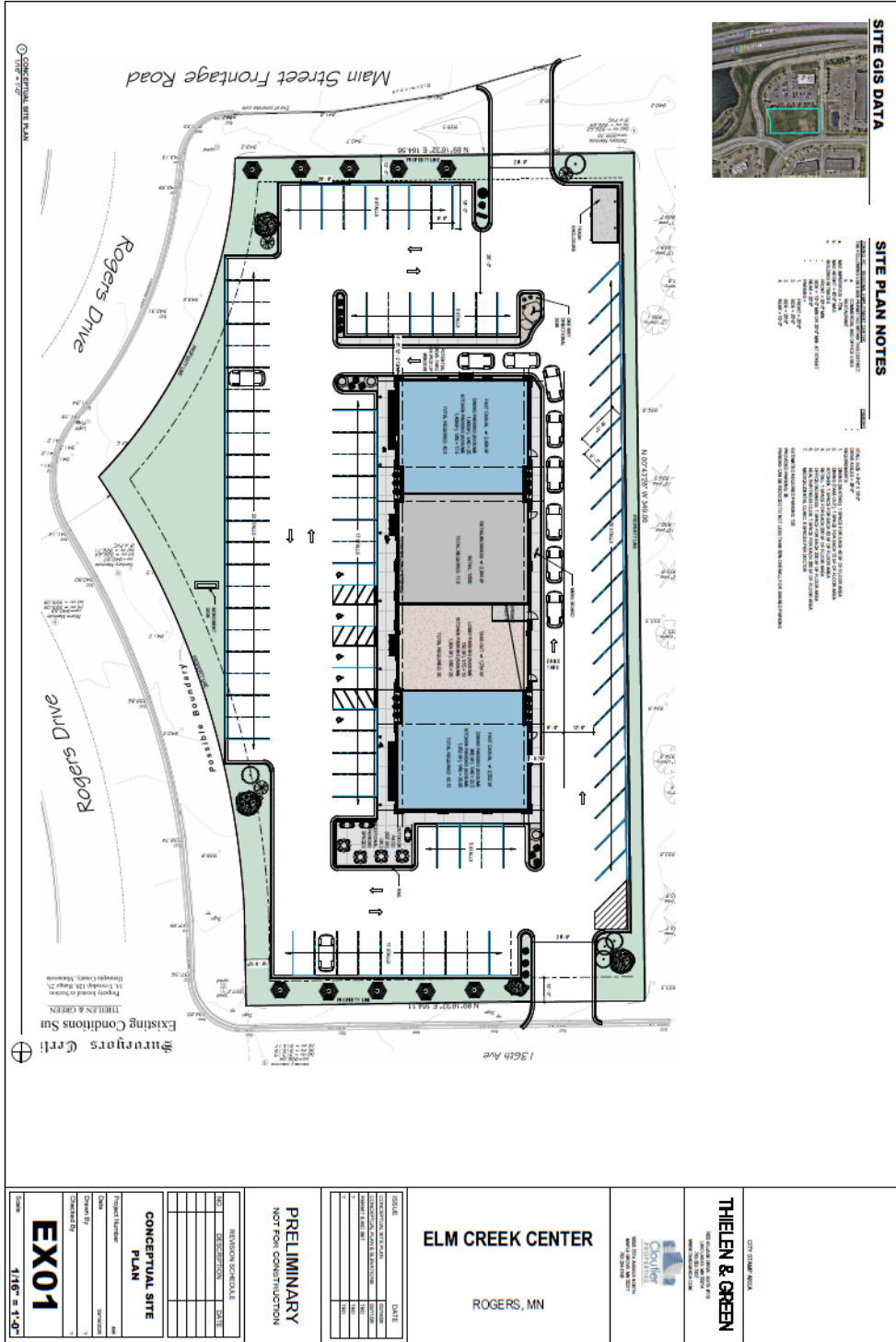
AND

OUTLOT B, WALTER DEHN COMMERCE CENTER 5TH ADDITION, HENNEPIN
COUNTY, MINNESOTA

Abstract Property

PIDs #14-120-23-42-0021 and 14-120-23-42-0015

EXHIBIT B SITE PLAN



Legal Description: Lot 1, Block 2 Diamond Lake Village and Outlot B Walter Dehn Commerce Center 5th Addition according to the plat thereof on file and in the office of the County Recorder of Hennepin County, Minnesota

Narrative of the Project: The existing vacant lot located at 21355 136th Ave N. Rogers, MN is the site for a new +/- 9,620 SF single-story retail building for four (4) retail tenants and a drive thru “pickup window”. The current site is undeveloped grass field; and we are looking to revitalize the area by providing a new building that is complementary in both look and use. As the property is located in the RC – Regional Employment Center zoning district that allows all permitted, permitted accessory, or conditional uses contained in Sec 125-67 of the zoning code; as the tenant services that would occupy the building would include retail sales, personal service businesses, and essential services.

For the site layout the new building will be placed toward the center of the lot to allow site access on both sides of the property and allow maximum flow around the site. A drive thru “pickup” window is proposed to the South side as there is a shift in fast-casual dining as more customers use online apps to place orders ahead of time. As a result we are seeing a new concept being developed by those types of tenants that allow customers to notify their arrival and pick up their pre-made order at the window, reducing congestion on-site as there will not be a waiting period for the order to be made. The proposed drive thru includes a menu board and minimum 5 que stacking for vehicles.

The proposed building’s exterior façade will be a mixture of brick, stone, EIFS, and glazing with metal awning accents that provide a modern appeal to the retail building, while also including outdoor patio area for seating with landscaping along the east elevation facing Rogers Drive. The trash enclosure will occupy the northwest corner of the lot and will be finished in a complimentary material in brick and stone matching the building.



Hennepin County Property Map

Date: 4/3/2026



PARCEL ID: 1412023420015
OWNER NAME: City Of Rogers
PARCEL ADDRESS: 21355 136th Ave N,Rogers MN 55374
PARCEL AREA: 1.24 acres, 54,202 sq ft
A-T-B: Abstract
SALE PRICE: \$821,702
SALE DATE: 08/2006
SALE CODE: Other
ASSESSED 2025, PAYABLE 2026
PROPERTY TYPE: Land-Commercial
HOMESTEAD: Non-Homestead
MARKET VALUE: \$0
TAX TOTAL: \$0.00
ASSESSED 2026, PAYABLE 2027
PROPERTY TYPE: Land Commercial
HOMESTEAD: Non-Homestead
MARKET VALUE: \$0

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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Legal Description: Lot 1, Block 2 Diamond Lake Village and Outlot B Walter Dehn Commerce Center 5th Addition according to the plat thereof on file and in the office of the County Recorder of Hennepin County, Minnesota

Narrative of the Project: The existing vacant lot located at 21355 136th Ave N. Rogers, MN is the site for a new +/- 9,620 SF single-story retail building for four (4) retail tenants and a drive thru “pickup window”. The current site is undeveloped grass field; and we are looking to revitalize the area by providing a new building that is complementary in both look and use.

We are requesting a variance from the 20-foot parking setback requirement on the north, south and eastern property line and the 10-foot setback requirement on the west property line. Due to the irregular corner lot with roadways on 3 sides of the building, a 20-foot set back is a hardship on the site. Strict enforcement would result in losing 10% of the required parking. We are proposing a 10-foot setback on both the north and south property line and a 5-foot set back on the west property line. Due to the irregular shape of the site at the corner of Rogers Dr. We are requesting a 0-foot setback at the corners of the triangular shaped wedge as shown on the site plan. This would still allow parking to be 30’ from the curb line.



Hennepin County Property Map

Date: 4/3/2026



PARCEL ID: 1412023420015

OWNER NAME: City Of Rogers

PARCEL ADDRESS: 21355 136th Ave N,Rogers MN 55374

PARCEL AREA: 1.24 acres, 54,202 sq ft

A-T-B: Abstract

SALE PRICE: \$821,702

SALE DATE: 08/2006

SALE CODE: Other

ASSESSED 2025, PAYABLE 2026
 PROPERTY TYPE: Land-Commercial
 HOMESTEAD: Non-Homestead
 MARKET VALUE: \$0
 TAX TOTAL: \$0.00

ASSESSED 2026, PAYABLE 2027
 PROPERTY TYPE: Land Commercial
 HOMESTEAD: Non-Homestead
 MARKET VALUE: \$0

Comments:

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SITE GIS DATA

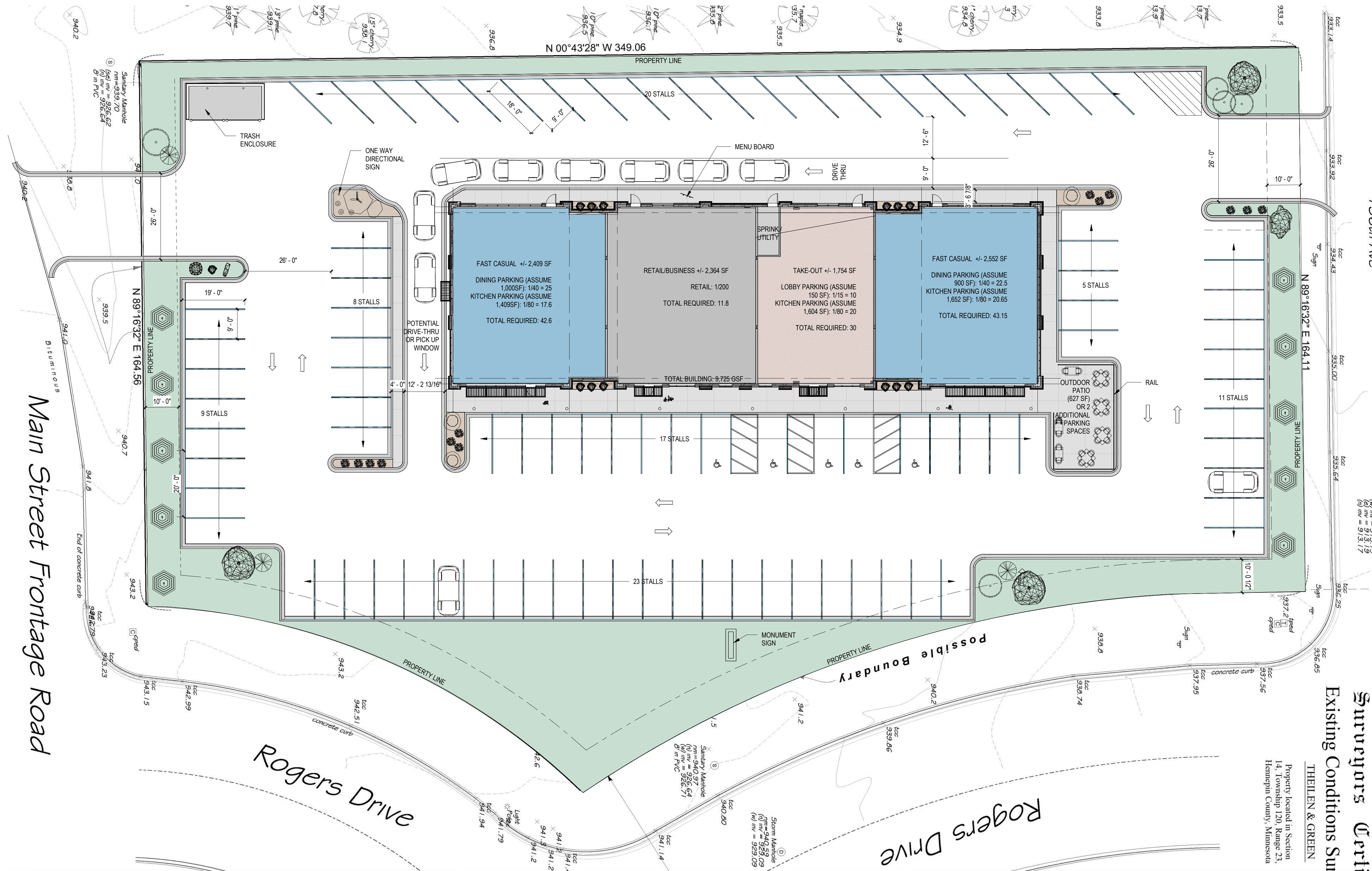


SITE PLAN NOTES

ZONING: RC - REGIONAL EMPLOYMENT CENTER
 THE FOLLOWING USES ARE PERMITTED WITHIN THIS DISTRICT:
 a. COMMERCIAL AND OFFICE USES
 b. RESTAURANT
 c. MAX IMPERVIOUS = 75%
 d. MAX HEIGHT = 45'-0" MAX
 e. BUILDING SETBACKS
 • FRONT = 30'-0" MIN
 • SIDE = 10'-0" MIN OR 30'-0" MIN. AT STREET
 • REAR = 20'-0"
 f. PARKING =
 1. FRONT = 20'-0"
 2. SIDE = 20'-0"
 3. SIDE = 20'-0"
 4. REAR = 10'-0"

PARKING

STALL SIZE = 9'-0" X 18'-0"
 DRIVE AISLES = 26'-0"
 REQUIREMENTS:
 1. DINING (SEATING): 1 SPACE FOR EACH 40 SF OF FLOOR AREA
 2. DINING (TAKE-OUT): 1 SPACE FOR EACH 15 SF OF FLOOR AREA
 3. KITCHEN: 1 SPACE FOR EACH 80 SF OF FLOOR AREA
 4. RETAIL: 1 SPACE FOR EACH 200 SF OF FLOOR AREA
 5. OFFICE/BUSINESS: 1 SPACE FOR EACH 200 SF OF FLOOR AREA
 6. HEALTH/FITNESS CLUB: 1 SPACE FOR EACH 200 SF OF FLOOR AREA
 7. MEDICAL/DENTAL CLINIC: 6 SPACES PER DOCTOR
 ESTIMATED REQUIRED PARKING: 128
 PROVIDED PARKING: 93
 PARKING CAN BE REDUCED TO NOT LESS THAN 60% OVERALL FOR SHARED PARKING



Main Street Frontage Road

Rogers Drive

Rogers Drive

Surveyors **Cloutier**
 Existing Conditions Sur
THIELEN & GREEN
 Property located in Section
 14, Township 120, Range 23,
 Hennepin County, Minnesota

CITY STAMP AREA
THIELEN & GREEN
 7455 VILLAGE DRIVE, SUITE #110
 LINO LAKES, MN 55014
 763-553-7927
 WWW.TANDGARCH.COM



ELM CREEK CENTER
 ROGERS, MN

ISSUE	DATE
CONCEPTUAL SITE PLAN	02/18/26
CONCEPTUAL PLAN & ELEVATIONS	03/11/26
PERMIT & BID SET	TBD
?	TBD
?	TBD

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

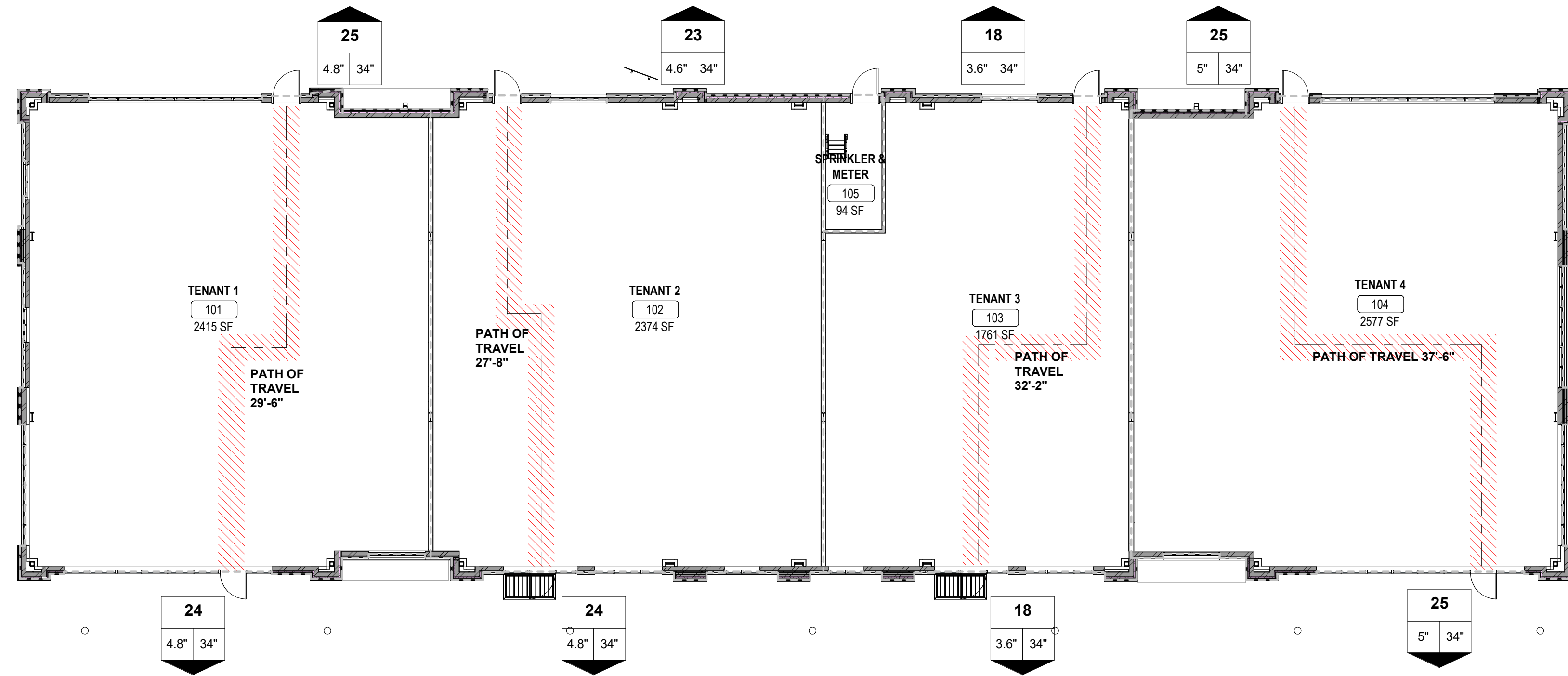
CONCEPTUAL SITE PLAN

Project Number	498
Date	03/19/2026
Drawn By	?
Checked By	?

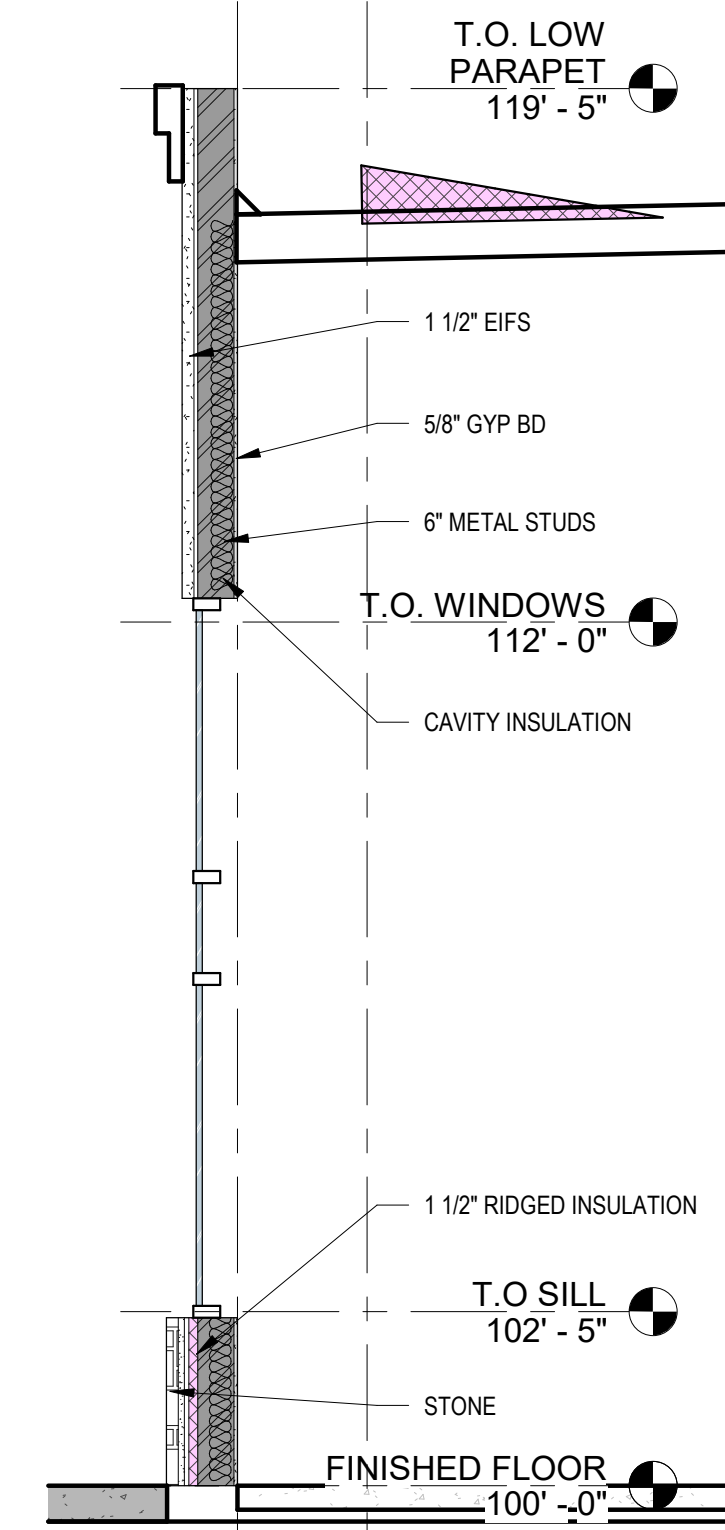
EX01

Scale **1/16" = 1'-0"**

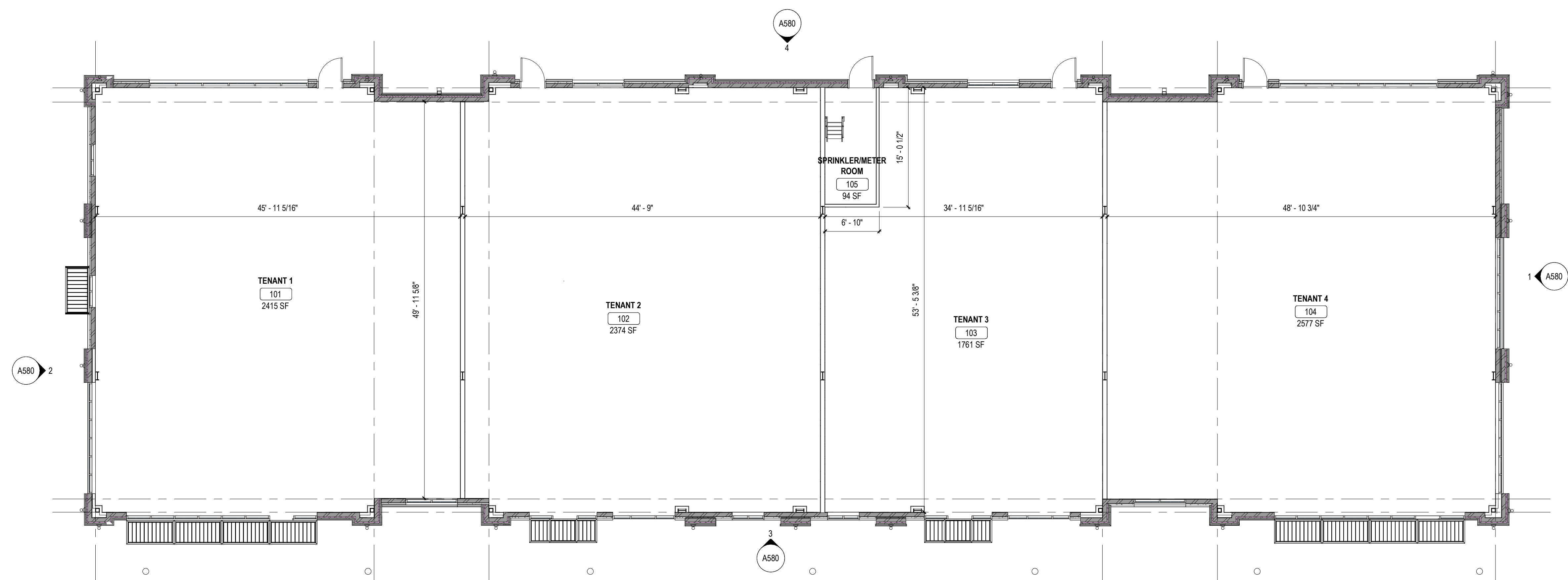
1 CONCEPTUAL SITE PLAN
 1/16" = 1'-0"



3 LIFE SAFETY PLAN (AREA PLAN)
3/32" = 1'-0"



2 WALL SECTION
3/8" = 1'-0"



1 CONCEPTUAL FLOOR PLAN
1/8" = 1'-0"

CITY STAMP AREA
THIELEN & GREEN
7455 VILLAGE DRIVE, SUITE #110
LINO LAKES, MN 55014
763-553-7927
WWW.TANDGARCH.COM

16505 75TH AVENUE NORTH
MAPLE GROVE, MN 55311
763-234-8108

ELM CREEK CENTER
ROGERS, MN

ISSUE	DATE
CONCEPTUAL SITE PLAN	02/18/26
CONCEPTUAL PLAN & ELEVATIONS	03/11/26
PERMIT & BID SET	TBD
?	TBD
?	TBD

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

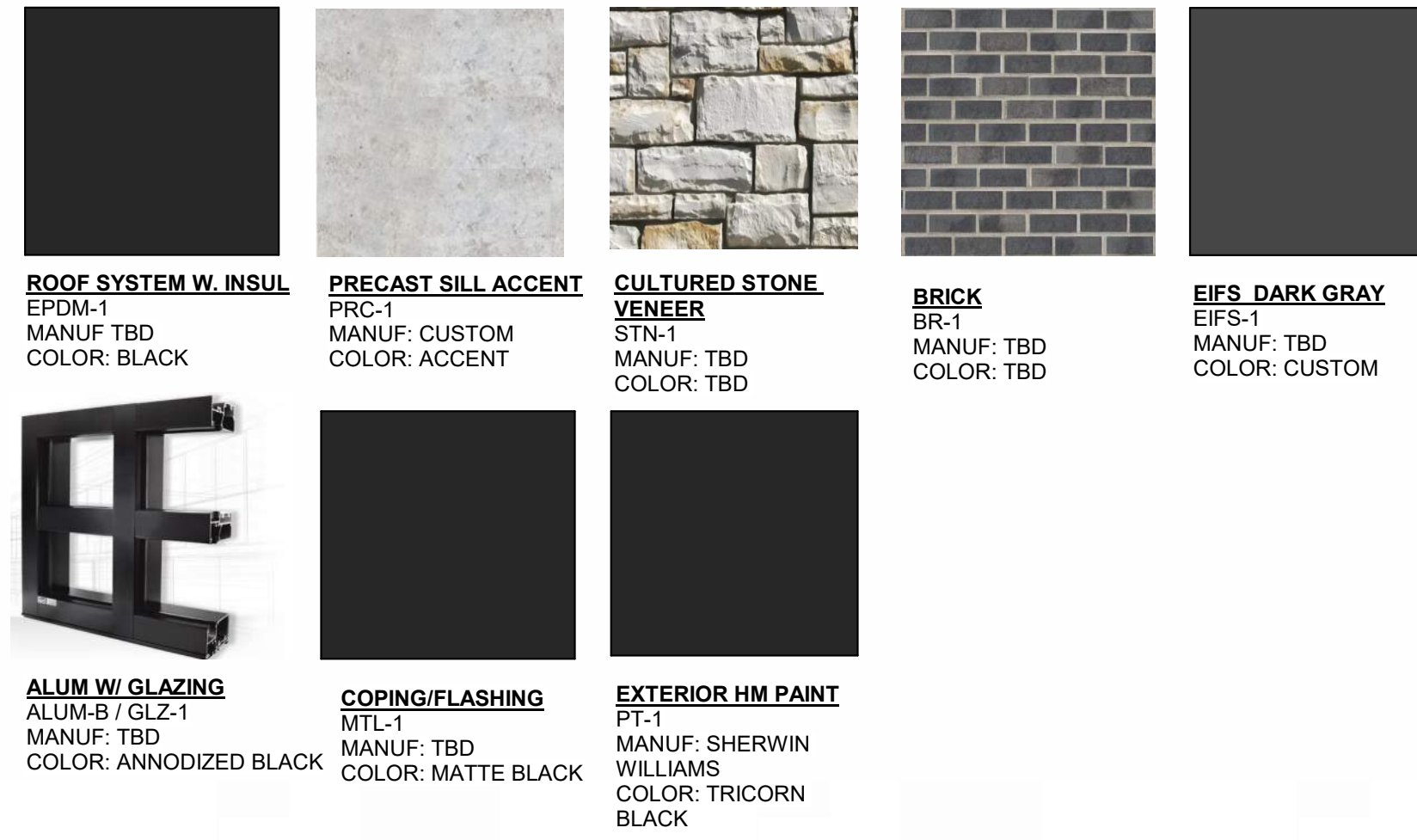
CONCEPTUAL FLOOR PLAN

Project Number: 498
Date: 03/19/2026
Drawn By: ?
Checked By: ?

EX02

Scale: **As indicated**

EXTERIOR MATERIALS



GENERAL EXT ELEV NOTES

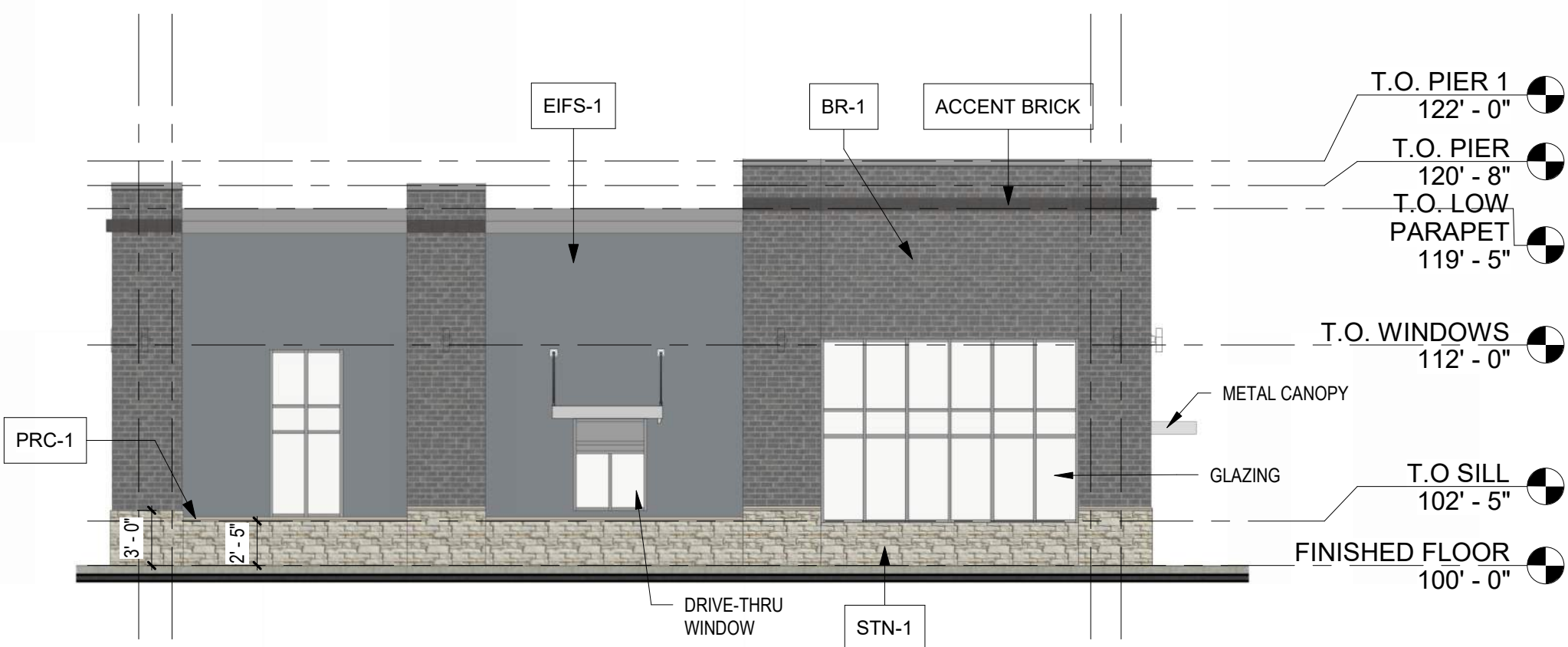
1. GENERAL EXTERIOR ELEVATION NOTES



1 ELEVATION - NORTH
1/8" = 1'-0"



3 ELEVATION - EAST
1/8" = 1'-0"



2 ELEVATION - SOUTH
1/8" = 1'-0"



4 ELEVATION - WEST
1/8" = 1'-0"

CITY STAMP AREA

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763-234-8108

ELM CREEK CENTER

ROGERS, MN

ISSUE	DATE
CONCEPTUAL SITE PLAN	02/18/26
CONCEPTUAL PLAN & ELEVATIONS	03/11/26
PERMIT & BID SET	TBD
?	TBD
?	TBD

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL ELEVATIONS

Project Number	498
Date	03/19/2026
Drawn By	-
Checked By	KMT

EX03

Scale **As indicated**



CITY STAMP AREA

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MAPLE GROVE, MN 55311
763-234-8108

ELM CREEK CENTER

ROGERS, MN

ISSUE	DATE
CONCEPTUAL SITE PLAN	02/18/26
CONCEPTUAL PLAN & ELEVATIONS	03/11/26
PERMIT & BID SET	TBD
?	TBD
?	TBD

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL RENDERINGS

Project Number	498
Date	03/19/2026
Drawn By	?
Checked By	?

EX04

Scale **12" = 1'-0"**



CITY STAMP AREA

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16505 75TH AVENUE NORTH
MAPLE GROVE, MN 55311
763-234-8108

ELM CREEK CENTER

ROGERS, MN

ISSUE	DATE
CONCEPTUAL SITE PLAN	02/18/26
CONCEPTUAL PLAN & ELEVATIONS	03/11/26
PERMIT & BID SET	TBD
?	TBD
?	TBD

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL RENDERINGS

Project Number	498
Date	03/19/2026
Drawn By	?
Checked By	?

EX05

Scale **12" = 1'-0"**

SITE DEVELOPMENT PLANS

FOR

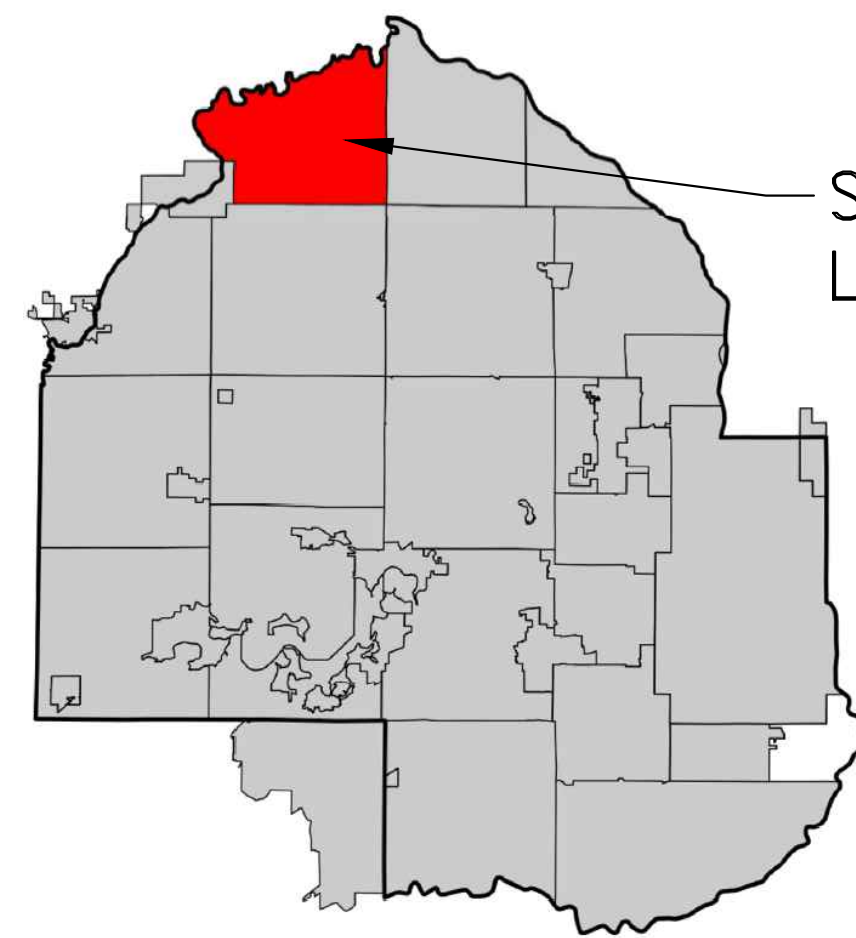
ELM CREEK CENTER

21355 136TH AVENUE N
ROGERS, MINNESOTA



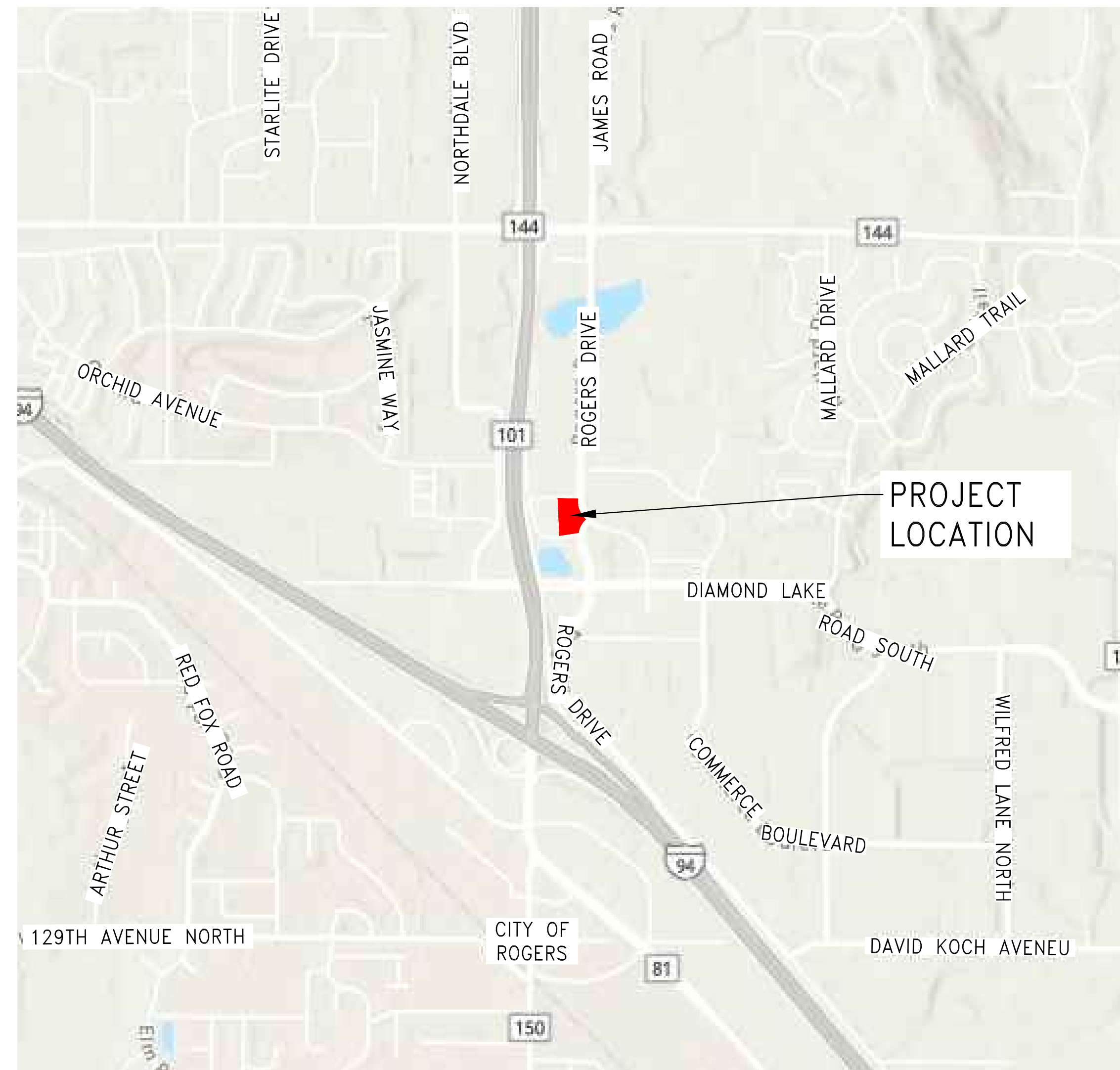
SITE LOCATION

HENNEPIN COUNTY, MINNESOTA



SITE LOCATION

CITY OF ROGERS, HENNEPIN COUNTY



PROJECT LOCATION

SHEET INDEX

THIS PLAN CONTAINS 10 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2-C3	DETAILS
C4	EXISTING CONDITIONS & REMOVALS
C5	SITE PLAN
C6	GRADING & DRAINAGE PLAN
C7	UTILITY PLAN
C8	STORMWATER POLLUTION PREVENTION PLAN
C9	STORMWATER POLLUTION PREVENTION PLAN NOTES
C10	TRUCK TURNING EXHIBIT



CALL BEFORE YOU DIG!

Gopher State One Call

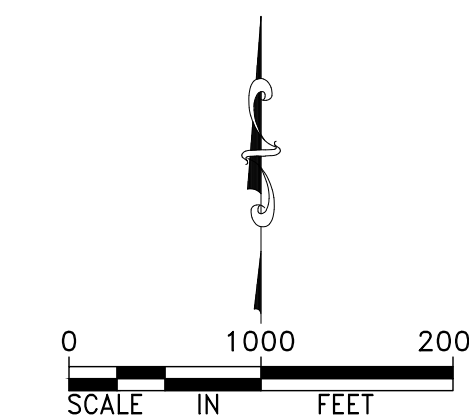
Twin City Area: 651-454-0002
Toll Free: 1-800-252-1166

THE SUBSURFACE UTILITY INFORMATION DEPICTED IN THESE PLANS ARE SHOWN ACCORDING TO CI/ASCE 38-02, "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA," LEVEL D STANDARDS.

LEGEND



IMPAIRED WATERS WITHIN ONE (1) MILE OF SITE



F:\survey\diamond lake village - hennepin\1-2 diamond lake village\02 Engineering - 91228\01 CAD\05 Sheet Files\01 Title Sheet.dwg

DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. NOT FOR CONSTRUCTION JEFFREY A. PRASCH, P.E. DATE: 03.27.26 LIC. NO.: 52706
DRAWN BY: ABL	
CHECKED BY: GRP	

REVISIONS	
04.24.26	CITY COMMENTS

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LINO LAKES, MINNESOTA 55014

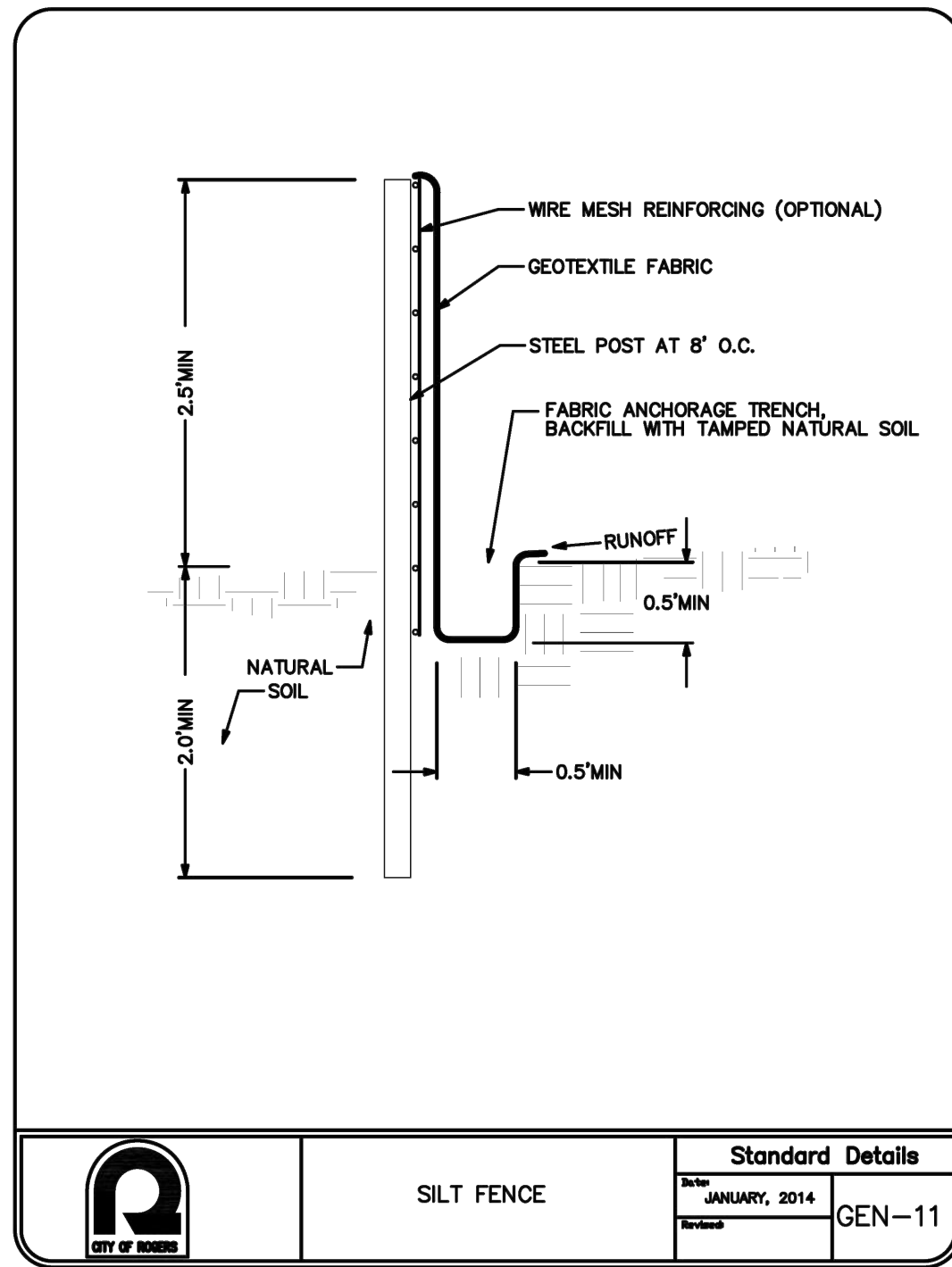
ELM CREEK CENTER
21355 136TH AVENUE N
ROGERS, MINNESOTA

TITLE SHEET

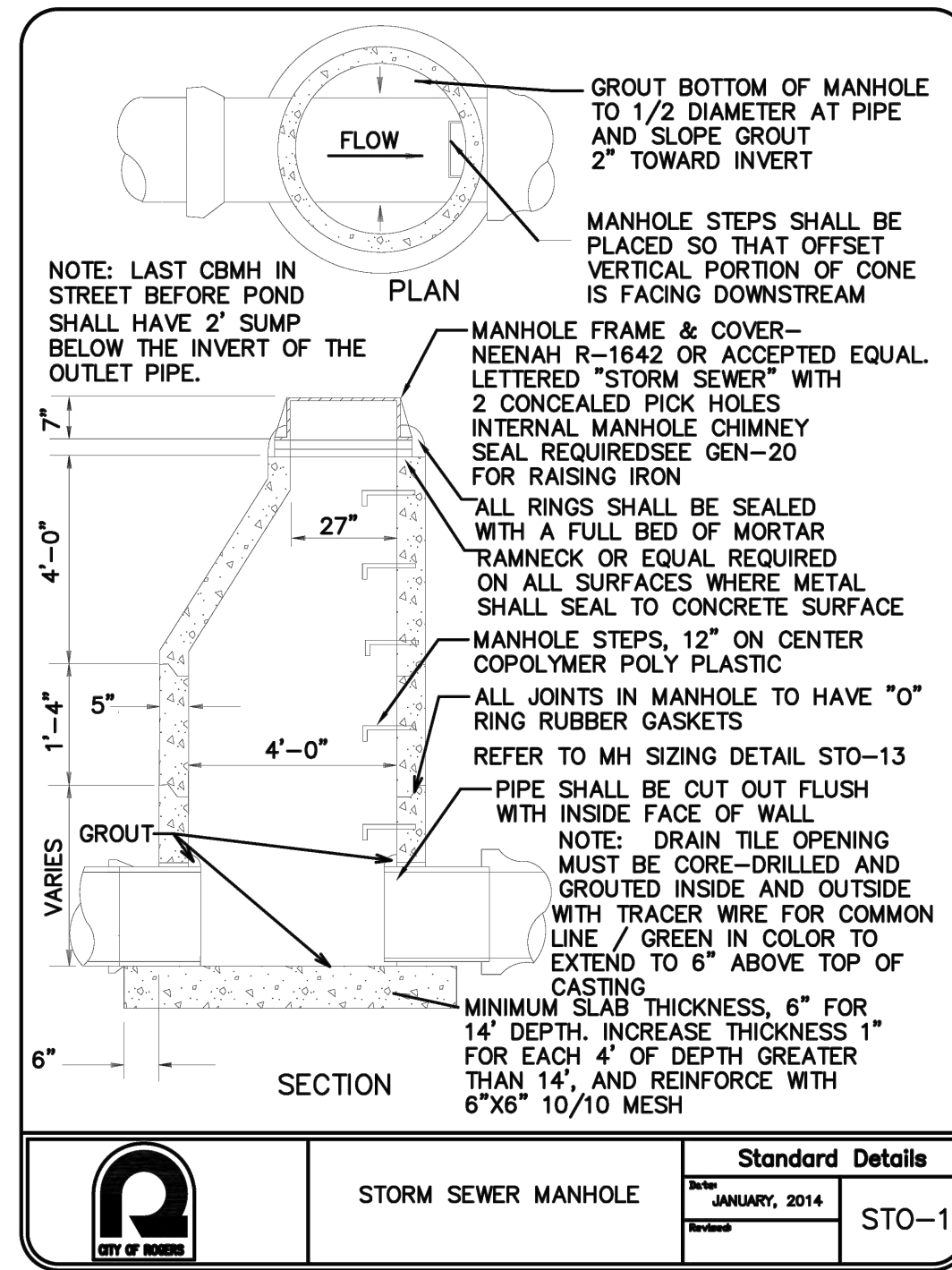
PROJECT: 91228

SHEET NO.

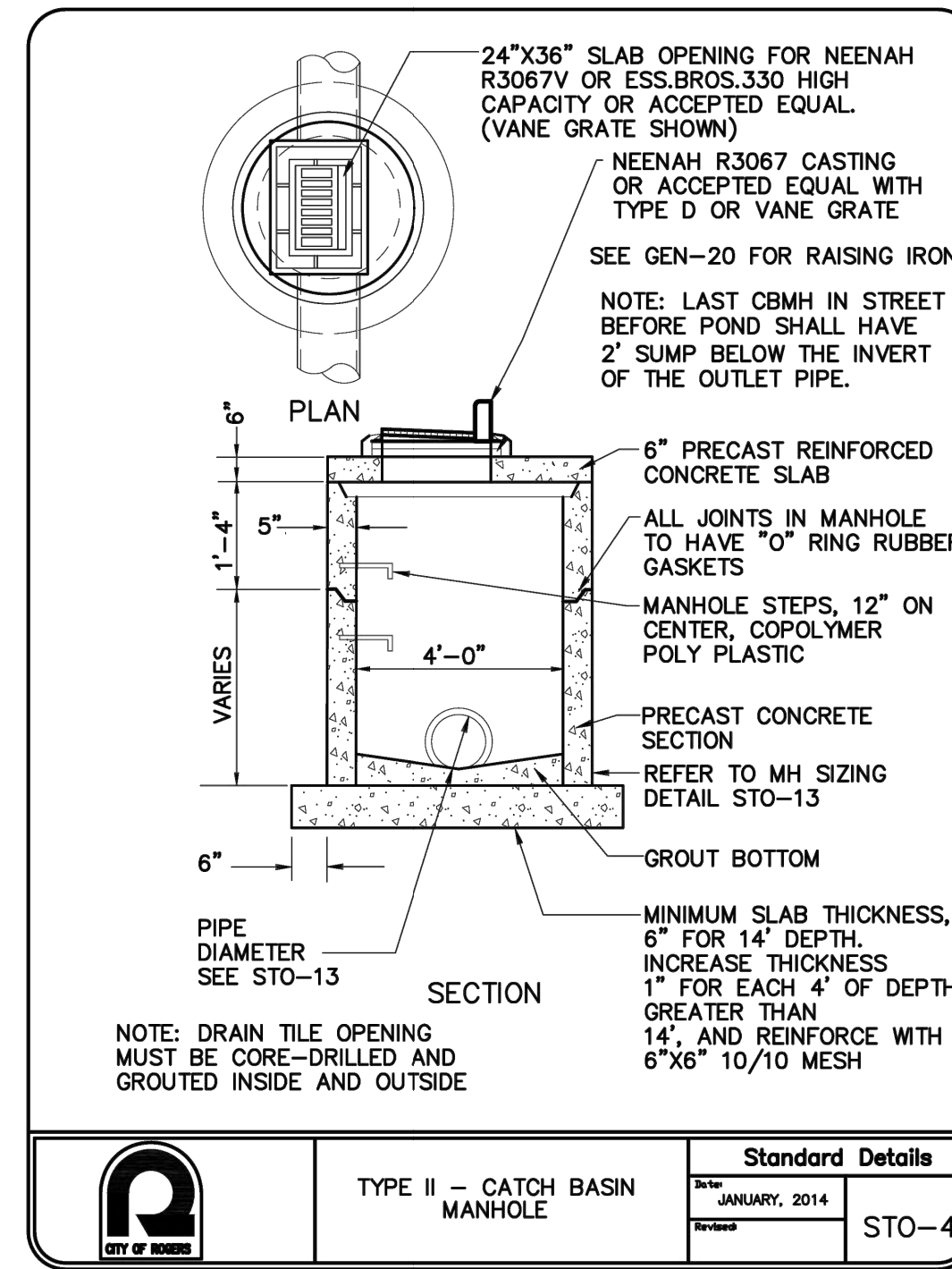
C1 of C10



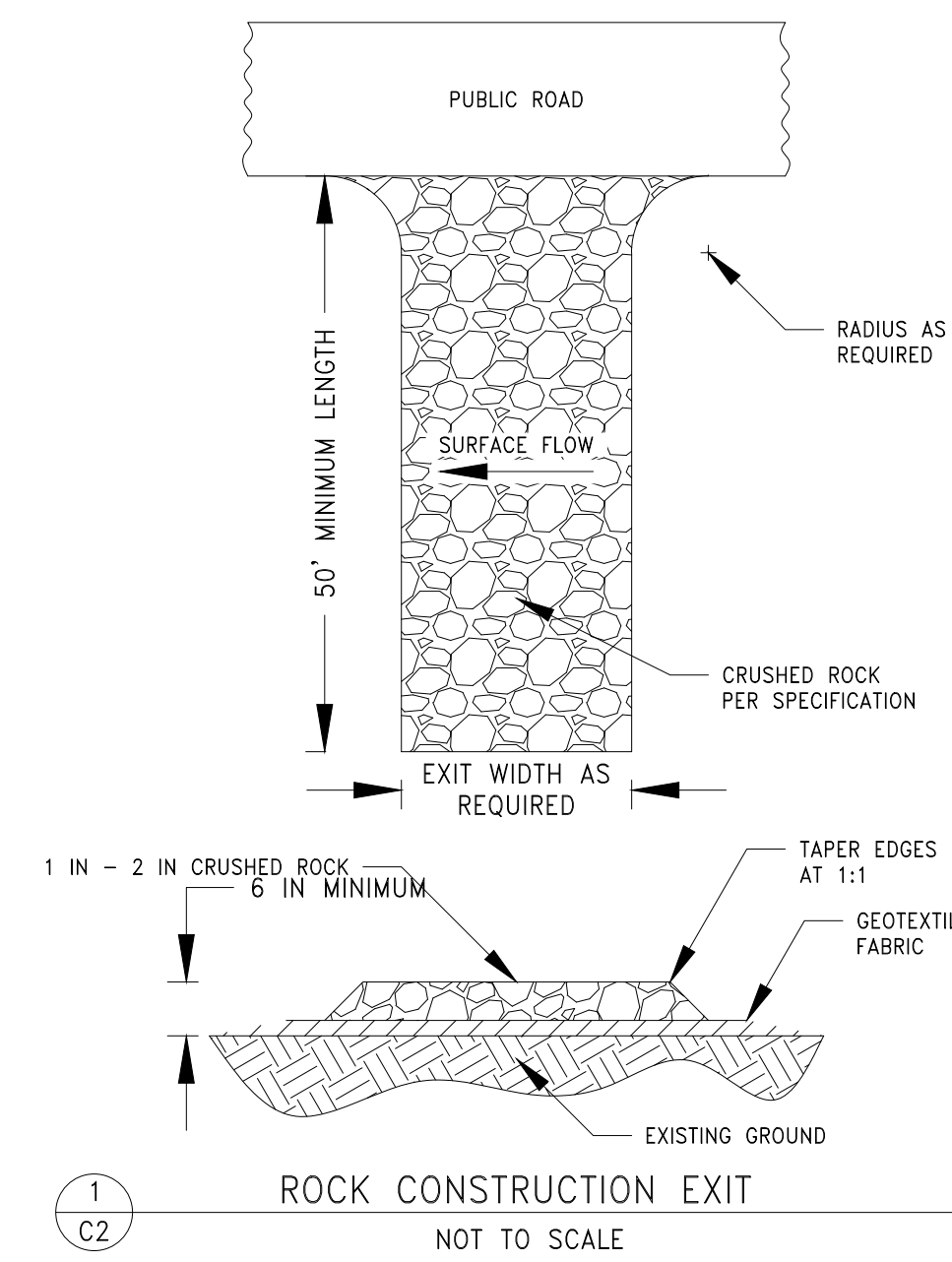
	SILT FENCE	Standard Details	
		Date: JANUARY, 2014	GEN-11



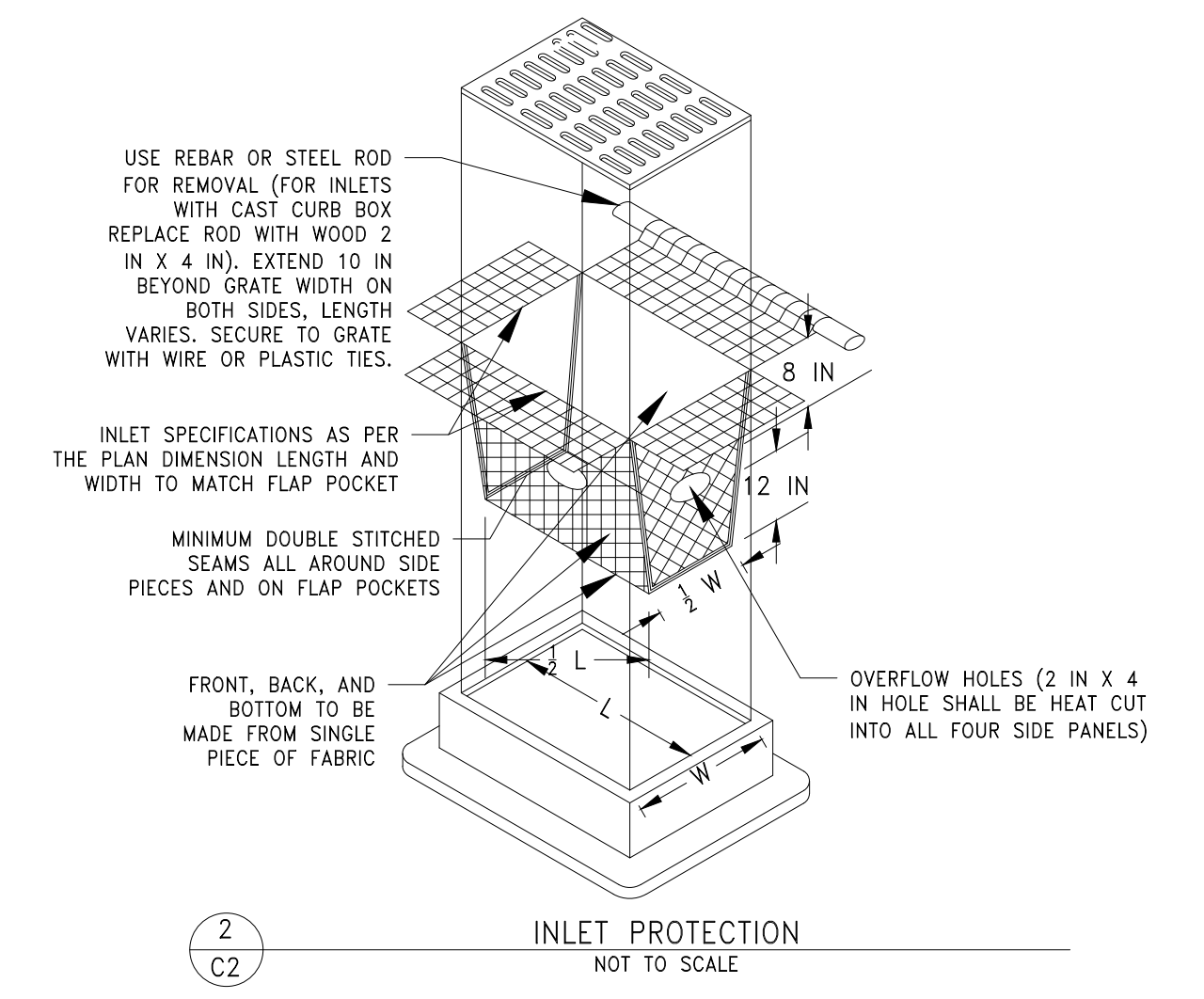
	STORM SEWER MANHOLE	Standard Details	
		Date: JANUARY, 2014	STO-1



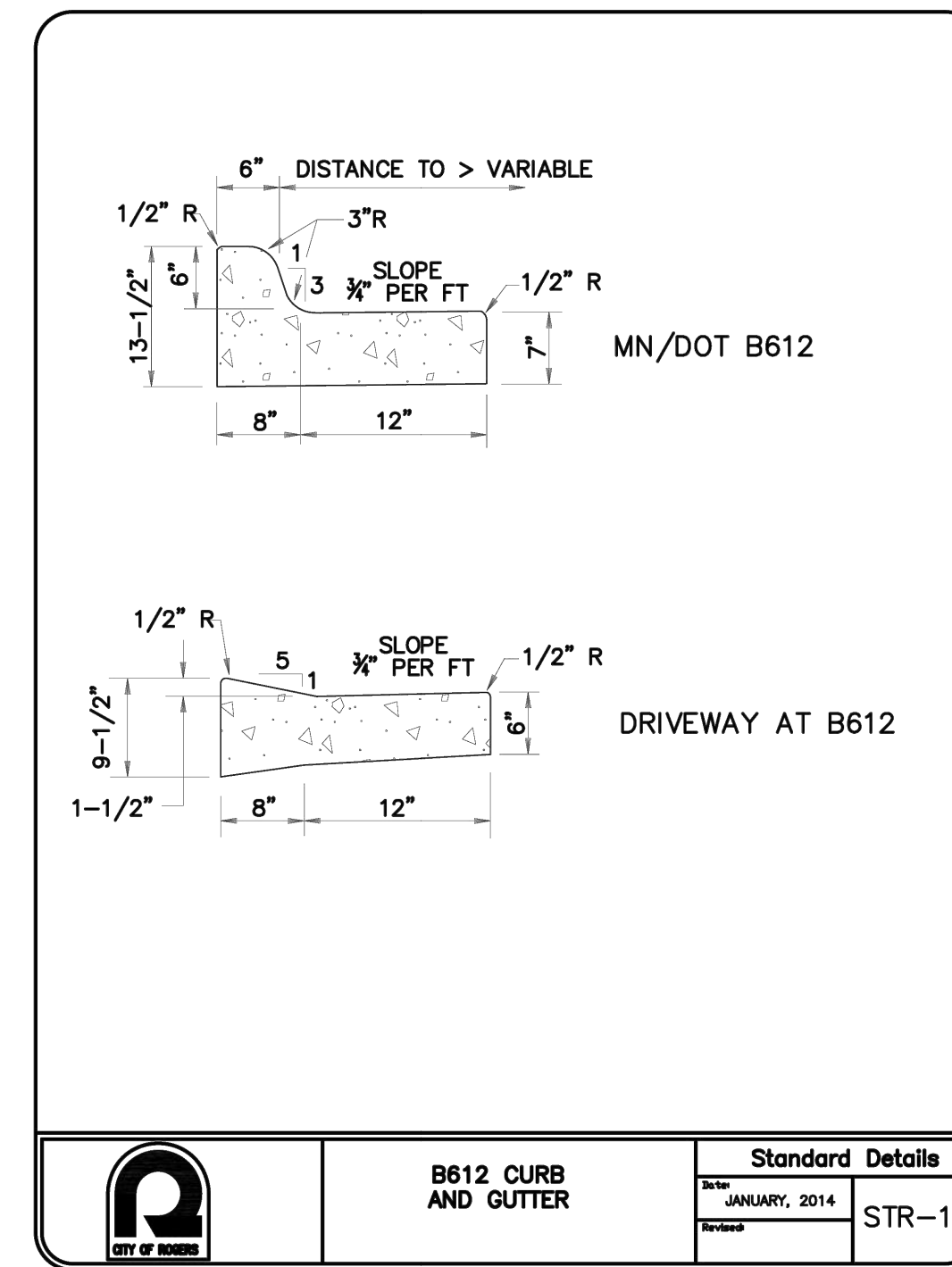
	TYPE II - CATCH BASIN MANHOLE	Standard Details	
		Date: JANUARY, 2014	STO-4



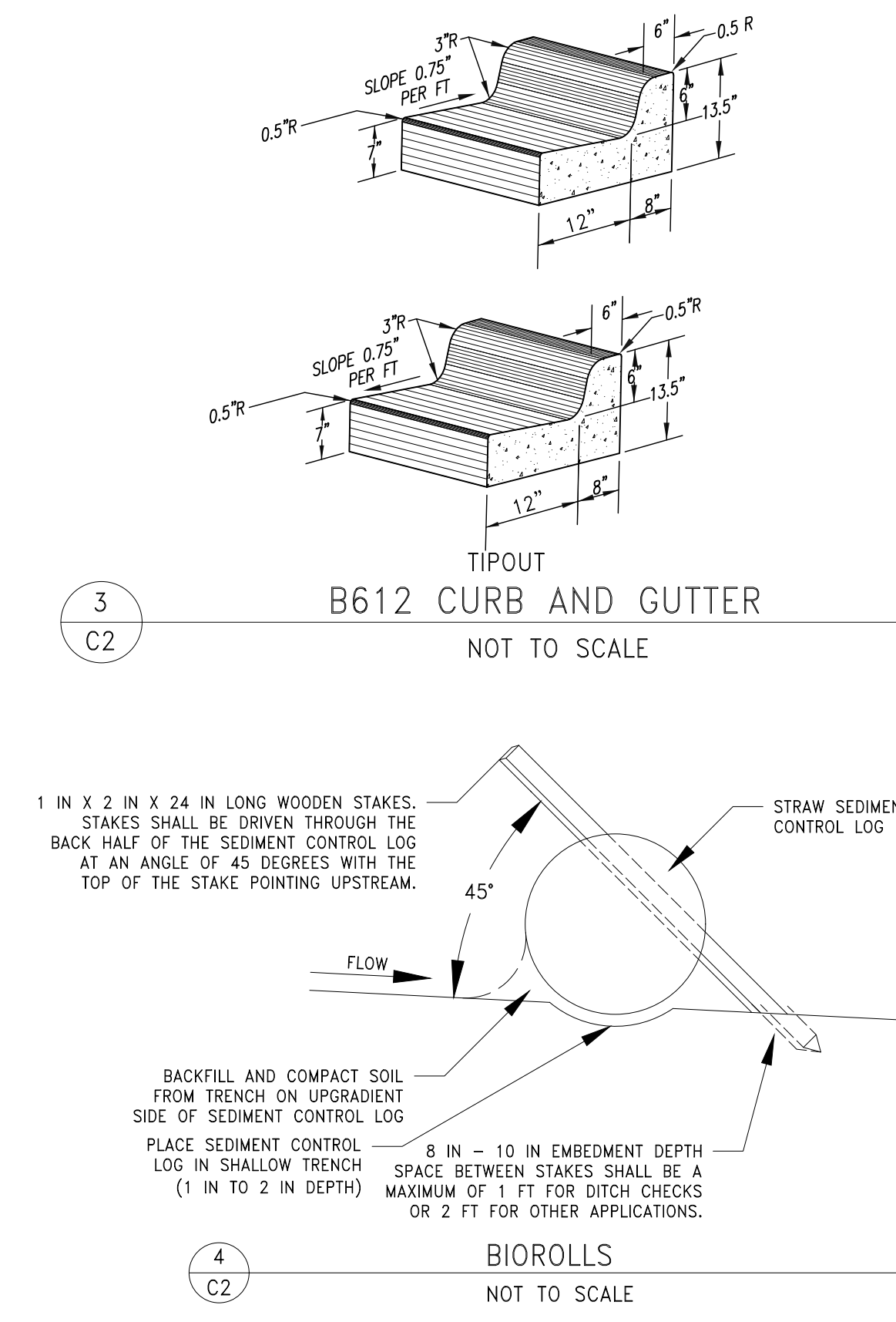
1	C2	ROCK CONSTRUCTION EXIT	NOT TO SCALE
---	----	------------------------	--------------



2	C2	INLET PROTECTION	NOT TO SCALE
---	----	------------------	--------------

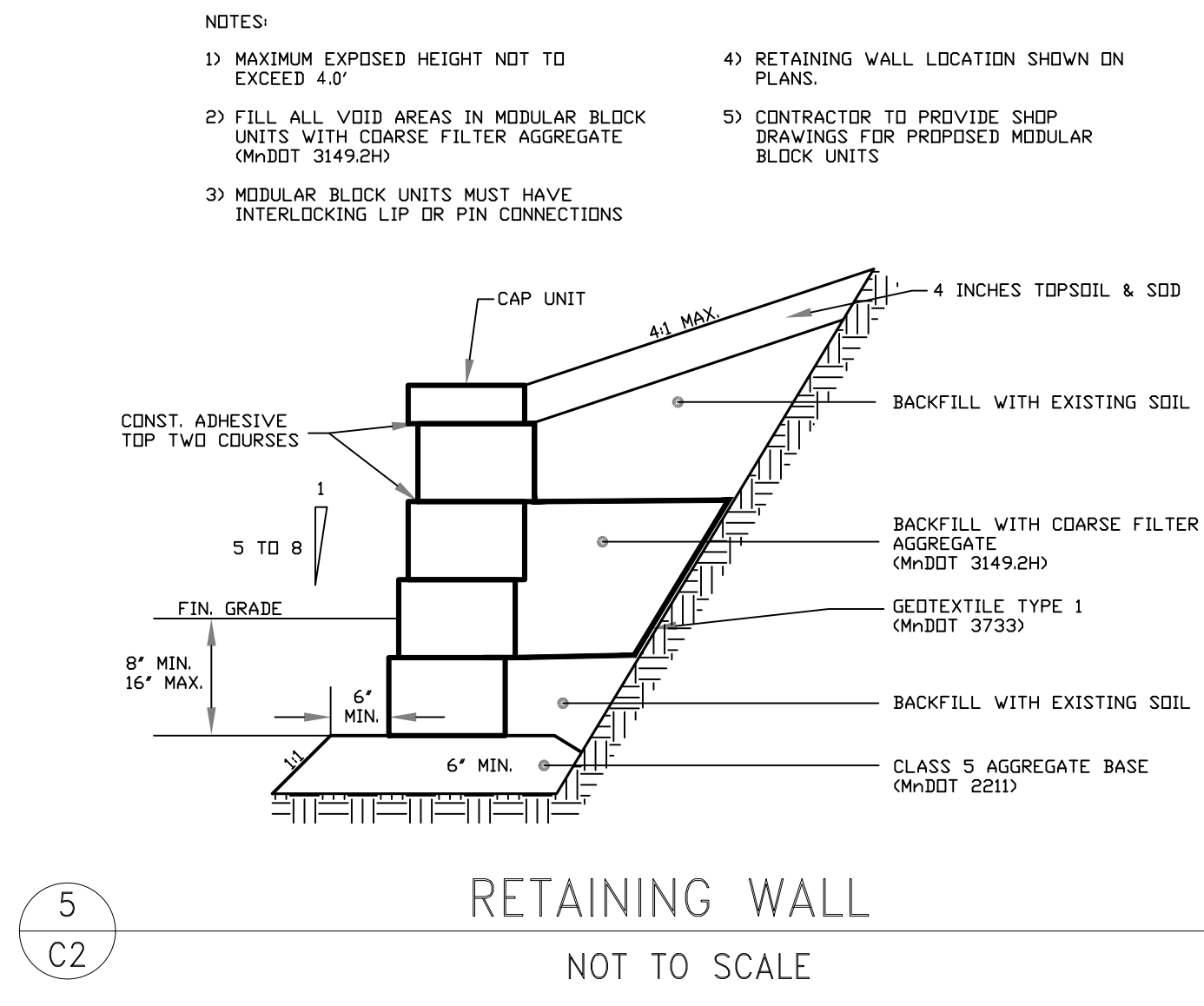


	B612 CURB AND GUTTER	Standard Details	
		Date: JANUARY, 2014	STR-1A



3	C2	B612 CURB AND GUTTER	NOT TO SCALE
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4	C2	BIOROLLS	NOT TO SCALE
---	----	----------	--------------



5	C2	RETAINING WALL	NOT TO SCALE
---	----	----------------	--------------

GENERAL CONSTRUCTION AND SOILS NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES, LAWS AND ORDINANCES.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA STANDARDS.
- IF UTILITY RELOCATION IS NECESSARY, THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES.
- MATERIAL UNSUITABLE FOR CONSTRUCTION (E.G. TOPSOIL, SILTS, ORGANIC MATERIALS, PEATS, DEBRIS, ETC.) ENCOUNTERED DURING EXCAVATION WITHIN THE PARKING LOT AND BUILDING PAD AREAS SHALL BE REMOVED AND PROPERLY DISCARDED.
- GRADING SHALL BE CONSTRUCTED WITH SUITABLE MATERIAL AND IN LOOSE LIFTS NO THICKER THAN TWELVE (12) INCHES. COMPACTION WITHIN THE PARKING LOT AND BUILDING PADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
- TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS TOPSOIL IN GREEN SPACES DISTURBED DUE TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF BITUMINOUS AND CONCRETE MATERIALS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH MNDOT SPEC 2104.3.
- ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A MANNER ACCEPTABLE TO THE OWNER AND ALL GOVERNING REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CALL GOPHER STATE ONE CALL 48 HOURS PRIOR TO CONSTRUCTION WORK. EXISTING UTILITIES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE AND MAY NOT BE RELIED UPON AS EXACT OR COMPLETE.
- ALL SEEDING OR PLANTING SHALL BE COMPLETED PRIOR TO REMOVAL OF ANY EROSION AND SEDIMENT CONTROL MEASURES. IF CONSTRUCTION IS COMPLETED AFTER THE END OF THE GROWING SEASON, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEFT IN PLACE AND ALL DISTURBED AREAS SHALL BE MULCHED FOR PROTECTION OVER THE WINTER SEASON.

F:\survey\diamond lake village - henepin\1-2 diamond lake village\02 Engineering - 91228\01 CAD\05 Sheet Files\02 Details.dwg

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DRAWN BY:	ABL	
CHECKED BY:	GRP	
DATE:	03.27.26	

REVISIONS	
04.24.26	CITY COMMENTS

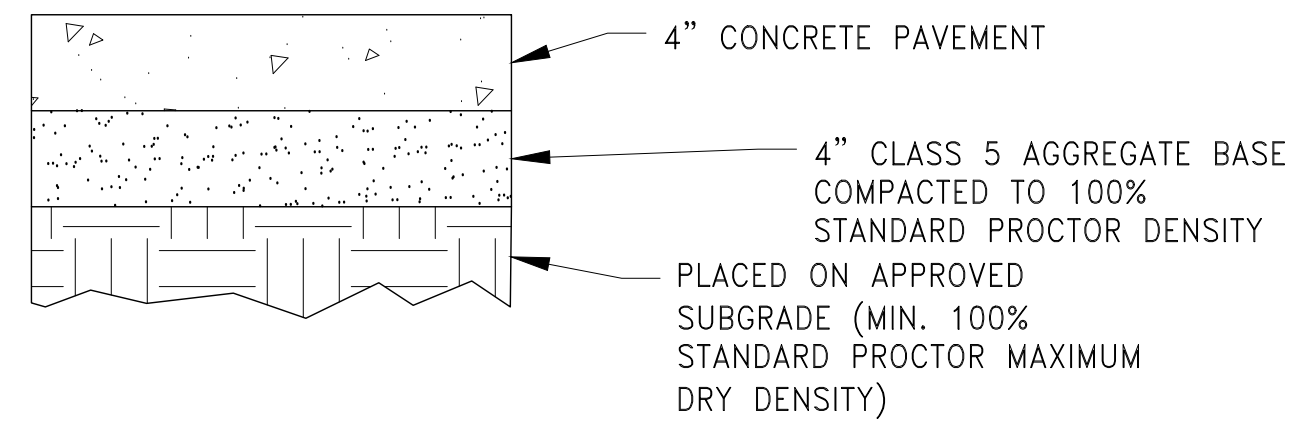
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 LINO LAKES, MINNESOTA 55014
 763.553.7927

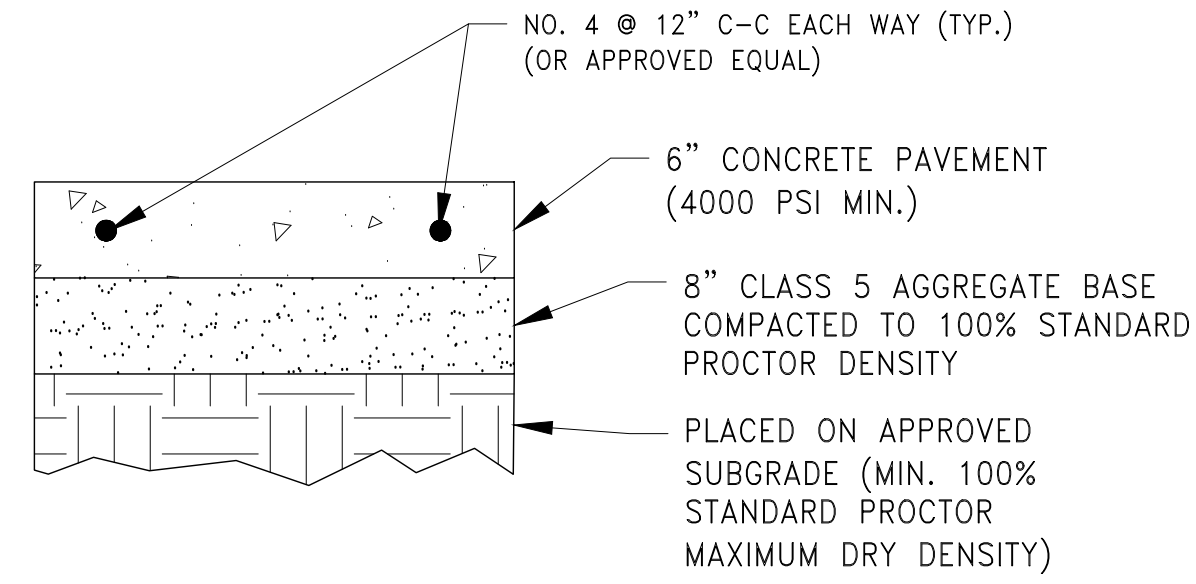
ELM CREEK CENTER
 21355 136TH AVENUE N
 ROGERS, MINNESOTA

DETAILS

PROJECT:	91228
SHEET NO.	C2 of C10

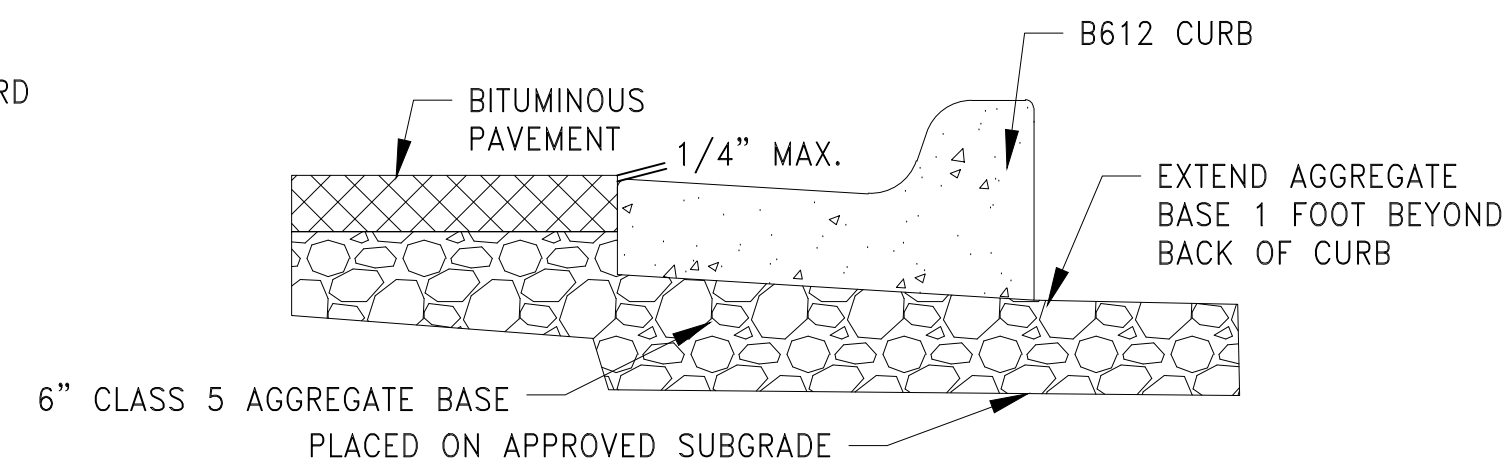


1
C3 CONCRETE SIDEWALK
NOT TO SCALE

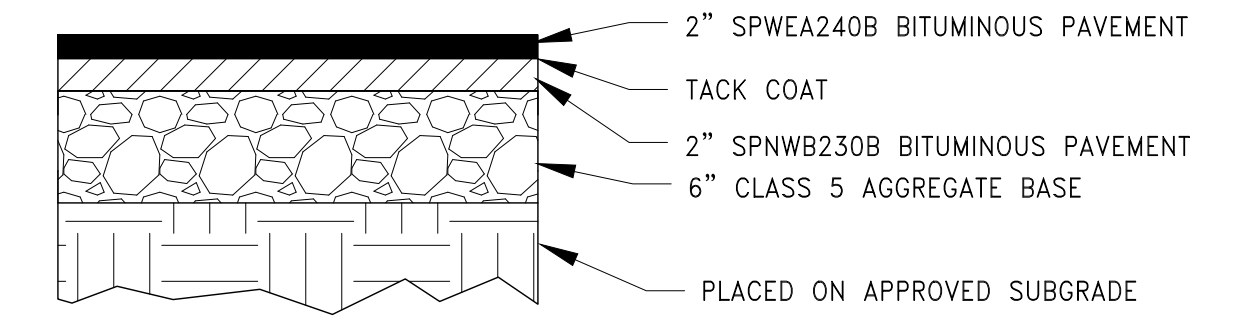


NOTE: CONCRETE COMPRESSIVE STRENGTH SHALL COMPLY WITH ASTM STANDARD C94. MINIMUM 28-DAY STRENGTH = 4,000 PSI

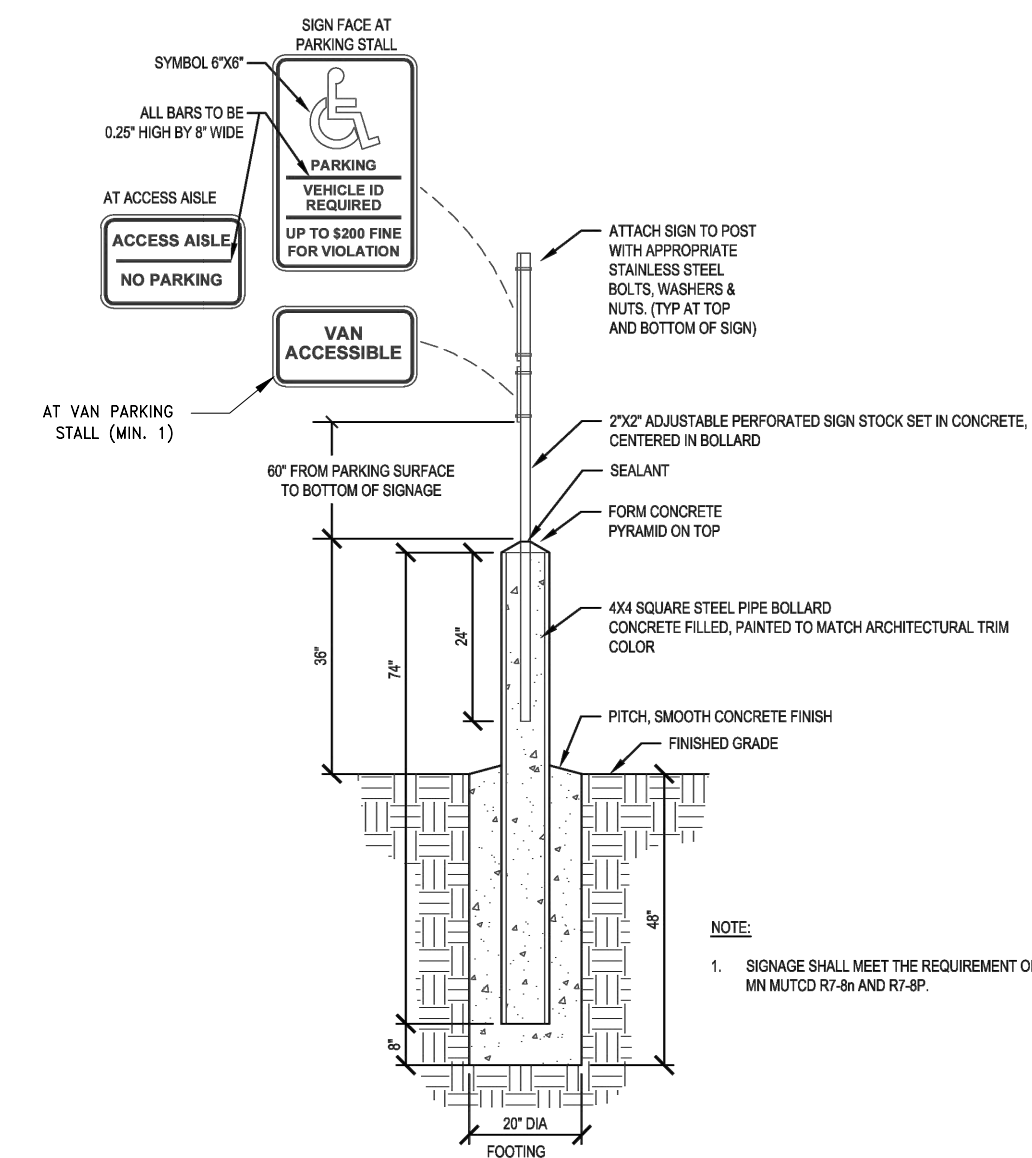
2
C3 CONCRETE PAVEMENT
NOT TO SCALE



3
C3 BITUMINOUS PAVEMENT
NOT TO SCALE



4
C3 BITUMINOUS PAVEMENT
NOT TO SCALE



NOTE:
1. SIGNAGE SHALL MEET THE REQUIREMENT OF MIN MUTCO R3-60 AND R3-6P.

5
C3 ADA SIGN DETAIL
NOT TO SCALE

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DRAWN BY: ABL	
CHECKED BY: GRP	

REVISIONS	
04.24.26	CITY COMMENTS

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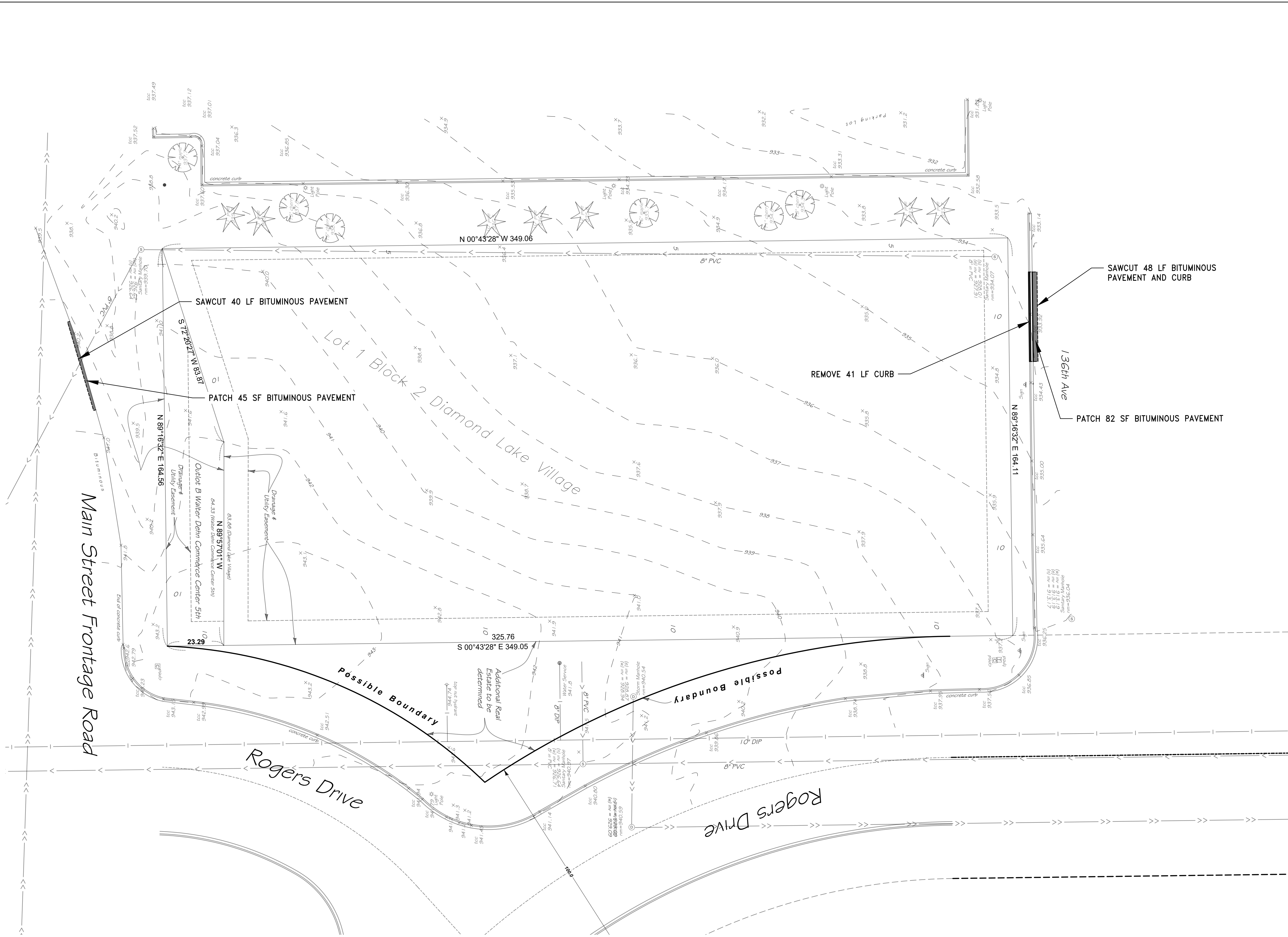
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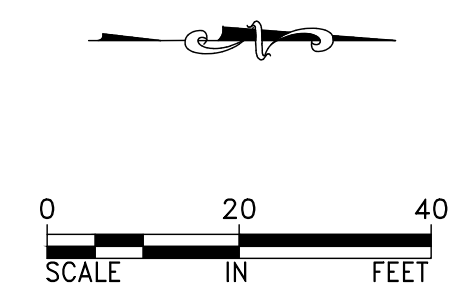
DETAILS

PROJECT: 91228
SHEET NO.
C3 of C10

F:\survey\diamond lake village - hennepin\1-2 diamond lake village\02 Engineering - 91228A\01 CAD\05 Sheet Files\03 Existing Conditions & Removals Plan.dwg



- LEGEND**
- EXISTING CONTOUR
 - EXISTING BUILDING
 - EXISTING CURB & GUTTER
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATERMAIN
 - EXISTING CONCRETE PAVEMENT
 - EXISTING BITUMINOUS PAVEMENT
 - EXISTING FENCE
 - EXISTING SIGN
 - EXISTING HYDRANT
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FES
 - EXISTING CATCH BASIN
 - REMOVE TREE (VERIFY WITH TREE PRESERVATION PLAN)
 - REMOVE BITUMINOUS PAVEMENT
 - SAWCUT PAVEMENT



DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DRAWN BY: ABL	
CHECKED BY: GRP	
DATE: 03.27.26 LIC. NO.: 52706	

REVISIONS	
04.24.26	CITY COMMENTS

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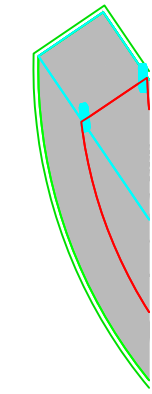
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ELM CREEK CENTER
 21355 136TH AVENUE N
 ROGERS, MINNESOTA

EXISTING CONDITIONS &
 REMOVALS

PROJECT: 91228
SHEET NO. C4 of C10

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- REFERENCE NOTES:
- ① PROPOSED BUILDING (VERIFY WITH ARCHITECTURAL PLANS)
 - ② PROPOSED TRASH ENCLOSURE
 - ③ B612 CURB & GUTTER PER DETAIL STR-1A
 - ④ CURB TRANSITION
 - ⑤ HANDICAP SIGN PER 5/C3
 - ⑥ BITUMINOUS PAVEMENT PER 3/C3 AND 4/C3
 - ⑦ 0" HEIGHT CURB
 - ⑧ B612 TIPOUT CURB & GUTTER PER 3/C2
 - ⑨ 8 FT WIDE PAINTED ACCESS AISLE 45° 4 INCH WHITE CROSS HATCHING
 - ⑩ CONCRETE SIDEWALK PER 1/C3
 - ⑪ PROPOSED RETAINING WALL PER 5/C2

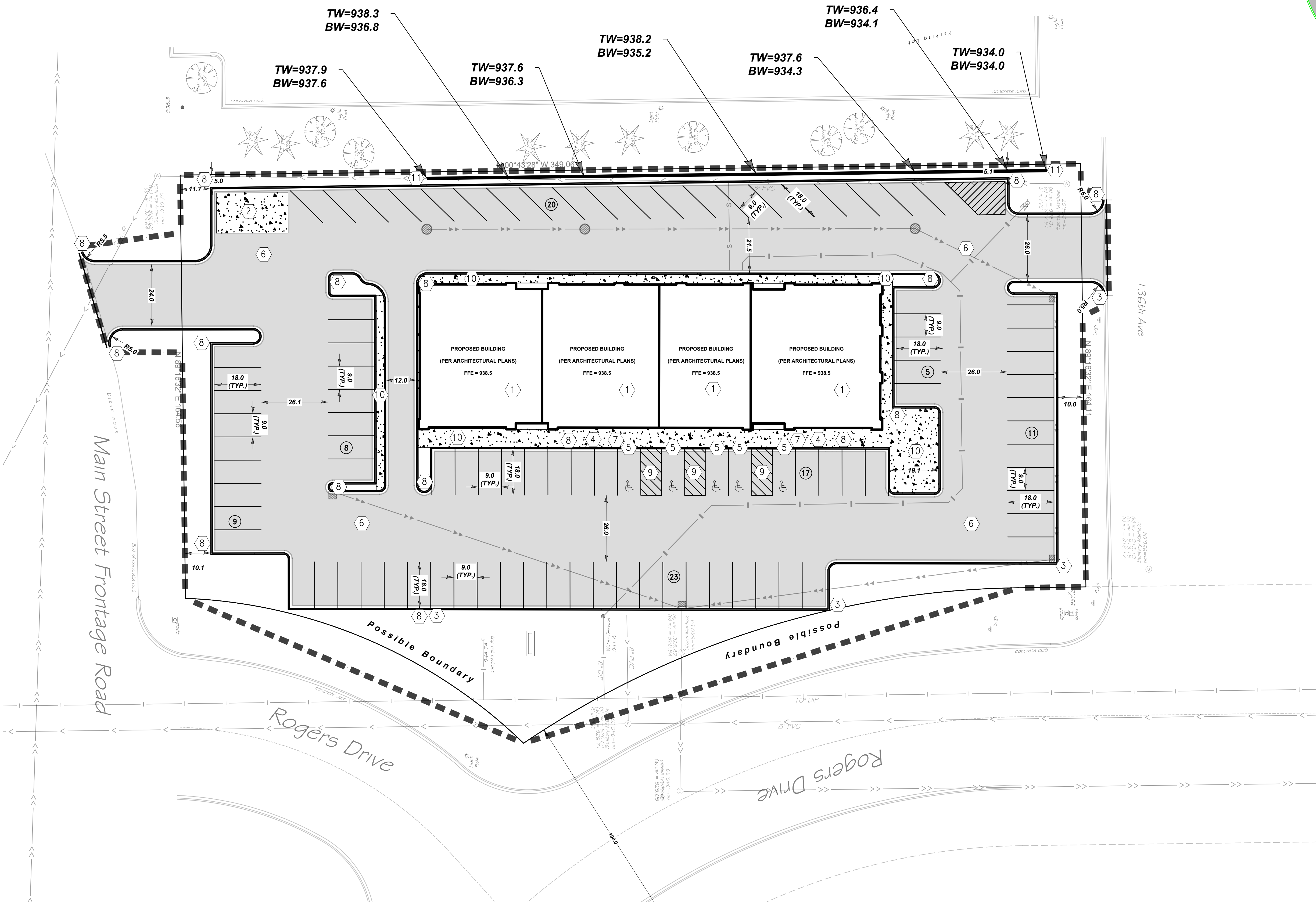
SITE DATA:
 LOT AREA = 1.46 ACRES
 DISTURBED AREA = 1.57 ACRES
 EXISTING IMPERVIOUS AREA = 0.00 ACRES
 EXISTING PERVIOUS AREA = 1.46 ACRES
 PROPOSED IMPERVIOUS AREA = 1.20 ACRES
 PROPOSED PERVIOUS AREA = 0.26 ACRES
 BUILDING COVERAGE = 0.21 ACRES = 14.4%
 EXISTING PARKING STALLS = 0 (INCLUDES 0 HANDICAP)
 PROPOSED PARKING STALLS = 93 (INCLUDES 5 HANDICAP)

LEGEND

- EXISTING BUILDING
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED TIPOUT CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING SIGN
- PROPOSED PARKING STRIPE
- NUMBER OF PARKING STALLS



0 20 40
SCALE IN FEET



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DRAWN BY: ABL	
CHECKED BY: GRP	
DATE: 03.27.26	

REVISIONS	
04.24.26	CITY COMMENTS

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 LAND SURVEYING & ENGINEERING
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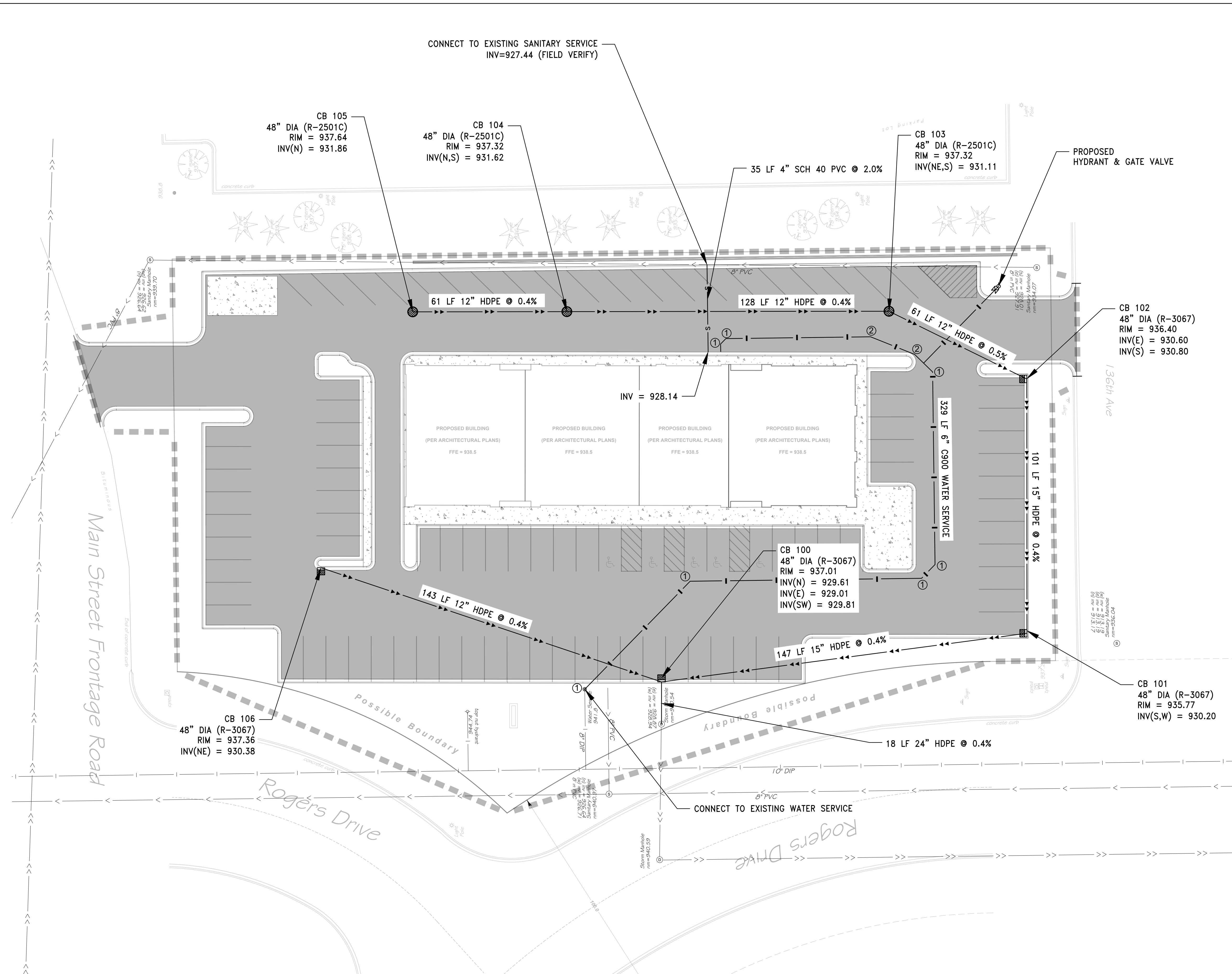
THIELEN & GREEN
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 LINO LAKES, MINNESOTA 55014
 763.553.7927

ELM CREEK CENTER
 21355 136TH AVENUE N
 ROGERS, MINNESOTA

SITE PLAN

PROJECT: 91228
 SHEET NO.
 C5 of C10

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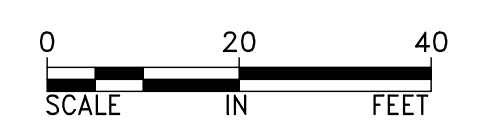


REFERENCE NOTES:
 ① 45° BEND
 ② 22.5° BEND

UTILITY NOTES:
 1. WATER SERVICES SHALL MAINTAIN A MINIMUM OF 8.0 FT OF COVER.
 2. STORM SEWER SHALL HAVE NO SEEMS WITHIN 10 HORIZONTAL FEET OF CROSSING UTILITIES.

LEGEND

- >>->>- EXISTING STORM SEWER
- |-|-|- EXISTING WATERMAIN
- >->- EXISTING SANITARY SEWER
- >>>->>- PROPOSED STORM SEWER
- s-s-s- PROPOSED SANITARY SERVICE
- ⊕ EXISTING HYDRANT
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FES
- ⊙ PROPOSED FES
- ⊙ PROPOSED VALVE



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ELM CREEK CENTER
 21355 136TH AVENUE N
 ROGERS, MINNESOTA

UTILITY PLAN

PROJECT: 91228
SHEET NO. C7 of C10

PROJECT INFORMATION:

DISTURBED AREA: 1.57 ACRES
 EROSION CONTROL SUPERVISOR CONTACT: TBD
 IMPAIRED WATERS WITHIN ONE (1) MILE THAT SITE DRAINS TO: NONE

A BUILDING AND ASSOCIATED PARKING LOT IS PROPOSED AT 21335 136TH/ AVENUE NORTH IN ROGERS, MN. THE APPROXIMATE 1.5-ACRE SITE IS CURRENTLY VACANT THAT CONSISTS OF OPEN SPACE AND FEW TREES. THERE ARE COMMERCIAL BUILDINGS TO THE WEST AND MAIN STREET FRONTAGE ROAD TO THE SOUTH, 136TH/ AVENUE N TO THE NORTH, AND ROGERS DR TO THE EAST. CURRENTLY MOST OF THE STORMWATER RUNOFF IS DIRECTED VIA SURFACE FLOW TO THE WEST. THE REMAINING OF THE STORMWATER RUNOFF FLOWS TO THE STREETS TO THE SOUTH, EAST, AND NORTH. THE EXISTING DRAINAGE CONDITIONS ARE SHOWN IN FIGURE 1.

THE PROPOSED IMPROVEMENTS WILL INCLUDE A BUILDING AND PARKING LOT WITH A PROPOSED LAND DISTURBANCE OF 1.57 ACRES. REGIONAL PONDING HAS BEEN PROVIDED TO TREAT THE STORMWATER AND MEET RATE, VOLUME, AND WATER QUALITY REQUIREMENTS. THEREFORE, NO ON-SITE STORMWATER FACILITIES WILL BE REQUIRED. MAJORITY OF THE SITE WILL BE ROUTED VIA SURFACE FLOW AND STORM SEWER TO THE EXISTING STORM SEWER THAT WILL DISCHARGE TO OFF-SITE REGIONAL PONDING. THE REMAINING STORMWATER RUNOFF WILL CONTINUE TO RUN OFF TO THE NORTH AND WEST. FIGURE 2 SHOWS THE PROPOSED DRAINAGE CONDITIONS.

KNOWLEDGEABLE PERSON/CHAIN OF RESPONSIBILITY

THE CONTRACTOR SHALL IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, INCLUDING: INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs. THE GENERAL CONTRACTOR SHALL ATTACH CONTACT INFORMATION TO THE SWPPP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL ESTABLISH A CHAIN OF RESPONSIBILITY FOR ALL CONTRACTORS AND SUB-CONTRACTORS ON SITE TO ENSURE THE SWPPP IS BEING PROPERLY IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL PROVIDE THE CHAIN OF RESPONSIBILITY TO THE OWNER AND ATTACH TO THE SWPPP PRIOR TO ANY CONSTRUCTION ACTIVITY.

STORMWATER POLLUTION PREVENTION PLAN NOTES:

1. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES CONSTRUCTION STORM WATER PERMIT.
2. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. BMP'S SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES FOR THE PROJECT.
4. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.
5. THE CONTRACTOR SHALL KEEP THE SWPPP, INCLUDING ALL AMENDMENTS AND INSPECTION AND MAINTENANCE RECORDS ON SITE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL DOCUMENT AMENDMENTS TO THE SWPPP AS A RESULT OF INSPECTION(S) WITHIN 7 DAYS.
7. THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITHIN THIRTY (30) DAYS OF ACHIEVING PERMANENT STABILIZATION.
8. THE CONTRACTOR SHALL SCHEDULE THEIR OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
9. THE INFILTRATION AREAS SHALL BE PROTECTED AND HAVE RIGOROUS EROSION AND SEDIMENT CONTROLS IF GRADED WITHIN 3 FEET OF THE FINAL GRADES. THE CONTROLS SHALL KEEP RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREAS UNTIL FINAL STABILIZATION IS COMPLETE.
10. STABILIZE AREAS THAT ARE WITHIN 200 FEET OF AND DRAIN TO PUBLIC WATER WITHIN 24 HOURS DURING FISH SPAWNING TIMES.
11. WATER SHALL BE USED, IF NECESSARY, FOR DUST CONTROL.
12. ALL EROSION CONTROL SHALL CONFORM TO THE MNDOT EROSION CONTROL HANDBOOK.
13. INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED, WRITTEN AUTHORIZATION MUST BE RECEIVED BY THE CITY ENGINEER IN ORDER TO REMOVE THAT PARTICULAR INLET CONTROL.
14. ALL EXPOSED SOILS, INCLUDING STOCKPILES, SHALL BE TEMPORARILY STABILIZED PER MNDOT SPECIFICATION 2575 WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. STABILIZATION OF ALL EXPOSED AREAS MUST BE INITIATED IMMEDIATELY.
15. STOCKPILES SHALL NOT BE PLACED ON ROADS, DRIVEWAYS, SURFACE WATERS OR SWALES. EFFECTIVE SEDIMENT CONTROL SHALL BE INSTALLED IMMEDIATELY AROUND ALL SOIL STOCKPILES.
16. REMOVE ALL SOILS AND SEDIMENT TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC ROADS OR PRIVATE DRIVEWAYS ON A DAILY BASIS OR AS NEEDED.
17. THE NORMAL WETTED PERIMETER WITHIN 200 LINEAL FEET OF ANY PROJECT DISCHARGE LOCATION SHALL BE STABILIZED WITHIN 24 HOURS OF CONNECTING TO THE DISCHARGE LOCATION.
18. IF DEWATERING IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL DEWATERING AND SURFACE DRAINAGE REGULATIONS. THE APPROPRIATE PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCING DEWATERING ACTIVITIES.
19. TURBID AND SEDIMENT-LADEN WATERS SHALL BE DIRECTED TO A TEMPORARY SEDIMENT POND PRIOR TO DISCHARGING. A VISUAL CHECK SHALL BE CONDUCTED PRIOR TO DISCHARGING TREATED WATER FROM THE SEDIMENT POND TO ENSURE NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE.
20. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE WITHIN THIRTY (30) DAYS AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.
21. THE CORRECTIVE ACTION MUST BE COMPLETED BY THE NEXT BUSINESS DAY AFTER DISCOVERY WHEN PERIMETER CONTROL DEVICES BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-HALF (1/2) THE HEIGHT OF THE DEVICE.
22. PERMITEE MUST MINIMIZE SOIL COMPACTION. METHODS OF MINIMIZING SOIL COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT AND STAYING OFF AREAS TO BE LEFT UNCOMPACTED. AREAS OF COMPACTED SOIL WILL BE REMOVED OR LOOSENEED VIA TILLING TO A DEPTH OF NO LESS THAN 18 INCHES.
23. SECTIONS 5.11-5.16, 5.18, & 5.22 OF THE 2023 CONSTRUCTION STORMWATER GENERAL PERMIT DO NOT APPLY.

TRAINING DOCUMENTATION:

SWPPP DESIGNER: JEFF PRASCH (DEMARC LAND SURVEYING & ENGINEERING) – "DESIGN OF CONSTRUCTION SWPPP" TRAINING EXPIRES MAY 31, 2026.

THE CONTRACTOR (OPERATOR) SHALL ADD TO THE SWPPP TRAINING RECORDS FOR THE FOLLOWING PERSONNEL:

- INDIVIDUALS OVERSEEING THE IMPLEMENTATION OF, REVISING, AND AMENDING THE SWPPP
- INDIVIDUALS PERFORMING INSPECTIONS
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPs

EXPECTED SEQUENCE OF CONSTRUCTION

1. INSTALL ROCK STABILIZING EXIT(S), PERIMETER CONTROL, INLET CONTROL AND STABILIZE DOWN GRADIENT BOUNDARIES.
2. REMOVE PAVEMENT AREAS TO BE RECONSTRUCTED.
3. RELOCATE PRIVATE UTILITIES.
4. COMPLETE SITE GRADING.
5. APPLY EARLY APPLICATION OF BASE COURSE ON PARKING SECTION.
6. INSTALL CURB AND GUTTER, AND PAVING.
7. COMPLETE FINAL GRADING AND PERMANENT STABILIZATION.
8. CONSTRUCT BUILDING EXPANSION.
9. REMOVE EROSION AND SEDIMENT CONTROL BMPs AFTER PERMANENT STABILIZATION IS ACHIEVED.

TEMPORARY SEDIMENT BASINS

1. THE CONTRACTOR SHALL INSTALL SEDIMENT BASIN(S) REQUIRED BY THE NPDES CONSTRUCTION PERMIT IF FIVE (5) OR MORE DISTURBED ACRES DISCHARGE TO A COMMON LOCATION.
2. TEMPORARY SEDIMENT BASIN OUTLETS SHALL BE CONSTRUCTED TO PREVENT SHORT-CIRCUITING AND PREVENT THE DISCHARGE OF FLOATING DEBRIS.
3. BASINS MUST HAVE THE ABILITY TO ALLOW COMPLETE DRAWDOWN, INCLUDE A STABILIZED EMERGENCY OVERFLOW, WITHDRAW WATER FROM THE SURFACE, AND PROVIDE ENERGY DISSIPATION AT THE OUTLET.
4. TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED WITH ENERGY DISSIPATION AT ANY BASIN OUTLET TO PREVENT SOIL EROSION.
5. SEDIMENT BASINS MUST BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONES, AND MUST BE DESIGNED TO AVOID THE DRAINING WATER FROM WETLANDS.
6. BASINS SHALL BE SIZED ACCORDING TO THE CONSTRUCTION STORMWATER GENERAL PERMIT REQUIREMENTS. CALCULATIONS SHALL BE PROVIDED WITH THE SWPPP.
7. SEDIMENT BASINS SHALL NOT BE PLACED IN FUTURE INFILTRATION AREAS.
8. SEDIMENT BASINS SHALL BE DRAINED AND SEDIMENT REMOVED WHEN IT REACHES ½ THE STORAGE VOLUME WITHIN 72 HOURS.

INSPECTIONS AND MAINTENANCE

1. ALL INSPECTIONS, MAINTENANCE, REPAIRS, REPLACEMENTS AND REMOVAL OF BMPs SHALL BE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS.
2. THE CONTRACTOR SHALL COMPLETE SITE INSPECTIONS, AND BMP MAINTENANCE TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS.
3. THE CONTRACTOR SHALL PROVIDE A TRAINED PERSON TO INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL INSPECTIONS MUST BE RECORDED IN WRITING WITHIN 24 HOURS OF CONDUCTING THE INSPECTIONS AND THE RECORDS MUST BE RETAINED WITH THE SWPPP. IF ANY DISCHARGE FROM THE SITE IS OBSERVED THE DISCHARGE MUST BE DESCRIBED AND PHOTOGRAPHED.
4. TEMPORARY AND PERMANENT SEDIMENT BASINS SHALL BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES ½ THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.
5. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANOR AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

POLLUTION PREVENTION MANAGEMENT MEASURES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MANAGEMENT MEASURES.
2. ALL POLLUTION PREVENTION MEASURES ARE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL VISITORS AND/OR PERSONNEL ON-SITE OF THE POLLUTION PREVENTION MANAGEMENT MEASURES. POLLUTION PREVENTION MANAGEMENT MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A. SOLID WASTE SUCH AS COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, CEMENT PRODUCT WASTE, FLOATING DEBRIS, PAPER, PLASTIC, CONSTRUCTION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY OFF SITE.
 - B. HAZARDOUS WASTES SUCH AS OILS, GASOLINE, PAINT, CEMENT BASED PRODUCTS, ETC. SHALL BE PROPERLY STORED WITH SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. IF STORED ON THE PROJECT SITE, THEY SHALL BE STORED IN RESTRICTED ACCESS AREAS TO PROTECT AGAINST VANDALISM. STORAGE AND DISPOSAL SHALL BE IN COMPLIANCE WITH THE MPCA.
 - C. CEMENT BASED PRODUCT WASHOUTS ARE NOT PERMITTED ON SITE.
 - D. THE CONTRACTOR SHALL INCLUDE SPILL KITS WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
 - E. THE CONTRACTOR SHALL ENSURE SPILLS ARE CONTAINED AND CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORMWATER CONVEYANCE SYSTEM SHALL BE REPORTED TO THE MINNESOTA DUTY OFFICER AT 1.800.422.0798.

FINAL STABILIZATION

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE ENTIRE SITE. FINAL STABILIZATION SHALL BE COMPLETED PER THE LANDSCAPE PLAN:
 - A. COMPLETION OF ALL CONSTRUCTION ACTIVITY.
 - B. INSTALLATION OF PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOTICE OF TERMINATION. PERMANENT COVER SHALL CONSIST OF 12 INCHES TOPSOIL, AND SOD, UNLESS OTHERWISE SPECIFIED.
 - C. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR LANDSCAPED AREAS. SEE LANDSCAPE PLAN FOR PERMANENT VEGETATION SCHEDULE.
 - D. CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEMS OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS AND IS OPERATING AS DESIGNED.
 - E. REMOVAL OF ALL SEDIMENT FROM CONVEYANCE SYSTEMS.
 - F. REMOVAL OF ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs.
 - G. FINAL STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH MNDOT 2018 SPECIFICATION 2575.

ESTIMATED EROSION CONTROL QUANTITIES	
SILT FENCE	1050 LF
STABILIZED ROCK EXIT	1 EACH
STORM DRAIN INLET PROTECTION	8 EACH

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CHECKED BY: GRP		
	JEFFREY A. PRASCH, P.E.	
	DATE: 03.27.26 LIC. NO.: 52706	

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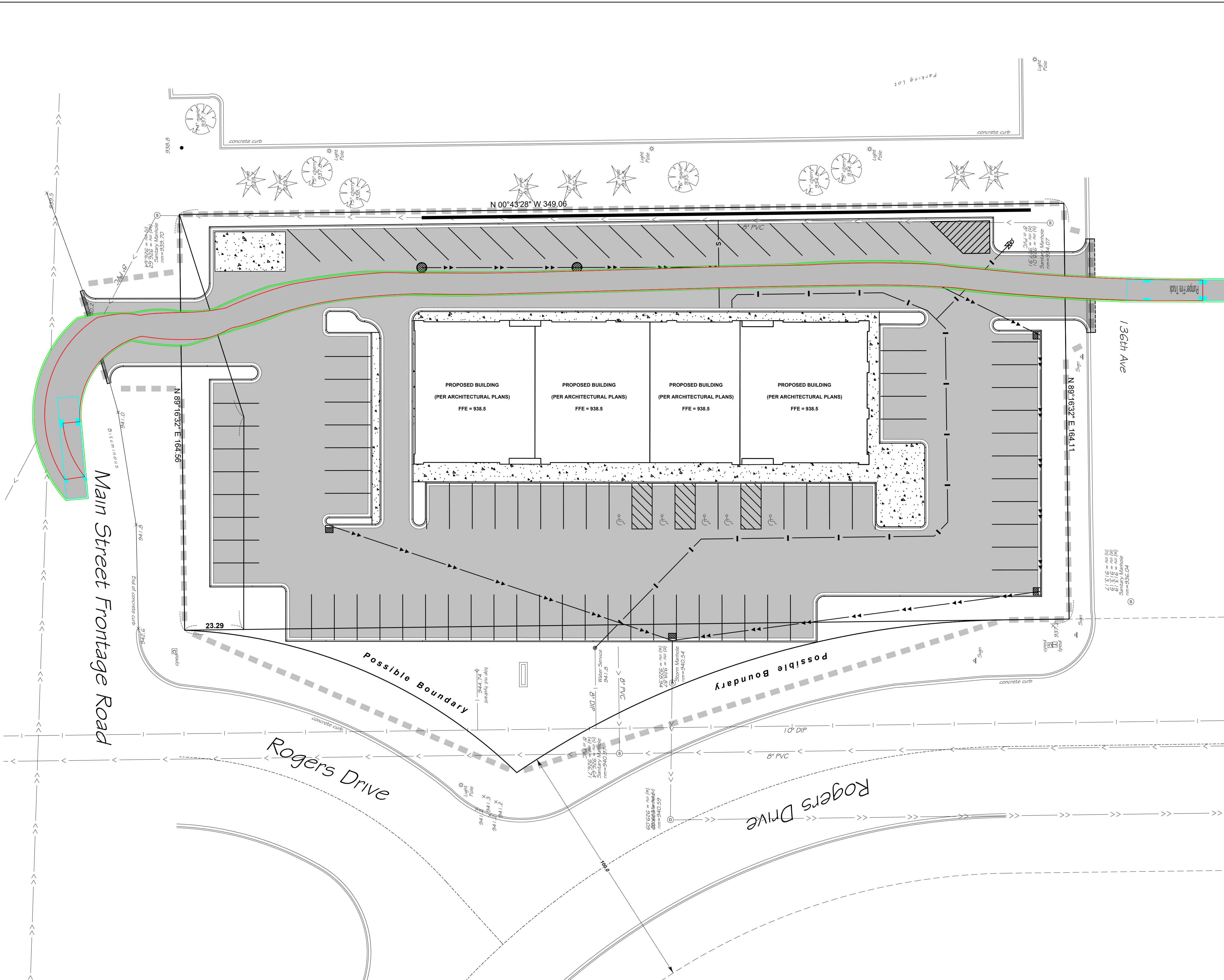
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ELM CREEK CENTER
 21355 136TH AVENUE N
 ROGERS, MINNESOTA

STORMWATER POLLUTION
 PREVENTION PLAN NOTES

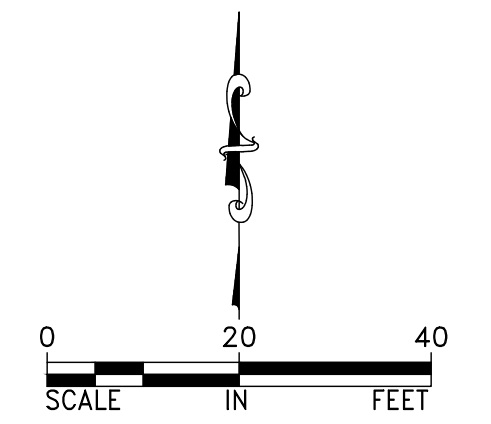
PROJECT: 91228
 SHEET NO.
 C9 of C10

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Pumper Fire Truck

Overall Length	40.000ft
Overall Body Height	8.167ft
Min Body Ground Clearance	7.745ft
Track Width	0.656ft
Lock-to-lock time	8.167ft
Max Wheel Angle	5.00s
	45.00°



DESIGNED BY: JAP
 DRAWN BY: ABL
 CHECKED BY: GRP

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JEFFREY A. PRASCH, P.E.
 DATE: 04.24.26 LIC. NO.: 52706

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ELM CREEK CENTER
 21355 136TH AVENUE N
 ROGERS, MINNESOTA

TRUCK TURNING EXHIBIT

PROJECT: 91228
 SHEET NO. C10 OF C10

STORM WATER MANAGEMENT PLAN

Elm Creek Center

21355 136th Avenue N

Rogers, Minnesota

March 27, 2026

Revised – April 24, 2026

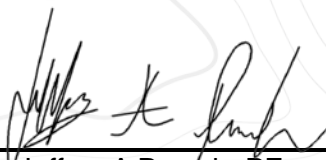
Prepared By:

Demarc Land Surveying & Engineering
7601 73rd Avenue North
Brooklyn Park, Minnesota 55428
763.560.3093

Prepared For:

Thielen & Green
7455 Village Drive, Suite #110
Lino Lakes, MN 55014

I hereby certify that this Plan, Specification or Report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.



Jeffrey A Prasch, PE
Project Engineer

52706

License Number

03.27.26

Date

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1.0 Project Overview

A building and associated parking lot is proposed at 21335 136th Avenue North in Rogers, MN. The approximate 1.5-acre site is currently vacant that consists of open space and few trees. There are commercial buildings to the west and Main Street Frontage Road to the south, 136th Avenue N to the north, and Rogers Dr to the east. Currently most of the stormwater runoff is directed via surface flow to the west. The remaining of the stormwater runoff flows to the streets to the south, east, and north. The existing drainage conditions are shown in **Figure 1**.

The proposed improvements will include a building and parking lot with a proposed land disturbance of 1.57 acres. Regional ponding has been provided to treat the stormwater and meet rate, volume, and water quality requirements. Therefore, no on-site stormwater facilities will be required. Majority of the site will be routed via surface flow and storm sewer to the existing storm sewer that will discharge to off-site regional ponding. The remaining stormwater runoff will continue to run off to the north and west. **Figure 2** shows the proposed drainage conditions.

2.0 Design Considerations

The City of Rogers (City) and the Elm Creek Watershed Management Commission (ECWMC) dictate the rate, volume, and water quality requirements for this site. There is off-site regional ponding that was sized to meet the rate, volume, and water quality requirements for the existing stub and storm sewer on the site. The on-site storm water system is based on their guidelines. The following design tools, methods, and considerations were used in the design of the on-site stormwater system:

- ▲ Rate and Volume Modeling Software – HydroCAD 10.20
- ▲ Rainfall Distribution – MSE 24-hour Type III
- ▲ Rainfall Data – NOAA Atlas 14 rainfall data as shown in **Figure 3**.
- ▲ Soil Conditions – Hydrologic Soil Group C based on Web Soil Survey shown in **Appendix H**.
- ▲ Infiltration Rate = 0.20 in/hr

3.0 Rate, Volume, and Water Quality Control

The existing regional pond has been designed to account for the development of this site per the City of Rogers and ECWMC. **Table 3.1** summarizes the discharge rates for each storm event.

Table 3.1 – Discharge Rate Summary

Discharge Node	Discharge Rate [cfs]					
	Storm Event					
	2-Year		10-Year		100-Year	
	Pre-	Post-	Pre-	Post-	Pre-	Post-
Total Offsite (6L)	2.06	5.25	4.64	8.15	10.67	14.19

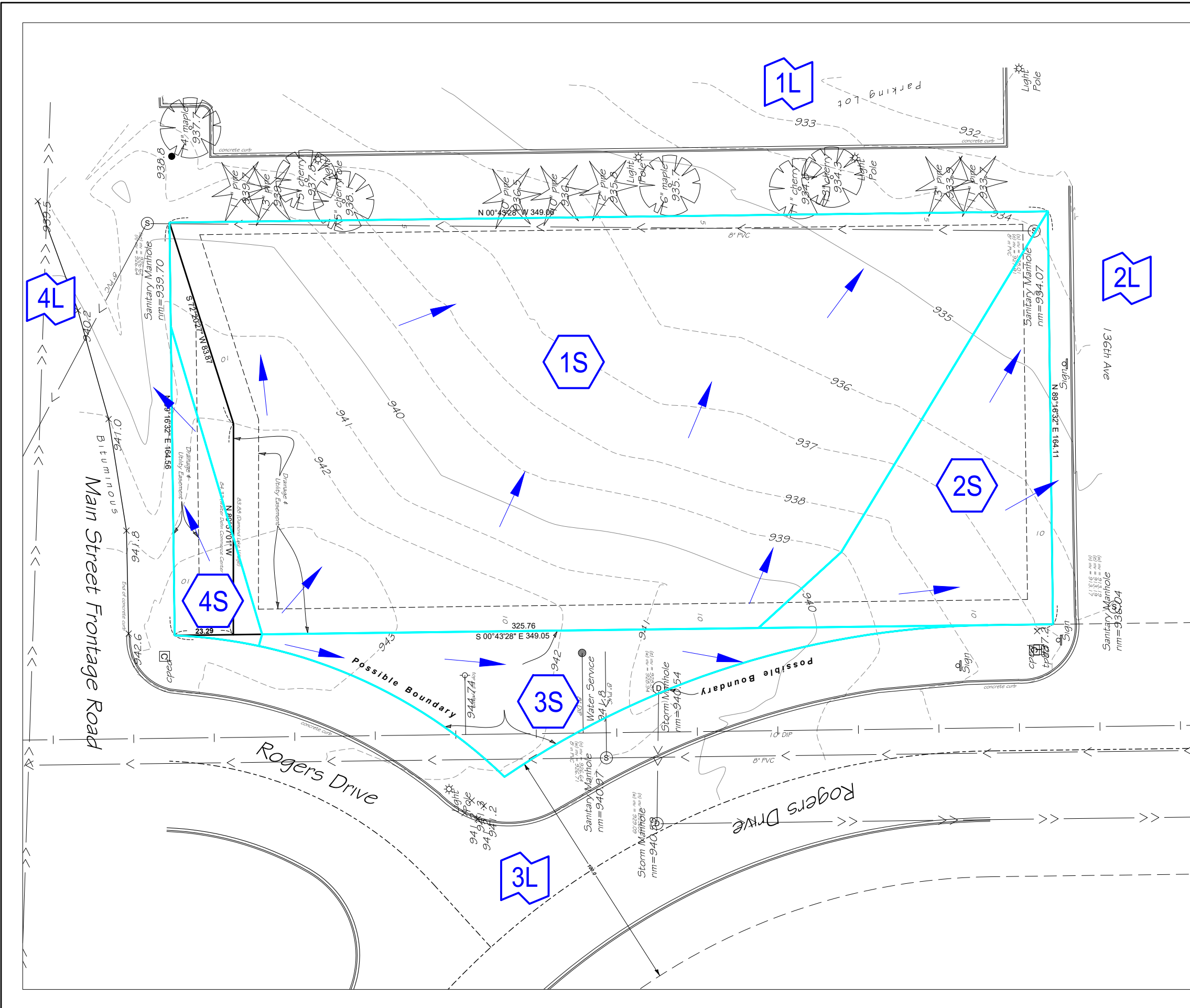
The HydroCAD results for the rate control are included in **Appendices B-G**.

4.0 Storm Sewer Design






The storm sewers were designed to convey the 10-year storm event peak discharge. The Rational Method Storm Sewer Calculations are shown in **Figure 4**.

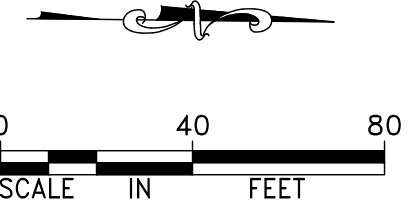
Appendix A

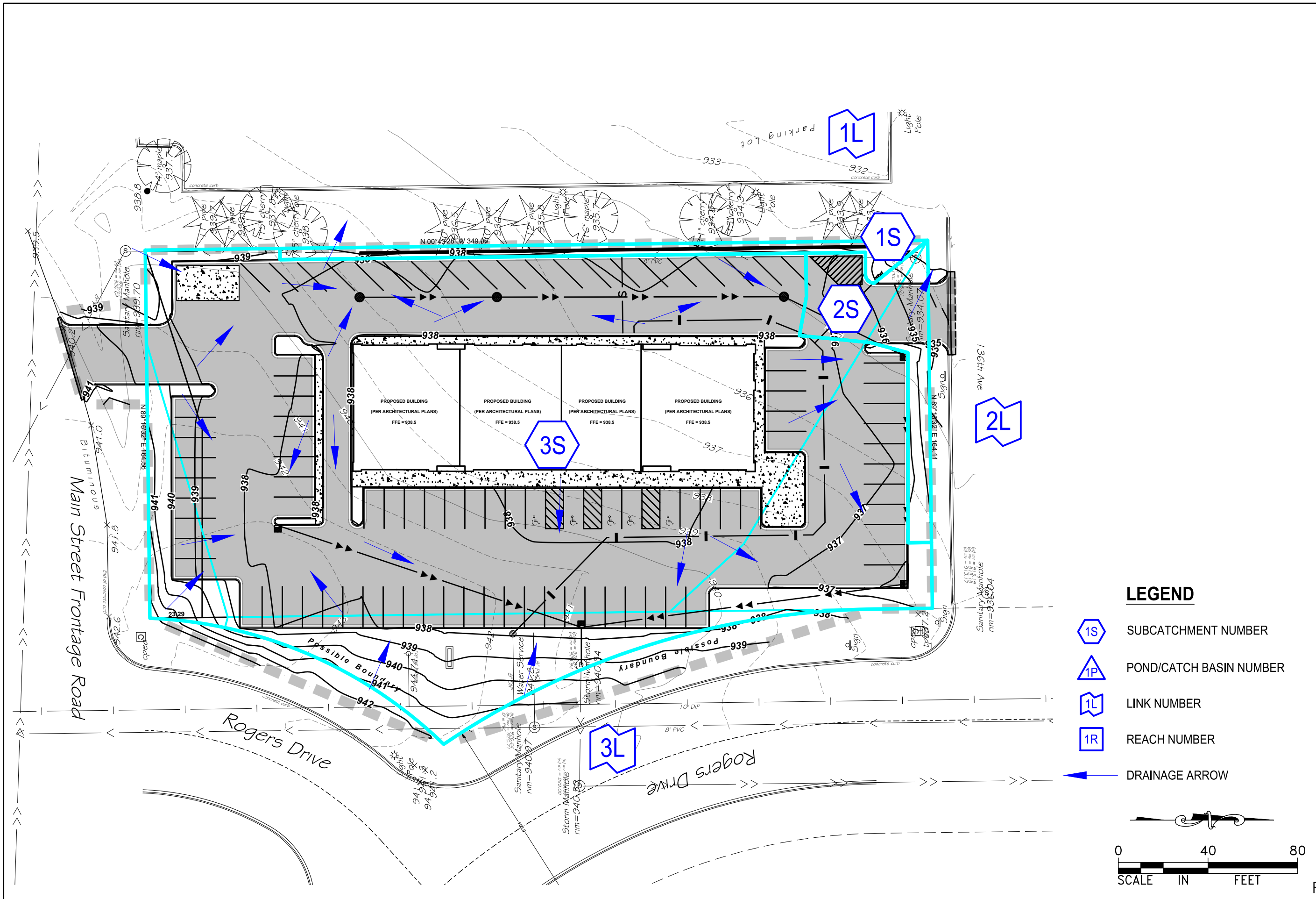
Figures



LEGEND

-  SUBCATCHMENT NUMBER
-  POND/CATCH BASIN NUMBER
-  LINK NUMBER
-  REACH NUMBER
-  DRAINAGE ARROW







POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerals](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.363 (0.283-0.468)	0.427 (0.332-0.551)	0.535 (0.415-0.691)	0.627 (0.484-0.813)	0.758 (0.570-1.00)	0.862 (0.636-1.15)	0.969 (0.694-1.31)	1.08 (0.747-1.48)	1.23 (0.824-1.72)	1.35 (0.882-1.90)
10-min	0.531 (0.414-0.686)	0.625 (0.487-0.807)	0.783 (0.608-1.01)	0.918 (0.709-1.19)	1.11 (0.835-1.47)	1.26 (0.931-1.68)	1.42 (1.02-1.92)	1.58 (1.09-2.17)	1.81 (1.21-2.52)	1.98 (1.29-2.78)
15-min	0.648 (0.505-0.836)	0.762 (0.594-0.985)	0.955 (0.741-1.24)	1.12 (0.865-1.45)	1.35 (1.02-1.80)	1.54 (1.14-2.05)	1.73 (1.24-2.34)	1.93 (1.33-2.65)	2.20 (1.47-3.07)	2.41 (1.58-3.39)
30-min	0.903 (0.704-1.17)	1.07 (0.832-1.38)	1.34 (1.04-1.74)	1.58 (1.22-2.05)	1.91 (1.44-2.54)	2.18 (1.61-2.91)	2.45 (1.75-3.31)	2.73 (1.89-3.75)	3.12 (2.08-4.34)	3.41 (2.23-4.80)
60-min	1.17 (0.910-1.51)	1.38 (1.07-1.78)	1.74 (1.35-2.25)	2.06 (1.59-2.67)	2.53 (1.92-3.38)	2.92 (2.16-3.92)	3.33 (2.39-4.53)	3.77 (2.61-5.20)	4.38 (2.94-6.13)	4.87 (3.18-6.84)
2-hr	1.43 (1.13-1.83)	1.68 (1.32-2.15)	2.13 (1.67-2.72)	2.54 (1.98-3.25)	3.15 (2.41-4.18)	3.66 (2.74-4.88)	4.21 (3.06-5.69)	4.81 (3.36-6.59)	5.65 (3.82-7.86)	6.33 (4.16-8.83)
3-hr	1.59 (1.26-2.02)	1.86 (1.48-2.37)	2.37 (1.87-3.01)	2.83 (2.23-3.61)	3.55 (2.75-4.71)	4.17 (3.14-5.54)	4.84 (3.54-6.52)	5.57 (3.92-7.62)	6.62 (4.50-9.19)	7.48 (4.94-10.4)
6-hr	1.87 (1.50-2.34)	2.18 (1.75-2.74)	2.78 (2.22-3.49)	3.34 (2.65-4.21)	4.22 (3.30-5.55)	4.98 (3.80-6.57)	5.81 (4.30-7.78)	6.73 (4.79-9.15)	8.06 (5.53-11.1)	9.14 (6.09-12.6)
12-hr	2.14 (1.74-2.66)	2.51 (2.04-3.12)	3.20 (2.58-3.97)	3.84 (3.08-4.78)	4.82 (3.80-6.26)	5.66 (4.35-7.38)	6.58 (4.90-8.70)	7.58 (5.43-10.2)	9.02 (6.24-12.3)	10.2 (6.84-14.0)
24-hr	2.47 (2.02-3.02)	2.86 (2.34-3.51)	3.59 (2.93-4.41)	4.26 (3.46-5.25)	5.30 (4.22-6.80)	6.18 (4.80-7.96)	7.13 (5.36-9.34)	8.17 (5.91-10.9)	9.67 (6.74-13.1)	10.9 (7.36-14.8)
2-day	2.88 (2.39-3.49)	3.26 (2.70-3.95)	3.97 (3.27-4.82)	4.64 (3.80-5.65)	5.68 (4.58-7.22)	6.58 (5.17-8.41)	7.57 (5.75-9.84)	8.66 (6.33-11.5)	10.2 (7.20-13.8)	11.5 (7.86-15.6)
3-day	3.15 (2.63-3.79)	3.54 (2.95-4.26)	4.26 (3.54-5.14)	4.94 (4.08-5.98)	6.00 (4.87-7.57)	6.92 (5.46-8.78)	7.92 (6.05-10.2)	9.02 (6.62-11.9)	10.6 (7.49-14.2)	11.9 (8.16-16.0)
4-day	3.36 (2.82-4.03)	3.78 (3.16-4.53)	4.54 (3.79-5.45)	5.25 (4.36-6.32)	6.34 (5.16-7.95)	7.28 (5.76-9.18)	8.29 (6.35-10.6)	9.39 (6.92-12.3)	11.0 (7.78-14.7)	12.3 (8.44-16.5)
7-day	3.88 (3.28-4.60)	4.40 (3.72-5.22)	5.31 (4.48-6.32)	6.13 (5.14-7.31)	7.34 (6.00-9.06)	8.34 (6.65-10.4)	9.40 (7.24-11.9)	10.5 (7.80-13.6)	12.1 (8.64-16.1)	13.4 (9.28-17.9)
10-day	4.37 (3.72-5.15)	4.96 (4.22-5.86)	5.98 (5.07-7.07)	6.87 (5.79-8.14)	8.15 (6.68-9.98)	9.20 (7.36-11.4)	10.3 (7.96-13.0)	11.4 (8.49-14.7)	13.0 (9.31-17.1)	14.3 (9.93-19.0)
20-day	5.95 (5.12-6.92)	6.66 (5.73-7.76)	7.83 (6.72-9.15)	8.83 (7.53-10.3)	10.2 (8.45-12.3)	11.3 (9.14-13.8)	12.4 (9.71-15.5)	13.6 (10.2-17.3)	15.2 (10.9-19.7)	16.4 (11.5-21.6)
30-day	7.34 (6.37-8.49)	8.17 (7.08-9.46)	9.53 (8.23-11.0)	10.6 (9.14-12.4)	12.2 (10.1-14.5)	13.3 (10.8-16.1)	14.5 (11.3-17.8)	15.7 (11.8-19.7)	17.2 (12.4-22.2)	18.3 (12.9-24.0)
45-day	9.16 (8.00-10.5)	10.2 (8.91-11.7)	11.9 (10.3-13.7)	13.2 (11.4-15.3)	15.0 (12.5-17.6)	16.3 (13.3-19.4)	17.5 (13.8-21.4)	18.7 (14.1-23.4)	20.2 (14.7-25.9)	21.3 (15.1-27.8)
60-day	10.7 (9.42-12.3)	12.0 (10.6-13.8)	14.1 (12.3-16.1)	15.6 (13.6-18.0)	17.7 (14.7-20.7)	19.1 (15.6-22.7)	20.5 (16.1-24.8)	21.7 (16.4-27.0)	23.3 (16.9-29.6)	24.3 (17.2-31.6)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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PF graphical

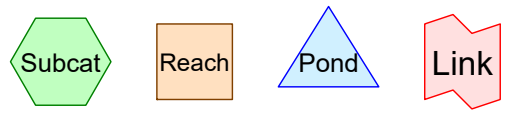
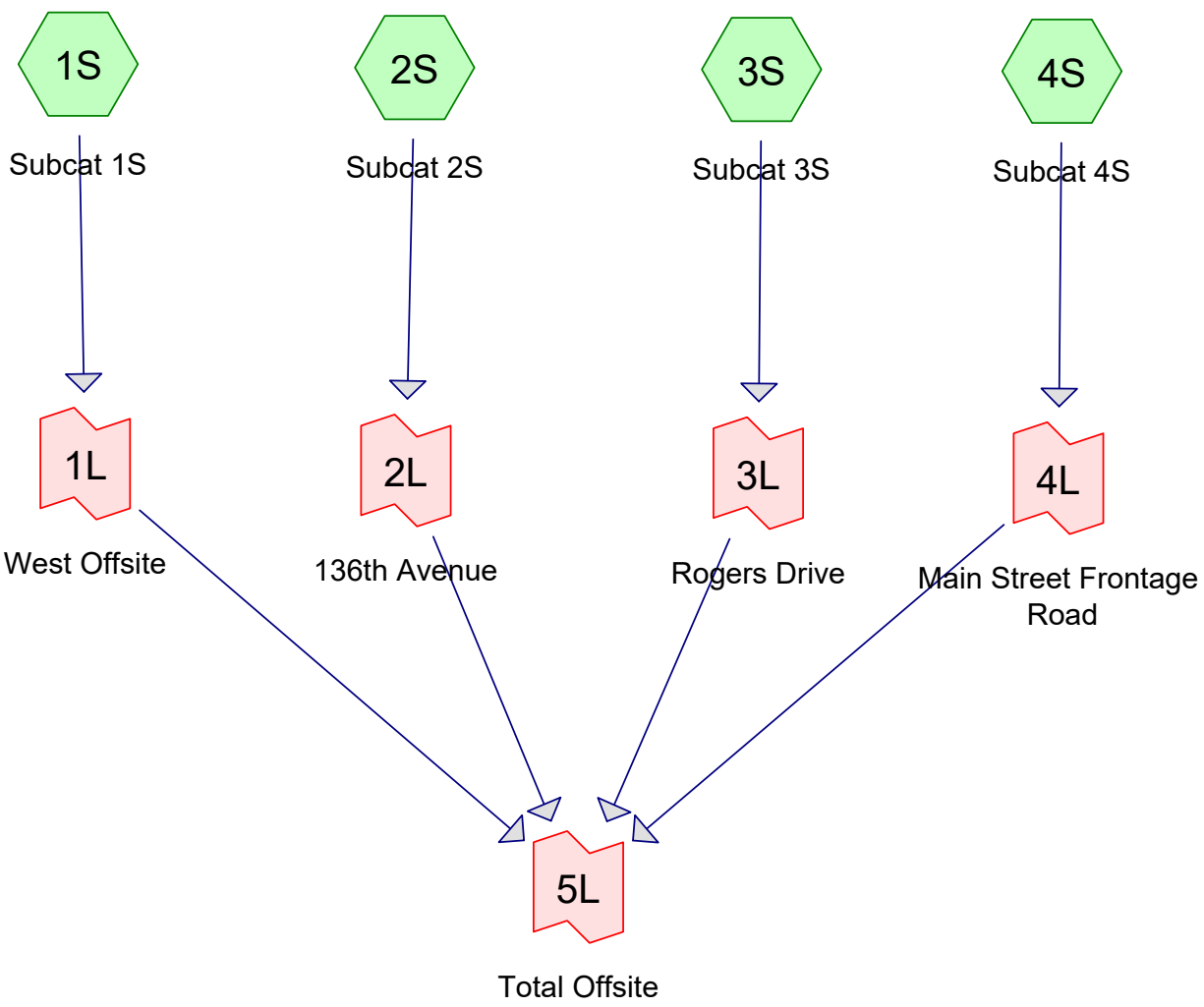
Figure 4: Rational Method Storm Sewer Calculations
Elm Creek Center - Rogers, Minnesota

Storm Frequency: 10-Year
Atlas 14 MNDOT IDF Region: Hennepin
Type of Pipe: RCP
Manning's Roughness Coefficient (n), RCP: 0.0120

Structure			Pipe		Area of Subcatchment, A (acre)	Runoff Coefficient, C	C x A	Σ C x A	Time of Concentration (min)				Intensity (in/hr)	Runoff, Q (cfs)	Capacity Full (cfs)	Minimum Required Pipe Diameter (in)	Design Pipe Diameter (in)	Velocity of Design Full Pipe, V (fps)
Sewer Inlet	To Node	Subcatchment for T _{inlet}	Length, L (ft)	Slope (ft/ft)					T _{inlet}	T _{pipe}	T _{controlling for Intensity}	T _{downstream node [T_{controlling} + T_{pipe}]}						
Proposed Storm Sewer to Existing Storm																		
CB 105	CB 104	1S	61	0.0040	0.17	0.90	0.15	0.15	7.00	0.33	7.00	7.33	7.23	1.10	2.45	8.90	12	3.12
CB 104	CB 103	1S	128	0.0040	0.16	0.90	0.14	0.29	7.00	0.68	7.33	8.01	7.10	2.08	2.45	11.30	12	3.12
CB 103	CB 102	1S	61	0.0050	0.10	0.90	0.09	0.39	7.00	0.29	8.01	8.30	6.85	2.64	2.74	11.85	12	3.48
CB 102	CB 101	1S	101	0.0040	0.09	0.90	0.08	0.47	7.00	0.47	8.30	8.77	6.74	3.16	4.44	13.22	15	3.62
CB101	CB100	1S	147	0.0040	0.19	0.90	0.17	0.63	7.00	0.68	8.77	9.45	6.58	4.18	4.44	14.68	15	3.62
CB 106	CB 100	1S	143	0.0040	0.27	0.90	0.24	0.24	7.00	0.76	7.00	7.76	7.23	1.76	2.45	10.61	12	3.12
CB 100	CB EXISTING	1S	18	0.0040	0.48	0.90	0.43	1.31	7.00	0.06	9.45	9.51	6.35	8.33	15.54	19.01	24	4.95

Appendix B

Existing Conditions 2-Year Summary



Routing Diagram for Existing Conditions
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Existing Conditions

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Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
63,380	74	>75% Grass cover, Good, HSG C (1S, 2S, 3S, 4S)
63,380	74	TOTAL AREA

Existing Conditions

MSE 24-hr 3 2-Year Rainfall=2.86"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv.
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Subcat 1S	Runoff Area=46,534 sf 0.00% Impervious Runoff Depth=0.82" Tc=7.0 min CN=74/0 Runoff=1.51 cfs 3,182 cf
Subcatchment 2S: Subcat 2S	Runoff Area=8,615 sf 0.00% Impervious Runoff Depth=0.82" Tc=7.0 min CN=74/0 Runoff=0.28 cfs 589 cf
Subcatchment 3S: Subcat 3S	Runoff Area=6,031 sf 0.00% Impervious Runoff Depth=0.82" Tc=7.0 min CN=74/0 Runoff=0.20 cfs 412 cf
Subcatchment 4S: Subcat 4S	Runoff Area=2,199 sf 0.00% Impervious Runoff Depth=0.82" Tc=7.0 min CN=74/0 Runoff=0.07 cfs 150 cf
Link 1L: West Offsite	Inflow=1.51 cfs 3,182 cf Primary=1.51 cfs 3,182 cf
Link 2L: 136th Avenue	Inflow=0.28 cfs 589 cf Primary=0.28 cfs 589 cf
Link 3L: Rogers Drive	Inflow=0.20 cfs 412 cf Primary=0.20 cfs 412 cf
Link 4L: Main Street Frontage Road	Inflow=0.07 cfs 150 cf Primary=0.07 cfs 150 cf
Link 5L: Total Offsite	Inflow=2.06 cfs 4,335 cf Primary=2.06 cfs 4,335 cf

Total Runoff Area = 63,380 sf Runoff Volume = 4,335 cf Average Runoff Depth = 0.82"
100.00% Pervious = 63,380 sf 0.00% Impervious = 0 sf

Existing Conditions

MSE 24-hr 3 2-Year Rainfall=2.86"

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Summary for Subcatchment 1S: Subcat 1S

Runoff = 1.51 cfs @ 12.15 hrs, Volume= 3,182 cf, Depth= 0.82"
Routed to Link 1L : West Offsite

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.86"

Area (sf)	CN	Description
46,534	74	>75% Grass cover, Good, HSG C
46,534	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 2S: Subcat 2S

Runoff = 0.28 cfs @ 12.15 hrs, Volume= 589 cf, Depth= 0.82"
Routed to Link 2L : 136th Avenue

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.86"

Area (sf)	CN	Description
8,615	74	>75% Grass cover, Good, HSG C
8,615	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 3S: Subcat 3S

Runoff = 0.20 cfs @ 12.15 hrs, Volume= 412 cf, Depth= 0.82"
Routed to Link 3L : Rogers Drive

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.86"

Area (sf)	CN	Description
6,031	74	>75% Grass cover, Good, HSG C
6,031	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Existing Conditions

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MSE 24-hr 3 2-Year Rainfall=2.86"

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Summary for Subcatchment 4S: Subcat 4S

Runoff = 0.07 cfs @ 12.15 hrs, Volume= 150 cf, Depth= 0.82"
Routed to Link 4L : Main Street Frontage Road

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.86"

Area (sf)	CN	Description
2,199	74	>75% Grass cover, Good, HSG C
2,199	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Link 1L: West Offsite

Inflow Area = 46,534 sf, 0.00% Impervious, Inflow Depth = 0.82" for 2-Year event
Inflow = 1.51 cfs @ 12.15 hrs, Volume= 3,182 cf
Primary = 1.51 cfs @ 12.15 hrs, Volume= 3,182 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 2L: 136th Avenue

Inflow Area = 8,615 sf, 0.00% Impervious, Inflow Depth = 0.82" for 2-Year event
Inflow = 0.28 cfs @ 12.15 hrs, Volume= 589 cf
Primary = 0.28 cfs @ 12.15 hrs, Volume= 589 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 3L: Rogers Drive

Inflow Area = 6,031 sf, 0.00% Impervious, Inflow Depth = 0.82" for 2-Year event
Inflow = 0.20 cfs @ 12.15 hrs, Volume= 412 cf
Primary = 0.20 cfs @ 12.15 hrs, Volume= 412 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 4L: Main Street Frontage Road

Inflow Area = 2,199 sf, 0.00% Impervious, Inflow Depth = 0.82" for 2-Year event
Inflow = 0.07 cfs @ 12.15 hrs, Volume= 150 cf
Primary = 0.07 cfs @ 12.15 hrs, Volume= 150 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Existing Conditions

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MSE 24-hr 3 2-Year Rainfall=2.86"

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Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 5L: Total Offsite

Inflow Area = 63,380 sf, 0.00% Impervious, Inflow Depth = 0.82" for 2-Year event
Inflow = 2.06 cfs @ 12.15 hrs, Volume= 4,335 cf
Primary = 2.06 cfs @ 12.15 hrs, Volume= 4,335 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Appendix C

Existing Conditions 10-Year Summary

Existing Conditions

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MSE 24-hr 3 10-Year Rainfall=4.26"

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Summary for Subcatchment 1S: Subcat 1S

Runoff = 3.41 cfs @ 12.15 hrs, Volume= 6,940 cf, Depth= 1.79"
Routed to Link 1L : West Offsite

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

Area (sf)	CN	Description
46,534	74	>75% Grass cover, Good, HSG C
46,534	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 2S: Subcat 2S

Runoff = 0.63 cfs @ 12.15 hrs, Volume= 1,285 cf, Depth= 1.79"
Routed to Link 2L : 136th Avenue

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

Area (sf)	CN	Description
8,615	74	>75% Grass cover, Good, HSG C
8,615	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 3S: Subcat 3S

Runoff = 0.44 cfs @ 12.15 hrs, Volume= 900 cf, Depth= 1.79"
Routed to Link 3L : Rogers Drive

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

Area (sf)	CN	Description
6,031	74	>75% Grass cover, Good, HSG C
6,031	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Existing Conditions

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MSE 24-hr 3 10-Year Rainfall=4.26"

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Summary for Subcatchment 4S: Subcat 4S

Runoff = 0.16 cfs @ 12.15 hrs, Volume= 328 cf, Depth= 1.79"
Routed to Link 4L : Main Street Frontage Road

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

Area (sf)	CN	Description
2,199	74	>75% Grass cover, Good, HSG C
2,199	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Link 1L: West Offsite

Inflow Area = 46,534 sf, 0.00% Impervious, Inflow Depth = 1.79" for 10-Year event
Inflow = 3.41 cfs @ 12.15 hrs, Volume= 6,940 cf
Primary = 3.41 cfs @ 12.15 hrs, Volume= 6,940 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 2L: 136th Avenue

Inflow Area = 8,615 sf, 0.00% Impervious, Inflow Depth = 1.79" for 10-Year event
Inflow = 0.63 cfs @ 12.15 hrs, Volume= 1,285 cf
Primary = 0.63 cfs @ 12.15 hrs, Volume= 1,285 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 3L: Rogers Drive

Inflow Area = 6,031 sf, 0.00% Impervious, Inflow Depth = 1.79" for 10-Year event
Inflow = 0.44 cfs @ 12.15 hrs, Volume= 900 cf
Primary = 0.44 cfs @ 12.15 hrs, Volume= 900 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 4L: Main Street Frontage Road

Inflow Area = 2,199 sf, 0.00% Impervious, Inflow Depth = 1.79" for 10-Year event
Inflow = 0.16 cfs @ 12.15 hrs, Volume= 328 cf
Primary = 0.16 cfs @ 12.15 hrs, Volume= 328 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Existing Conditions

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MSE 24-hr 3 10-Year Rainfall=4.26"

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Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 5L: Total Offsite

Inflow Area = 63,380 sf, 0.00% Impervious, Inflow Depth = 1.79" for 10-Year event

Inflow = 4.64 cfs @ 12.15 hrs, Volume= 9,452 cf

Primary = 4.64 cfs @ 12.15 hrs, Volume= 9,452 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Appendix D

Existing Conditions 100-Year Summary

Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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Summary for Subcatchment 1S: Subcat 1S

Runoff = 7.84 cfs @ 12.14 hrs, Volume= 16,115 cf, Depth= 4.16"
 Routed to Link 1L : West Offsite

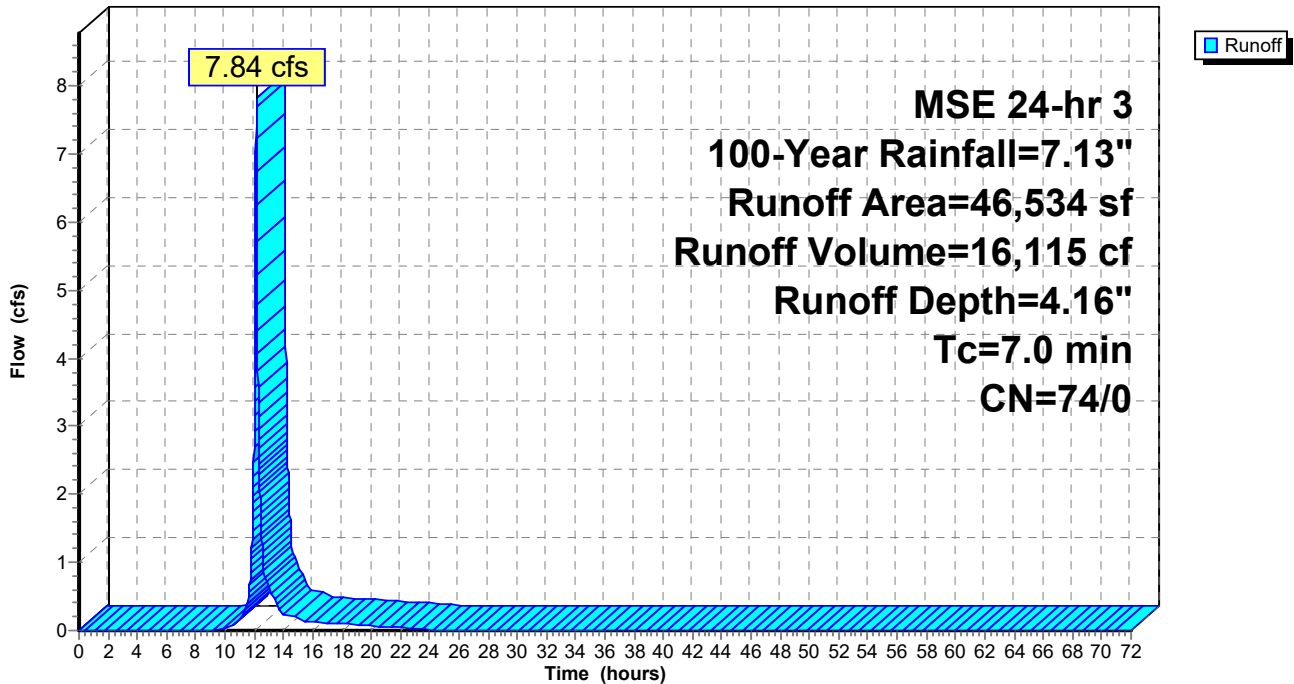
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100-Year Rainfall=7.13"

Area (sf)	CN	Description
46,534	74	>75% Grass cover, Good, HSG C
46,534	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment 1S: Subcat 1S

Hydrograph



Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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Summary for Subcatchment 2S: Subcat 2S

Runoff = 1.45 cfs @ 12.14 hrs, Volume= 2,983 cf, Depth= 4.16"
 Routed to Link 2L : 136th Avenue

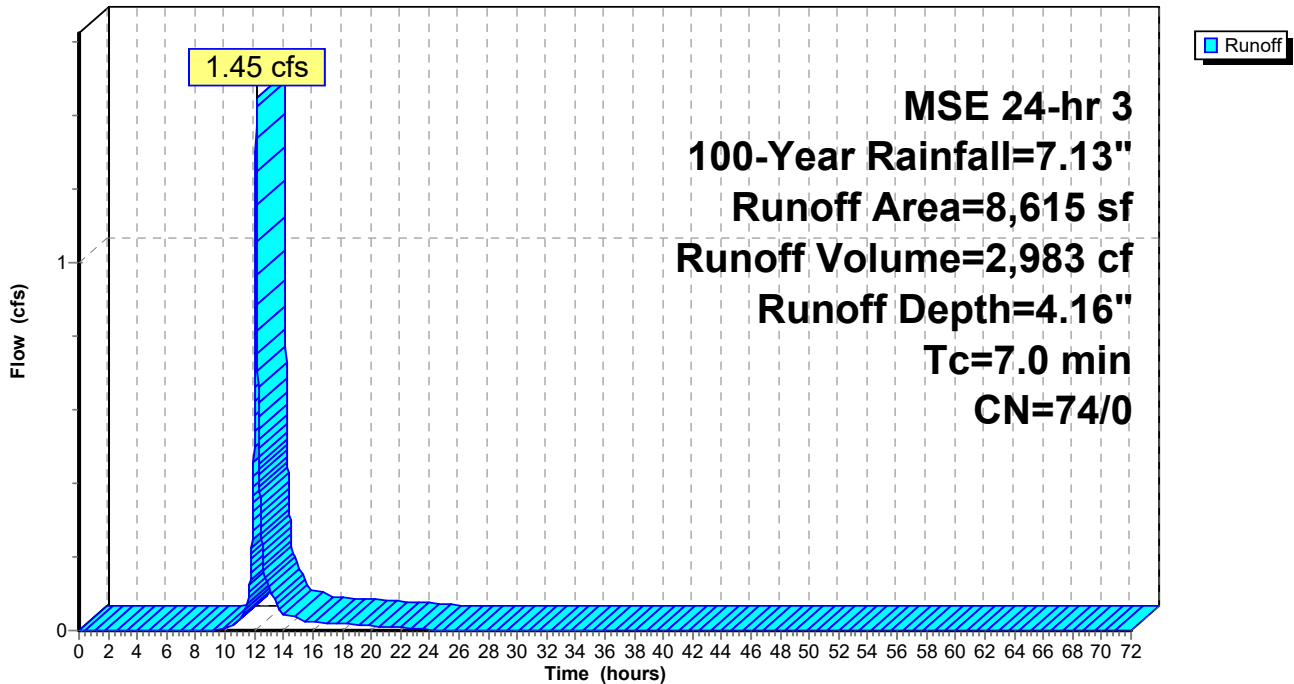
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100-Year Rainfall=7.13"

Area (sf)	CN	Description
8,615	74	>75% Grass cover, Good, HSG C
8,615	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment 2S: Subcat 2S

Hydrograph



Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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Summary for Subcatchment 3S: Subcat 3S

Runoff = 1.02 cfs @ 12.14 hrs, Volume= 2,089 cf, Depth= 4.16"

Routed to Link 3L : Rogers Drive

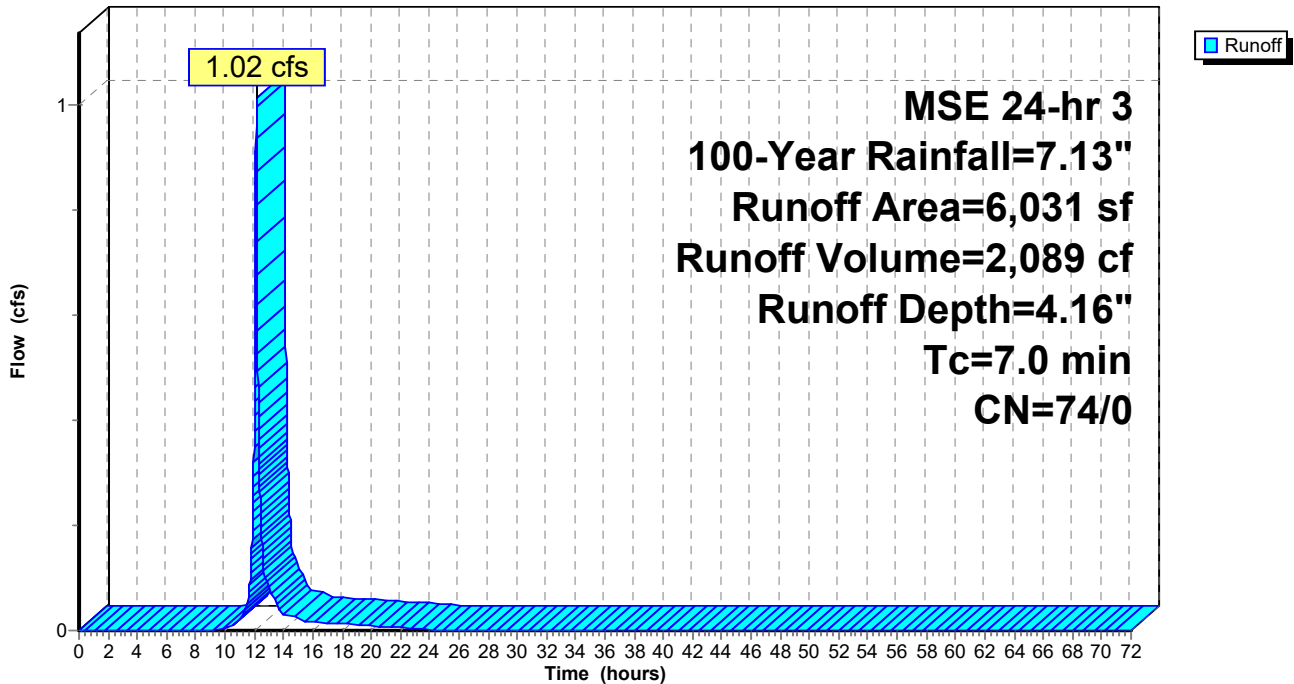
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100-Year Rainfall=7.13"

Area (sf)	CN	Description
6,031	74	>75% Grass cover, Good, HSG C
6,031	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment 3S: Subcat 3S

Hydrograph



Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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Summary for Subcatchment 4S: Subcat 4S

Runoff = 0.37 cfs @ 12.14 hrs, Volume= 762 cf, Depth= 4.16"
 Routed to Link 4L : Main Street Frontage Road

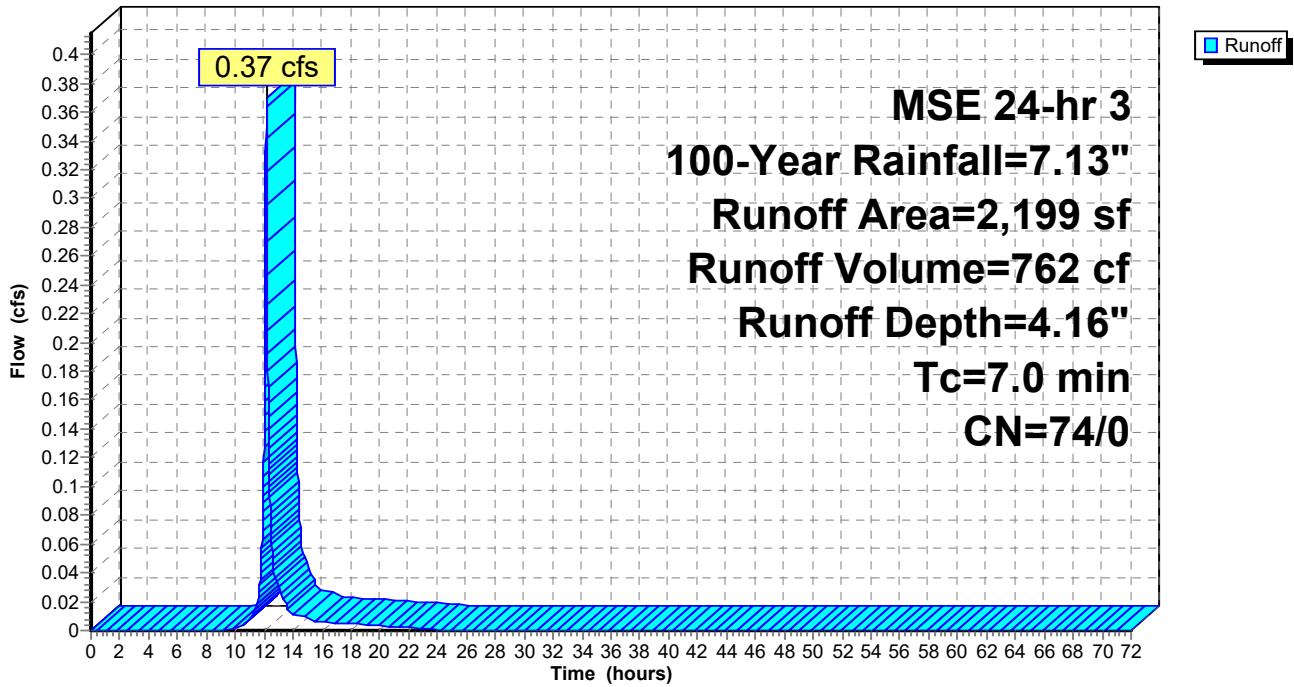
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100-Year Rainfall=7.13"

Area (sf)	CN	Description
2,199	74	>75% Grass cover, Good, HSG C
2,199	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment 4S: Subcat 4S

Hydrograph



Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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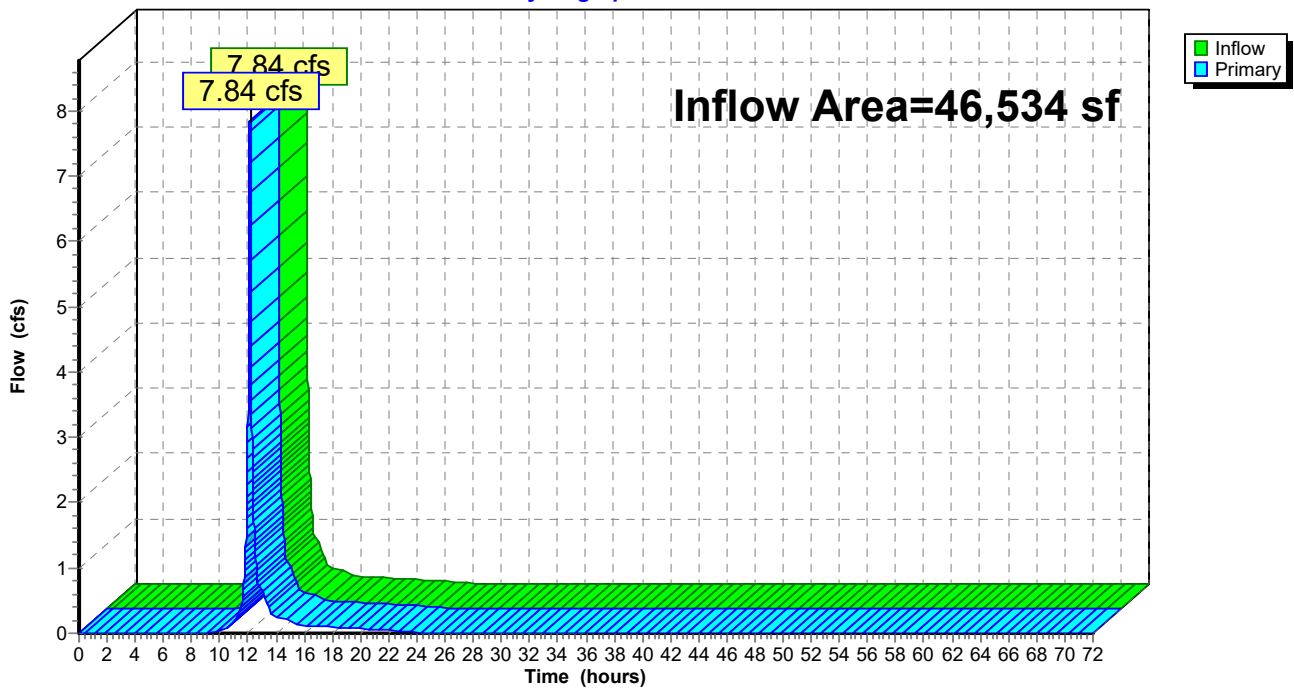
Summary for Link 1L: West Offsite

Inflow Area = 46,534 sf, 0.00% Impervious, Inflow Depth = 4.16" for 100-Year event
Inflow = 7.84 cfs @ 12.14 hrs, Volume= 16,115 cf
Primary = 7.84 cfs @ 12.14 hrs, Volume= 16,115 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 1L: West Offsite

Hydrograph



Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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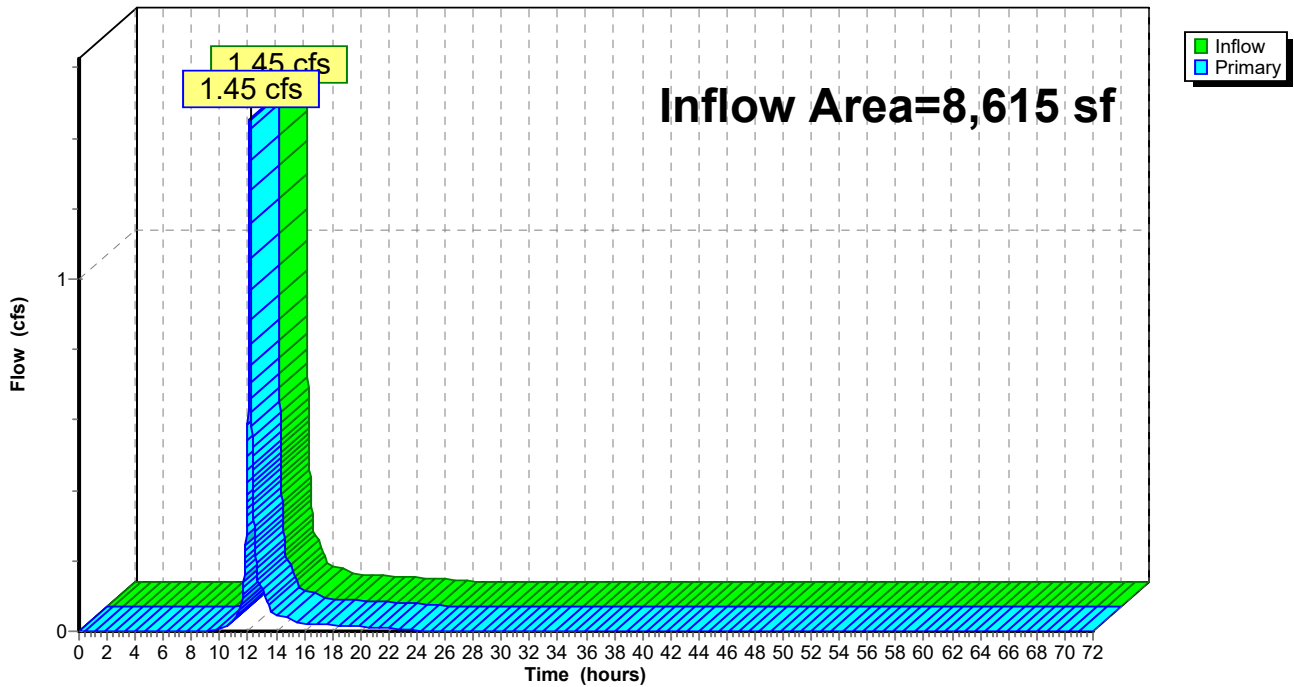
Summary for Link 2L: 136th Avenue

Inflow Area = 8,615 sf, 0.00% Impervious, Inflow Depth = 4.16" for 100-Year event
Inflow = 1.45 cfs @ 12.14 hrs, Volume= 2,983 cf
Primary = 1.45 cfs @ 12.14 hrs, Volume= 2,983 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 2L: 136th Avenue

Hydrograph



Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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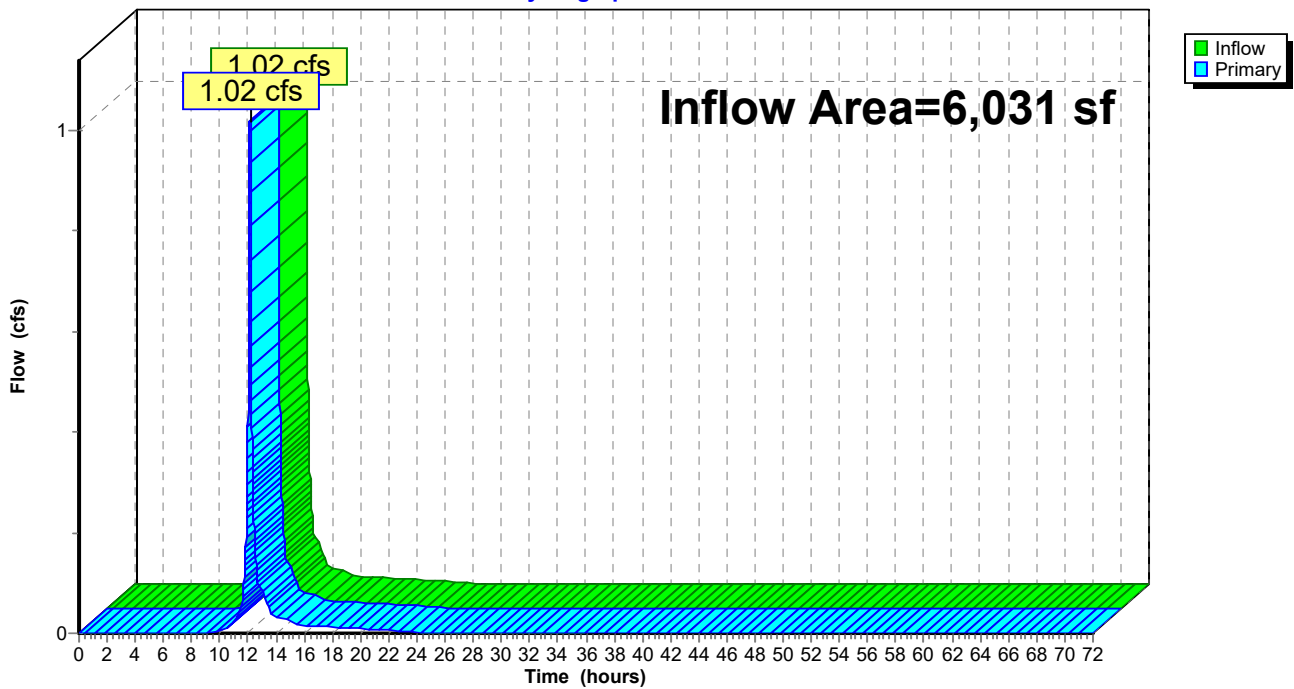
Summary for Link 3L: Rogers Drive

Inflow Area = 6,031 sf, 0.00% Impervious, Inflow Depth = 4.16" for 100-Year event
Inflow = 1.02 cfs @ 12.14 hrs, Volume= 2,089 cf
Primary = 1.02 cfs @ 12.14 hrs, Volume= 2,089 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 3L: Rogers Drive

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=7.13"

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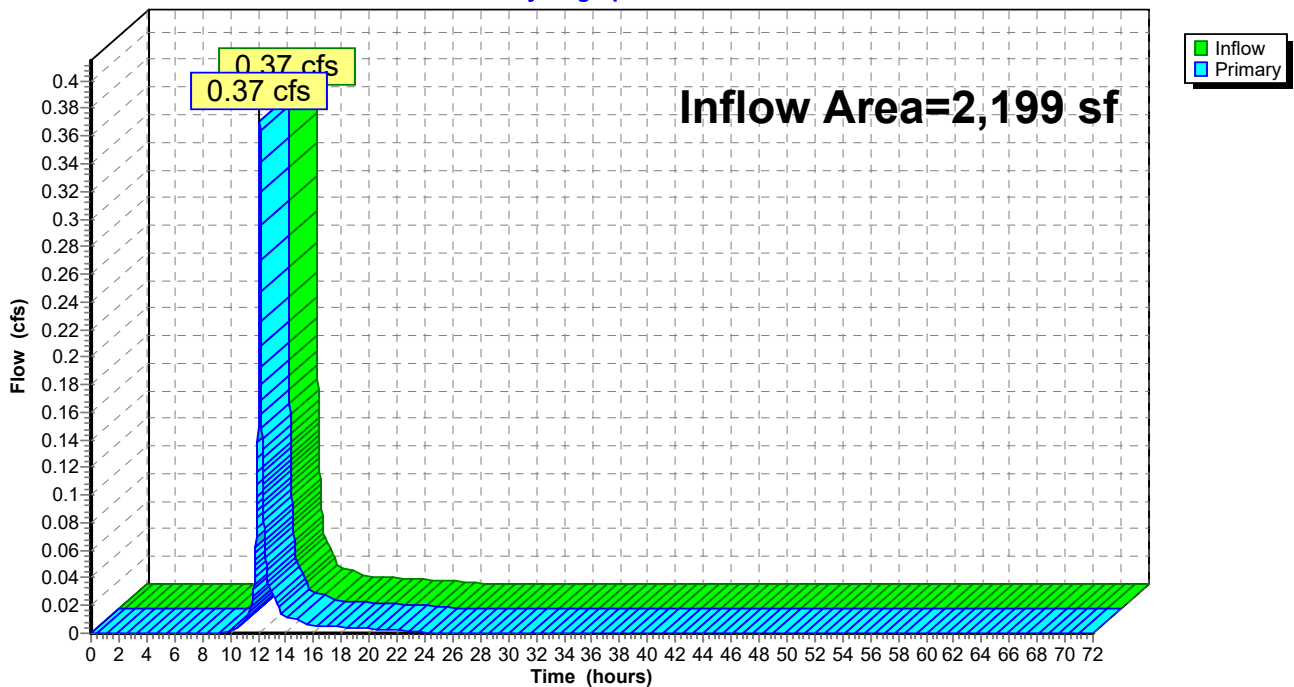
Summary for Link 4L: Main Street Frontage Road

Inflow Area = 2,199 sf, 0.00% Impervious, Inflow Depth = 4.16" for 100-Year event
Inflow = 0.37 cfs @ 12.14 hrs, Volume= 762 cf
Primary = 0.37 cfs @ 12.14 hrs, Volume= 762 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 5L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 4L: Main Street Frontage Road

Hydrograph



Existing Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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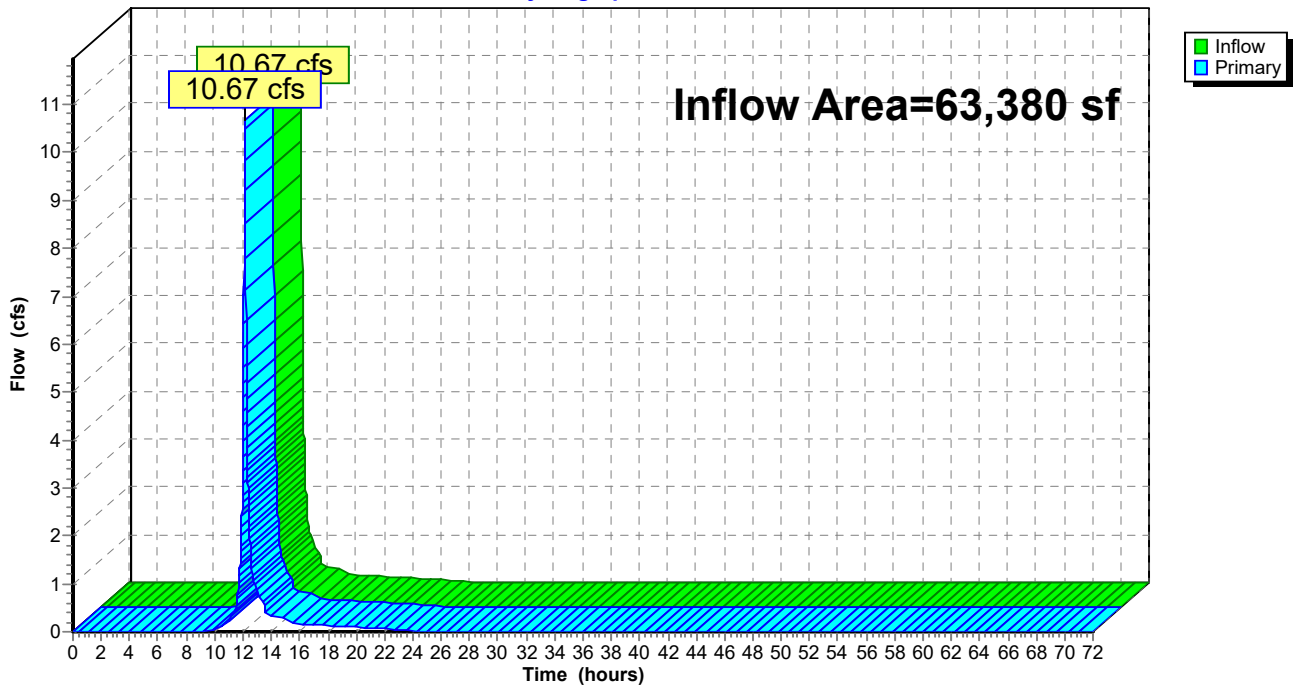
Summary for Link 5L: Total Offsite

Inflow Area = 63,380 sf, 0.00% Impervious, Inflow Depth = 4.16" for 100-Year event
Inflow = 10.67 cfs @ 12.14 hrs, Volume= 21,948 cf
Primary = 10.67 cfs @ 12.14 hrs, Volume= 21,948 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 5L: Total Offsite

Hydrograph



Appendix E

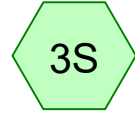
Proposed Conditions 2-Year Summary



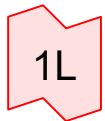
Subcat 1S



Subcat 2S



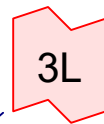
Subcat 3S



West Offsite



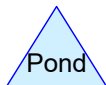
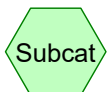
136th Avenue



Rogers Drive



Total Offsite



Routing Diagram for Proposed Conditions

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Proposed Conditions

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Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
10,794	74	>75% Grass cover, Good, HSG C (1S, 2S, 3S)
42,719	98	Paved parking, HSG C (1S, 2S, 3S)
9,867	98	Roofs, HSG C (3S)
63,380	94	TOTAL AREA

Proposed Conditions

MSE 24-hr 3 2-Year Rainfall=2.86"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv.
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Subcat 1S Runoff Area=1,610 sf 14.91% Impervious Runoff Depth=1.09"
Tc=7.0 min CN=74/98 Runoff=0.07 cfs 146 cf

Subcatchment 2S: Subcat 2S Runoff Area=2,950 sf 61.21% Impervious Runoff Depth=1.93"
Tc=7.0 min CN=74/98 Runoff=0.21 cfs 474 cf

Subcatchment 3S: Subcat 3S Runoff Area=58,819 sf 85.92% Impervious Runoff Depth=2.37"
Tc=7.0 min CN=74/98 Runoff=4.98 cfs 11,638 cf

Link 1L: West Offsite Inflow=0.07 cfs 146 cf
Primary=0.07 cfs 146 cf

Link 2L: 136th Avenue Inflow=0.21 cfs 474 cf
Primary=0.21 cfs 474 cf

Link 3L: Rogers Drive Inflow=4.98 cfs 11,638 cf
Primary=4.98 cfs 11,638 cf

Link 4L: Total Offsite Inflow=5.25 cfs 12,258 cf
Primary=5.25 cfs 12,258 cf

Total Runoff Area = 63,380 sf Runoff Volume = 12,258 cf Average Runoff Depth = 2.32"
17.03% Pervious = 10,794 sf 82.97% Impervious = 52,585 sf

Proposed Conditions

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MSE 24-hr 3 2-Year Rainfall=2.86"

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Summary for Subcatchment 1S: Subcat 1S

Runoff = 0.07 cfs @ 12.15 hrs, Volume= 146 cf, Depth= 1.09"
Routed to Link 1L : West Offsite

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.86"

Area (sf)	CN	Description
1,370	74	>75% Grass cover, Good, HSG C
240	98	Paved parking, HSG C
1,610	78	Weighted Average
1,370	74	85.09% Pervious Area
240	98	14.91% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 2S: Subcat 2S

Runoff = 0.21 cfs @ 12.14 hrs, Volume= 474 cf, Depth= 1.93"
Routed to Link 2L : 136th Avenue

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.86"

Area (sf)	CN	Description
1,144	74	>75% Grass cover, Good, HSG C
1,806	98	Paved parking, HSG C
2,950	89	Weighted Average
1,144	74	38.79% Pervious Area
1,806	98	61.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 3S: Subcat 3S

Runoff = 4.98 cfs @ 12.14 hrs, Volume= 11,638 cf, Depth= 2.37"
Routed to Link 3L : Rogers Drive

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.86"

Proposed Conditions

MSE 24-hr 3 2-Year Rainfall=2.86"

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Area (sf)	CN	Description
8,280	74	>75% Grass cover, Good, HSG C
40,673	98	Paved parking, HSG C
9,867	98	Roofs, HSG C
58,819	95	Weighted Average
8,280	74	14.08% Pervious Area
50,539	98	85.92% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Link 1L: West Offsite

Inflow Area = 1,610 sf, 14.91% Impervious, Inflow Depth = 1.09" for 2-Year event
 Inflow = 0.07 cfs @ 12.15 hrs, Volume= 146 cf
 Primary = 0.07 cfs @ 12.15 hrs, Volume= 146 cf, Atten= 0%, Lag= 0.0 min
 Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 2L: 136th Avenue

Inflow Area = 2,950 sf, 61.21% Impervious, Inflow Depth = 1.93" for 2-Year event
 Inflow = 0.21 cfs @ 12.14 hrs, Volume= 474 cf
 Primary = 0.21 cfs @ 12.14 hrs, Volume= 474 cf, Atten= 0%, Lag= 0.0 min
 Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 3L: Rogers Drive

Inflow Area = 58,819 sf, 85.92% Impervious, Inflow Depth = 2.37" for 2-Year event
 Inflow = 4.98 cfs @ 12.14 hrs, Volume= 11,638 cf
 Primary = 4.98 cfs @ 12.14 hrs, Volume= 11,638 cf, Atten= 0%, Lag= 0.0 min
 Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 4L: Total Offsite

Inflow Area = 63,380 sf, 82.97% Impervious, Inflow Depth = 2.32" for 2-Year event
 Inflow = 5.25 cfs @ 12.14 hrs, Volume= 12,258 cf
 Primary = 5.25 cfs @ 12.14 hrs, Volume= 12,258 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Appendix F

Proposed Conditions 10-Year Summary

Proposed Conditions

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MSE 24-hr 3 10-Year Rainfall=4.26"

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Summary for Subcatchment 1S: Subcat 1S

Runoff = 0.13 cfs @ 12.14 hrs, Volume= 285 cf, Depth= 2.12"
Routed to Link 1L : West Offsite

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

Area (sf)	CN	Description
1,370	74	>75% Grass cover, Good, HSG C
240	98	Paved parking, HSG C
1,610	78	Weighted Average
1,370	74	85.09% Pervious Area
240	98	14.91% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 2S: Subcat 2S

Runoff = 0.34 cfs @ 12.14 hrs, Volume= 776 cf, Depth= 3.16"
Routed to Link 2L : 136th Avenue

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

Area (sf)	CN	Description
1,144	74	>75% Grass cover, Good, HSG C
1,806	98	Paved parking, HSG C
2,950	89	Weighted Average
1,144	74	38.79% Pervious Area
1,806	98	61.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Subcatchment 3S: Subcat 3S

Runoff = 7.68 cfs @ 12.14 hrs, Volume= 18,185 cf, Depth= 3.71"
Routed to Link 3L : Rogers Drive

Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

Proposed Conditions

MSE 24-hr 3 10-Year Rainfall=4.26"

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Area (sf)	CN	Description
8,280	74	>75% Grass cover, Good, HSG C
40,673	98	Paved parking, HSG C
9,867	98	Roofs, HSG C
58,819	95	Weighted Average
8,280	74	14.08% Pervious Area
50,539	98	85.92% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Summary for Link 1L: West Offsite

Inflow Area = 1,610 sf, 14.91% Impervious, Inflow Depth = 2.12" for 10-Year event
 Inflow = 0.13 cfs @ 12.14 hrs, Volume= 285 cf
 Primary = 0.13 cfs @ 12.14 hrs, Volume= 285 cf, Atten= 0%, Lag= 0.0 min
 Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 2L: 136th Avenue

Inflow Area = 2,950 sf, 61.21% Impervious, Inflow Depth = 3.16" for 10-Year event
 Inflow = 0.34 cfs @ 12.14 hrs, Volume= 776 cf
 Primary = 0.34 cfs @ 12.14 hrs, Volume= 776 cf, Atten= 0%, Lag= 0.0 min
 Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 3L: Rogers Drive

Inflow Area = 58,819 sf, 85.92% Impervious, Inflow Depth = 3.71" for 10-Year event
 Inflow = 7.68 cfs @ 12.14 hrs, Volume= 18,185 cf
 Primary = 7.68 cfs @ 12.14 hrs, Volume= 18,185 cf, Atten= 0%, Lag= 0.0 min
 Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Summary for Link 4L: Total Offsite

Inflow Area = 63,380 sf, 82.97% Impervious, Inflow Depth = 3.64" for 10-Year event
 Inflow = 8.15 cfs @ 12.14 hrs, Volume= 19,246 cf
 Primary = 8.15 cfs @ 12.14 hrs, Volume= 19,246 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Appendix G

Proposed Conditions 100-Year Summary

Proposed Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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Summary for Subcatchment 1S: Subcat 1S

Runoff = 0.29 cfs @ 12.14 hrs, Volume= 612 cf, Depth= 4.56"
 Routed to Link 1L : West Offsite

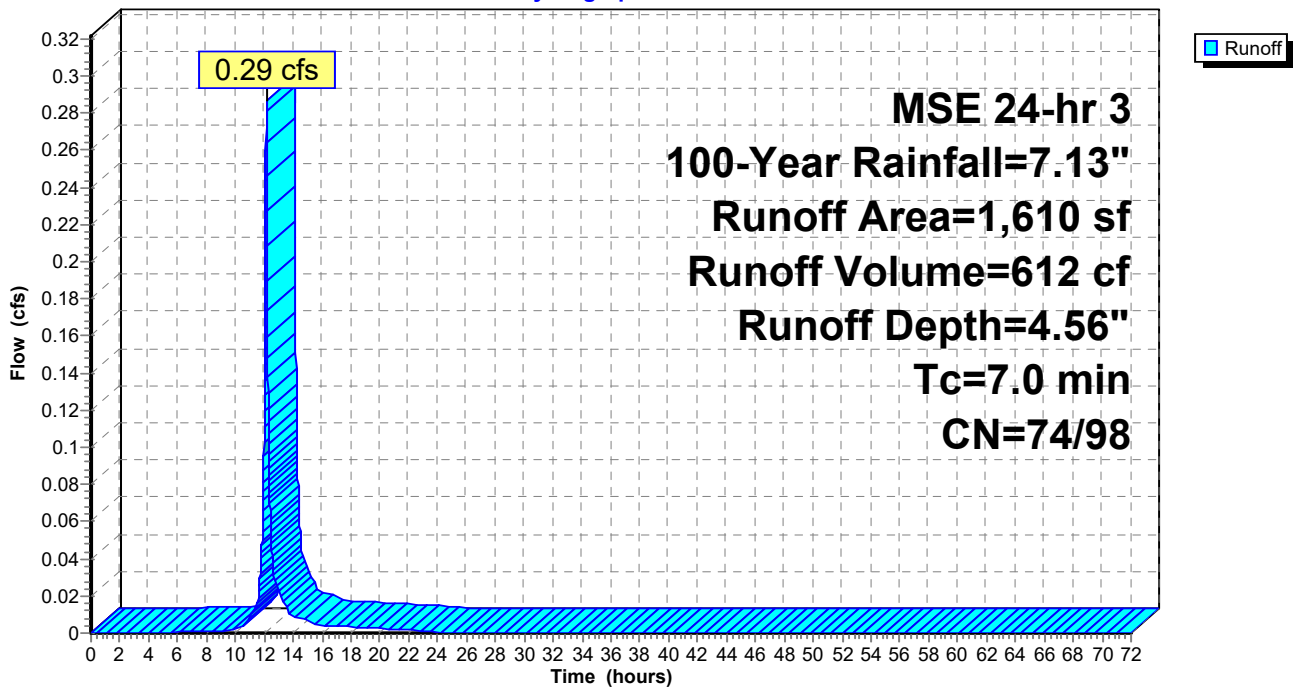
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100-Year Rainfall=7.13"

Area (sf)	CN	Description
1,370	74	>75% Grass cover, Good, HSG C
240	98	Paved parking, HSG C
1,610	78	Weighted Average
1,370	74	85.09% Pervious Area
240	98	14.91% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment 1S: Subcat 1S

Hydrograph



Proposed Conditions

Prepared by Gregory Group DBA Demarc

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MSE 24-hr 3 100-Year Rainfall=7.13"

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Summary for Subcatchment 2S: Subcat 2S

Runoff = 0.62 cfs @ 12.14 hrs, Volume= 1,433 cf, Depth= 5.83"
 Routed to Link 2L : 136th Avenue

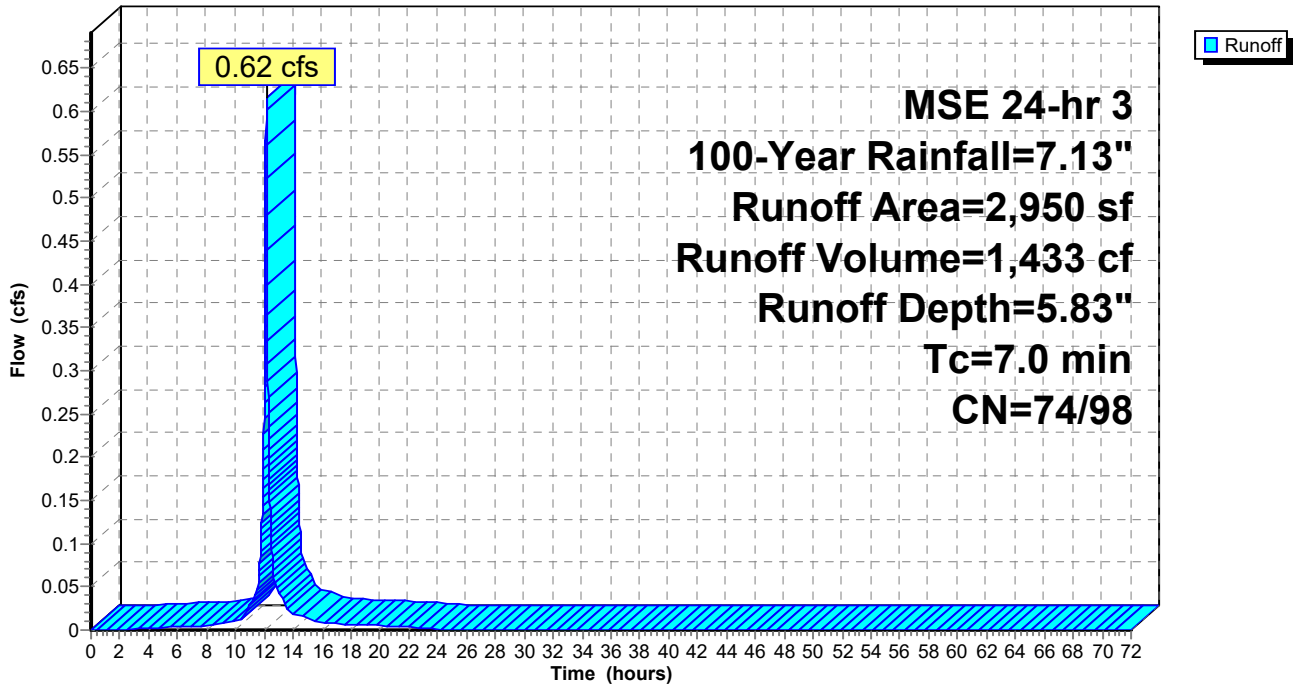
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100-Year Rainfall=7.13"

Area (sf)	CN	Description
1,144	74	>75% Grass cover, Good, HSG C
1,806	98	Paved parking, HSG C
2,950	89	Weighted Average
1,144	74	38.79% Pervious Area
1,806	98	61.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment 2S: Subcat 2S

Hydrograph



Proposed Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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Summary for Subcatchment 3S: Subcat 3S

Runoff = 13.28 cfs @ 12.14 hrs, Volume= 31,889 cf, Depth= 6.51"

Routed to Link 3L : Rogers Drive

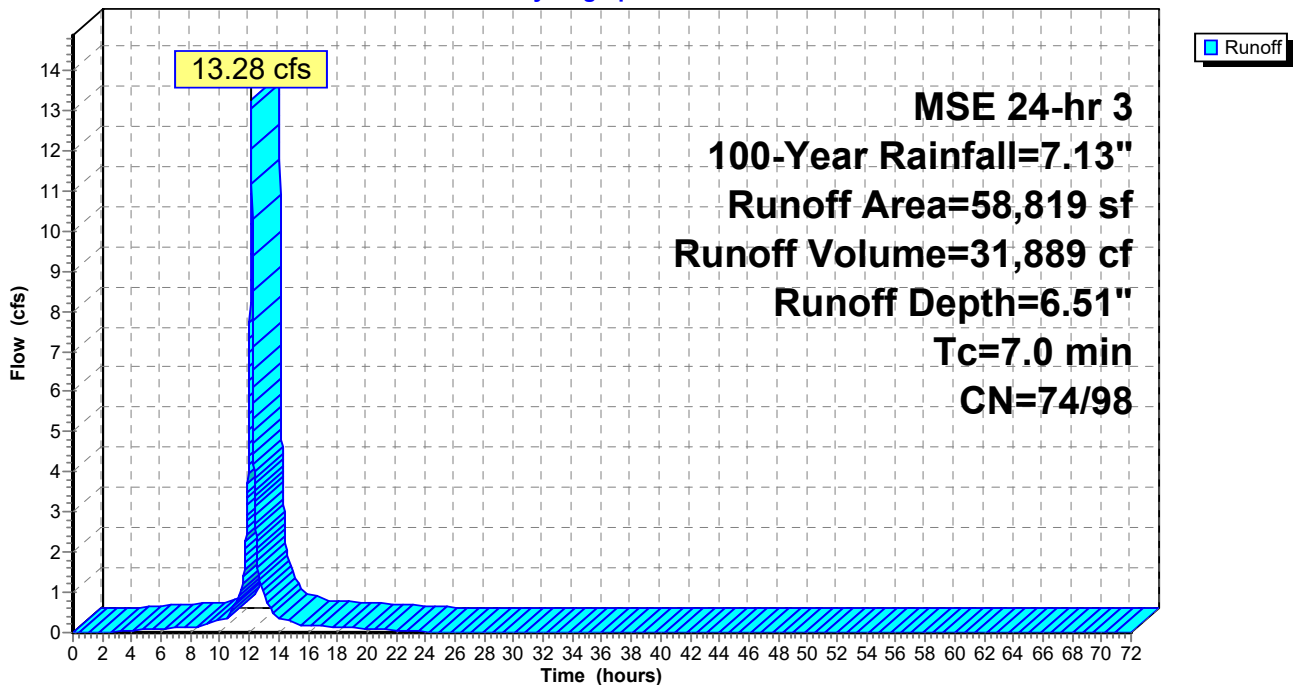
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100-Year Rainfall=7.13"

Area (sf)	CN	Description
8,280	74	>75% Grass cover, Good, HSG C
40,673	98	Paved parking, HSG C
9,867	98	Roofs, HSG C
58,819	95	Weighted Average
8,280	74	14.08% Pervious Area
50,539	98	85.92% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment 3S: Subcat 3S

Hydrograph



Proposed Conditions

Prepared by Gregory Group DBA Demarc

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MSE 24-hr 3 100-Year Rainfall=7.13"

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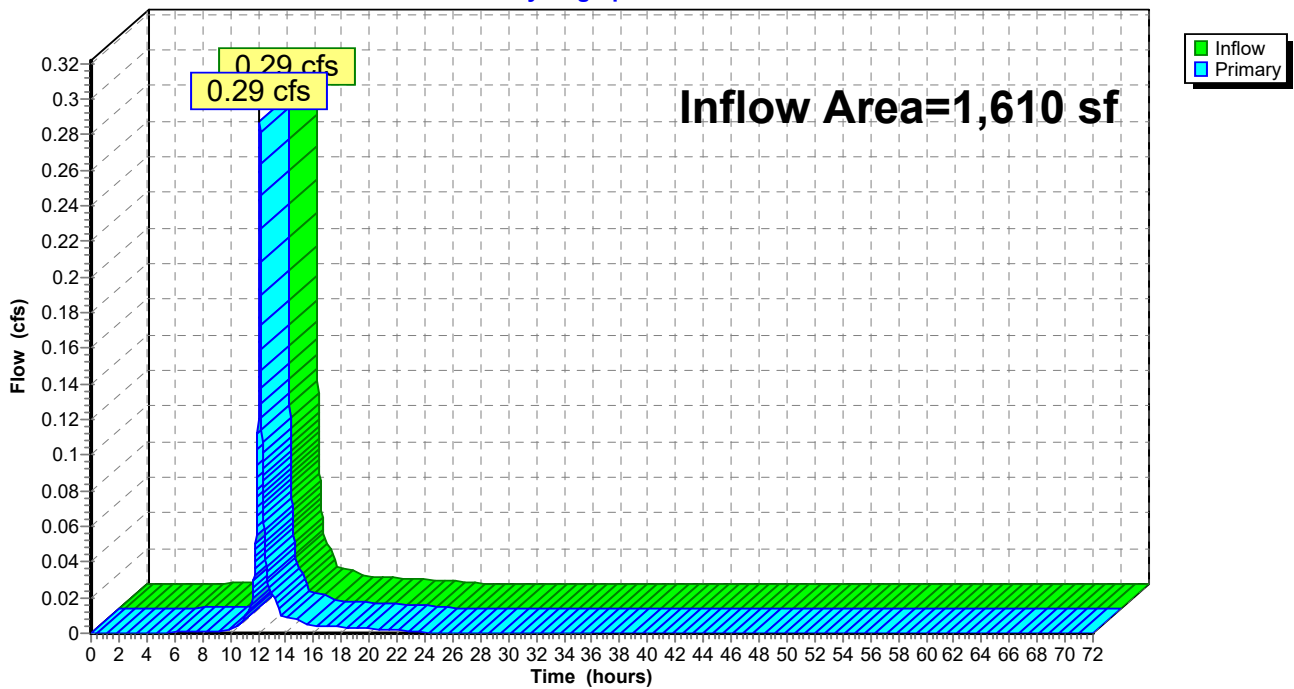
Summary for Link 1L: West Offsite

Inflow Area = 1,610 sf, 14.91% Impervious, Inflow Depth = 4.56" for 100-Year event
Inflow = 0.29 cfs @ 12.14 hrs, Volume= 612 cf
Primary = 0.29 cfs @ 12.14 hrs, Volume= 612 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 1L: West Offsite

Hydrograph



Proposed Conditions

Prepared by Gregory Group DBA Demarc

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MSE 24-hr 3 100-Year Rainfall=7.13"

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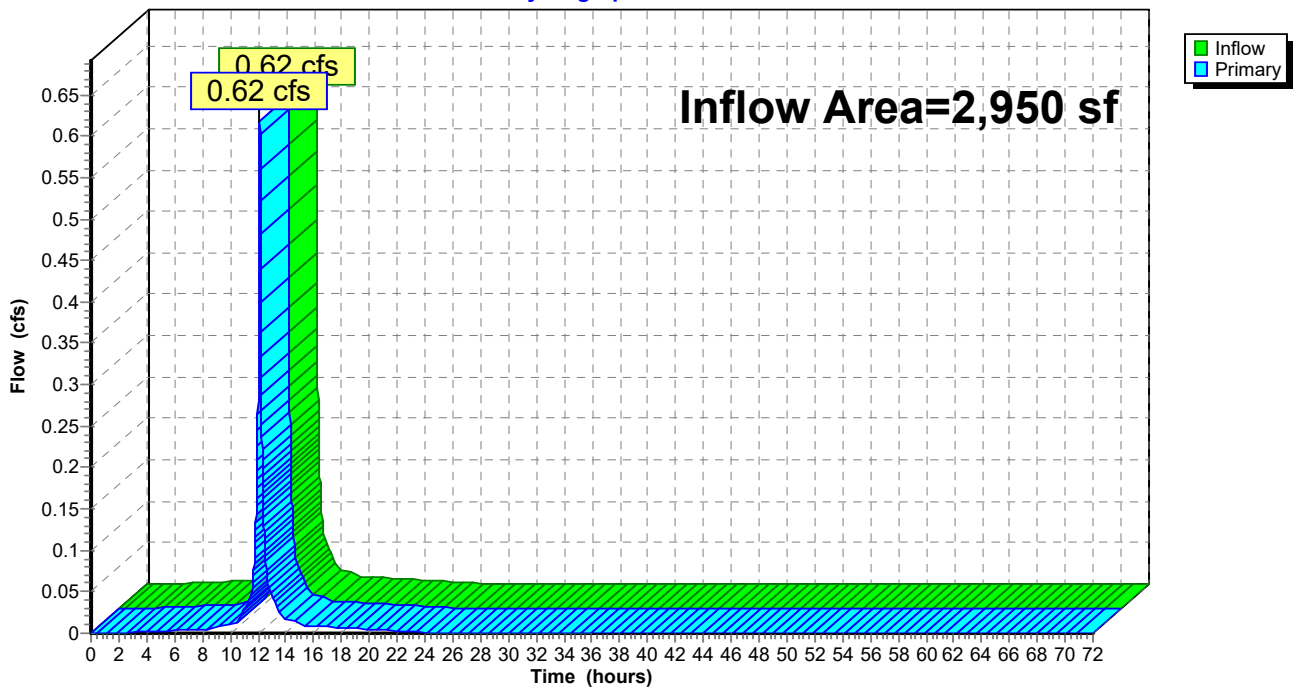
Summary for Link 2L: 136th Avenue

Inflow Area = 2,950 sf, 61.21% Impervious, Inflow Depth = 5.83" for 100-Year event
Inflow = 0.62 cfs @ 12.14 hrs, Volume= 1,433 cf
Primary = 0.62 cfs @ 12.14 hrs, Volume= 1,433 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 2L: 136th Avenue

Hydrograph



Proposed Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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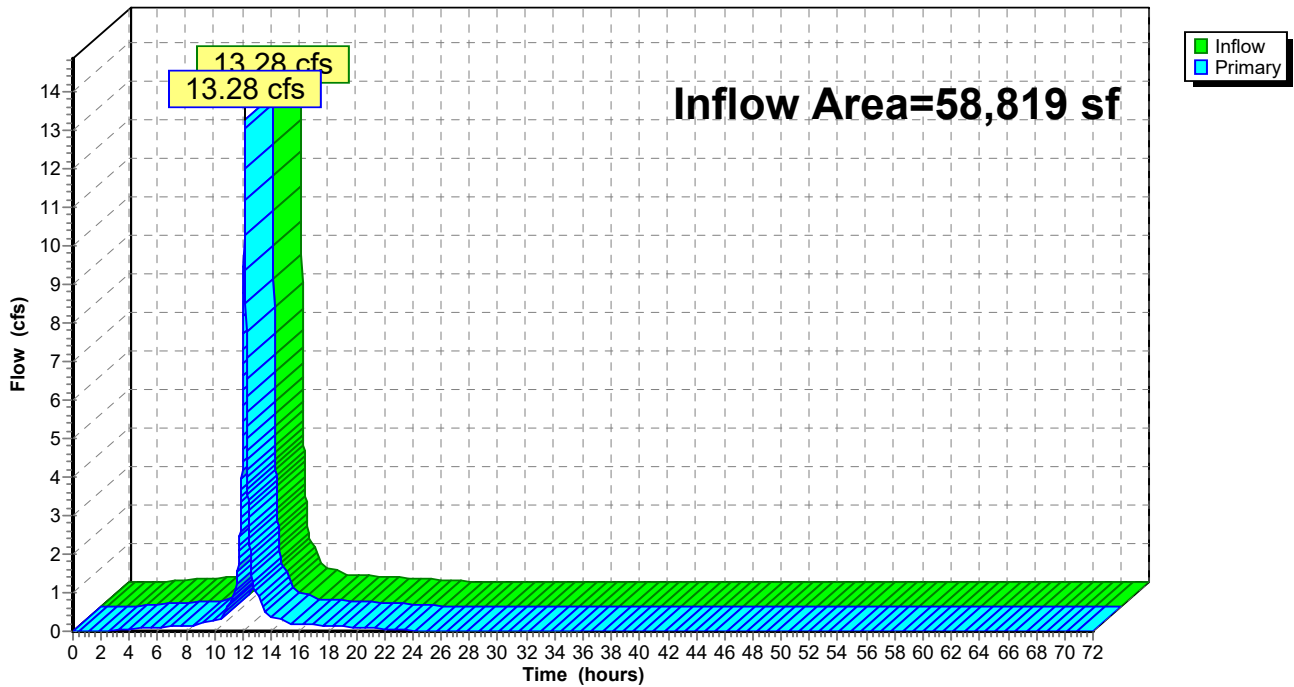
Summary for Link 3L: Rogers Drive

Inflow Area = 58,819 sf, 85.92% Impervious, Inflow Depth = 6.51" for 100-Year event
Inflow = 13.28 cfs @ 12.14 hrs, Volume= 31,889 cf
Primary = 13.28 cfs @ 12.14 hrs, Volume= 31,889 cf, Atten= 0%, Lag= 0.0 min
Routed to Link 4L : Total Offsite

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 3L: Rogers Drive

Hydrograph



Proposed Conditions

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MSE 24-hr 3 100-Year Rainfall=7.13"

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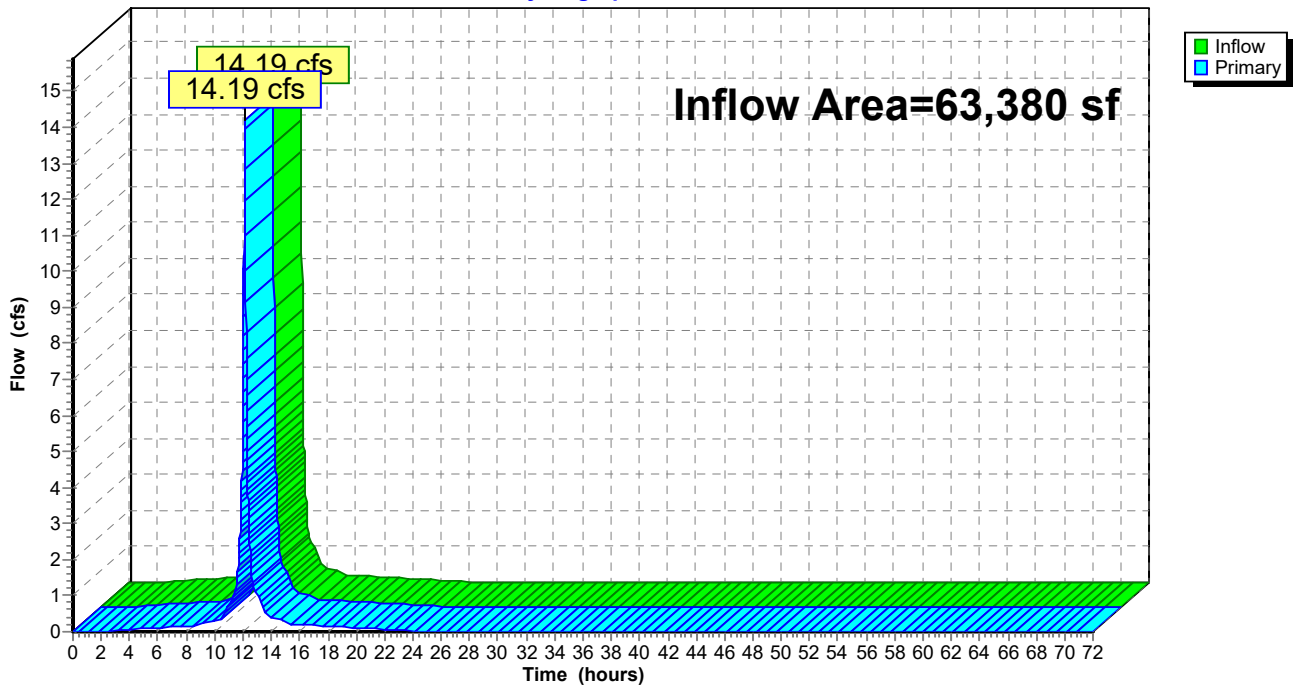
Summary for Link 4L: Total Offsite

Inflow Area = 63,380 sf, 82.97% Impervious, Inflow Depth = 6.42" for 100-Year event
Inflow = 14.19 cfs @ 12.14 hrs, Volume= 33,934 cf
Primary = 14.19 cfs @ 12.14 hrs, Volume= 33,934 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs

Link 4L: Total Offsite

Hydrograph



Appendix H

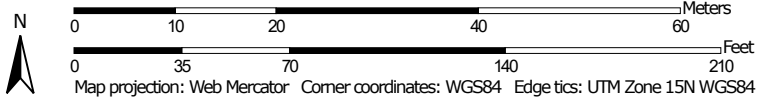
Soil Summary

Soil Map—Hennepin County, Minnesota



Soil Map may not be valid at this scale.

Map Scale: 1:748 if printed on A portrait (8.5" x 11") sheet.



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

3/26/2026
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Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
L37B	Angus loam, 2 to 6 percent slopes	2.5	100.0%
Totals for Area of Interest		2.5	100.0%

Hennepin County, Minnesota

L37B—Angus loam, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 2syrq

Landscape: Till plains

Elevation: 690 to 1,840 feet

Mean annual precipitation: 24 to 37 inches

Mean annual air temperature: 43 to 52 degrees F

Frost-free period: 140 to 180 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Angus and similar soils: 80 percent

Minor components: 20 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Angus

Setting

Landscape: Till plains

Landform: On leeward side of drainages hillslopes, Ground moraines

Landform position (two-dimensional): Summit

Landform position (three-dimensional): Interfluve, rise

Down-slope shape: Convex

Across-slope shape: Convex, linear

Parent material: Fine-loamy till

Typical profile

Ap - 0 to 7 inches: loam

Bt - 7 to 37 inches: clay loam

BC - 37 to 50 inches: clay loam

C - 50 to 79 inches: loam

Properties and qualities

Slope: 2 to 6 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat):

Moderately high to high (0.20 to 2.00 in/hr)

Depth to water table: About 39 to 51 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 20 percent

Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Available water supply, 0 to 60 inches: High (about 10.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: C

Ecological site: R103XY020MN - Loamy Upland Savannas

Forage suitability group: Sloping Upland, Neutral (G103XS002MN)

Other vegetative classification: Sloping Upland, Neutral
(G103XS002MN)

Hydric soil rating: No

Minor Components

Angus, moderately eroded

Percent of map unit: 10 percent

Landscape: Till plains

Landform: On leeward side of drainages hillslopes, Ground moraines

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Interfluve, rise

Down-slope shape: Convex

Across-slope shape: Convex, linear

Ecological site: R103XY020MN - Loamy Upland Savannas

Other vegetative classification: Sloping Upland, Neutral
(G103XS002MN)

Hydric soil rating: No

Cordova

Percent of map unit: 5 percent

Landscape: Till plains

Landform: Ground moraines

Landform position (three-dimensional): Dip

Down-slope shape: Concave

Across-slope shape: Linear

Ecological site: F103XY027MN - Loamy Wet Forests

Other vegetative classification: Level Swale, Neutral
(G103XS001MN)

Hydric soil rating: Yes

Le sueur

Percent of map unit: 5 percent

Landscape: Till plains

Landform: On leeward side of drainages hillslopes, Ground moraines

Landform position (two-dimensional): Summit

Landform position (three-dimensional): Interfluve, talf

Down-slope shape: Convex, linear

Across-slope shape: Linear

Ecological site: R103XY020MN - Loamy Upland Savannas

Other vegetative classification: Level Swale, Neutral
(G103XS001MN)

Hydric soil rating: No

Data Source Information

Soil Survey Area: Hennepin County, Minnesota

Survey Area Data: Version 21, Sep 10, 2025